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# Town of North Hempstead



## Board of Zoning Appeals

210 Plandome Road  
Manhasset, NY 11030  
(516) 869-7667  
Fax (516) 869-7812

### CALENDAR FOR NOVEMBER 6, 2024

#### RESIDENTIAL CALENDAR

**APPEAL #21620 – Sun Deyu; 29 Centre Dr., Manhasset; Section 3, Block 85, Lot 141; Zoned: Residence-B**

Variance § 70-40.A to construct a new house on an existing foundation that will be too close to the street.

**APPEAL #21621 - Theodore Katsihtis; 78 Hill Top Drive, Manhasset; Section 3, Block 221, Lot 9; Zoned: Residence-A**

Variance from 70-29.B to construct an addition that makes a home too big.

**APPEAL #21622 - Scott Harford; 20 Pepperday Avenue, Port Washington; Section 4, Block 25, Lot 18; Zoned: Residence-B**

Variance from §70-100.1(A) to relocate a shed in a side yard (not a permitted location).

**APPEAL #21623 – Michael Licciardello; 25 Third Ave., Port Washington; Section 5, Block 45, Lot 204; Zoned: Residence-C**

Variance § 70-51(E) to legalize a deck which is located too close to the side property line and with smaller than required total (aggregate) side yards.

**APPEAL #21583 – United Cerebral Palsy Association of Nassau County; 9 Belleview Ave., Port Washington; Section 5, Block 81, Lot 10; Zoned: Residence-C**

Variances from §§ 70-44 & 70-208.G to convert a three family to a four-family house (not a permitted use) that is an expansion of a non-permitted use.

**APPEAL #21624 – Helena Gomez; 65 Burnham Ave., Roslyn Heights; Section 7, Block E, Lot 864; Zoned: Residence-C**

Variances § 70-50.C, 70-51.B, 70-52.5 & 70-202.2 to legalize a new dwelling located too close to the primary and secondary front property lines and located too close to the side property line, with a porch which is located too close to the primary and secondary front property lines, with paving which exceeds the permitted amount and with no means of storm water runoff retention on site.

#### COMMERCIAL CALENDAR

**APPEAL #21608 – Giacobbe Realty Corporation; 17 Beechwood Avenue, Port Washington; Section 5, Block 94, Lot 589; Zoned: Industrial-B**

Appeal for determination, or in the alternative, variances from §§70-202.A, 70-212.B, and variances from 70-50.A, and 70-208.F to legalize an addition to a non-conforming dwelling that will result in the expansion of a non-conforming dwelling that is located too close to the street, and to legalize an area of outdoor storage for vehicles, construction equipment and machinery that is too big and is located too close to a property line.

**APPEAL #21625 – Dave’s Hot Chicken (signs); 207 Glen Cove Rd., Carle Place; Section 10, Block N, Lot 239; Zoned: Industrial-B**

Variances §§ 70-196(J)(1)(a), 70-196(J)(1)(b), and 70-196(J)(1)(f) to erect too many wall signs on a wall, wall signs that are too tall and too big, and wall signs that are too high off the ground.

**APPEAL #21626 – Brixmor SPE 6, LLC; 209 Glen Cove Rd., Carle Place; Section 10, Block N, Lot 239; Zoned: Industrial-B**

Appeal for determination or in the alternative Variance § 70-203(X)(1)(a) to provide bollards which do not afford sufficient vehicle impact protection.

**APPEAL #21627 - 1025 II LLC; 1025 Old Country Road, Westbury; Section 11, Block 80, Lot 92; Zoned: Industrial-B**

Variances from §§70-103.A(1), 70-103.B and 70-103.O to construct parking lot alterations with not enough onsite parking, parking spaces that are too small, and drive aisles that are too small.

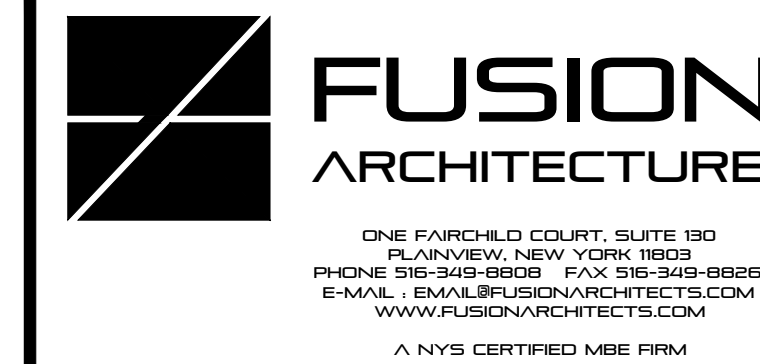
# CEREBRAL PALSY ASSOCIATION OF NASSAU COUNTY, INC

ALTERATIONS TO RESIDENCE:

9 BELLEVIEW AVENUE

PORT WASHINGTON, NEW YORK 11050

#21583



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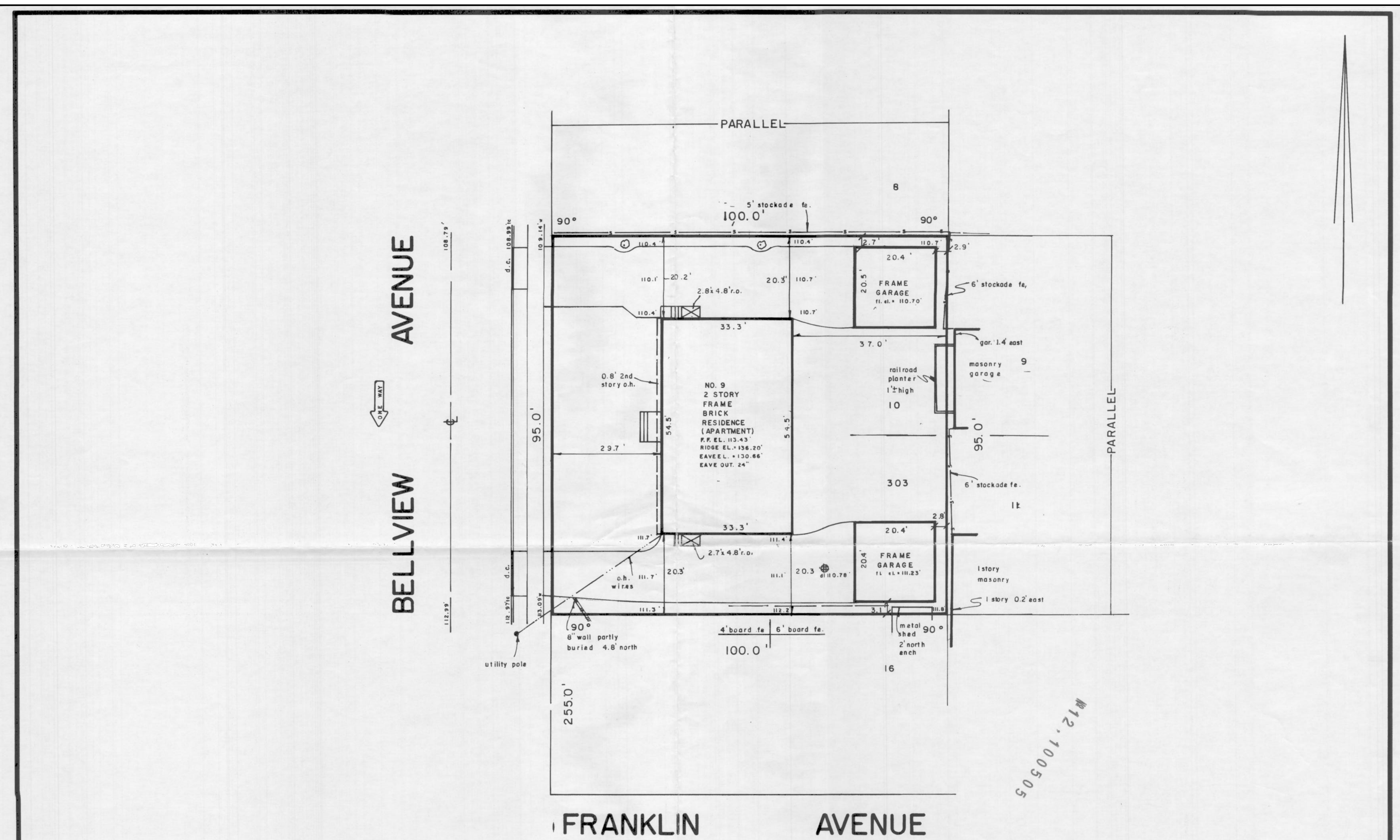
CONSULTANTS:

CLIENT:  
 CEREBRAL PALSY ASSOCIATION  
 OF NASSAU COUNTY, INC  
 380 WASHINGTON AVENUE  
 ROOSEVELT, NEW YORK 11515  
 (516) 378-2000

PROJECT:  
 ALTERATIONS TO RESIDENCE:  
 9 BELLEVIEW AVENUE  
 PORT WASHINGTON, NEW YORK 11050

SHEET TITLE:  
 TITLE SHEET  
 & EXISTING SURVEY

REVISIONS		
NO.	DATE	DESCRIPTION
06-18-24		SUBMIT FOR BZA
DRAWN BY: TF SHEET NO:		
CHECKED BY: JPL		
DATE: 06-18-24		
SCALE: AS NOTED		
PROJECT NO: 2016.051		



CERTIFIED ONLY TO: BLDG. DEPT. TOWN OF NORTH HEMPSTEAD

TAX MAP DESIGNATION:  
 SECTION: 5 BLOCK: 81 LOT: 10, 303

LEGEND:  
 WH = WEST SIDE  
 MH = MAN HOLE  
 CB = CATCH BASIN  
 DS = DRAIN DRAINAGE  
 GAR = GARAGE  
 UP = UTILITY POLE  
 CONC = CONCRETE  
 FE = FENCE  
 P.O.B. = POINT OF BEGINNING  
 ENCL. = ENCLOSING  
 LT = TYPICAL LIGHT  
 SW = SWIMMING POOL  
 H.C. = HANDICAP  
 D.C. = DRAIN CURB



NO.	REVISION DESCRIPTION	DATE	BY
1			
2			
3			
4			

SITE DATA:  
 AREA OF PLOT = 9,500.0

MAP OF PROPERTY  
 LOCATED AT  
 PORT WASHINGTON, TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK  
 SECTION: 5 BLOCK: 81 LOT: 10, 303  
 SCALE: 1"=15' DATE: 12-22-2011 final  
 PREPARED BY: *J. Ferrantello*  
**JOHN P. FERRANTELLI P.C.**  
 LICENSED LAND SURVEYOR  
 LAND SURVEYING: 516-248-2766  
 LICENSED LAND SURVEYOR: 516-294-8570  
 LAND PLANNING: 516-294-8570  
 SITE PLANNING CONSULTANTS  
 WEBSITE: WWW.JPFPC.COM  
 EMAIL: INFO@JPFPC.COM

NOTE: NOT RESPONSIBLE FOR EASEMENTS AND SUB SURFACE CONDITIONS OTHER THAN SHOWN

EXISTING SURVEY  
 T-1 SCALE: 1"=30'-0" 9500±



JEAN-PIERRE LARDOUX, AIA, No. 023232  
 NY LIC. No. 023232  
 NJ LIC. No. 07328  
 CT LIC. No. 15820  
 NH LIC. No. 2910  
 PA LIC. No. 024493938  
 FL LIC. No. AR3841  
 CO LIC. No. ARC00426614  
 NYS HEREIN RATES No. 0731  
 NYC SPECIAL INSPECTION AGENCY LIC. No. 0028328

CONSULTANTS:

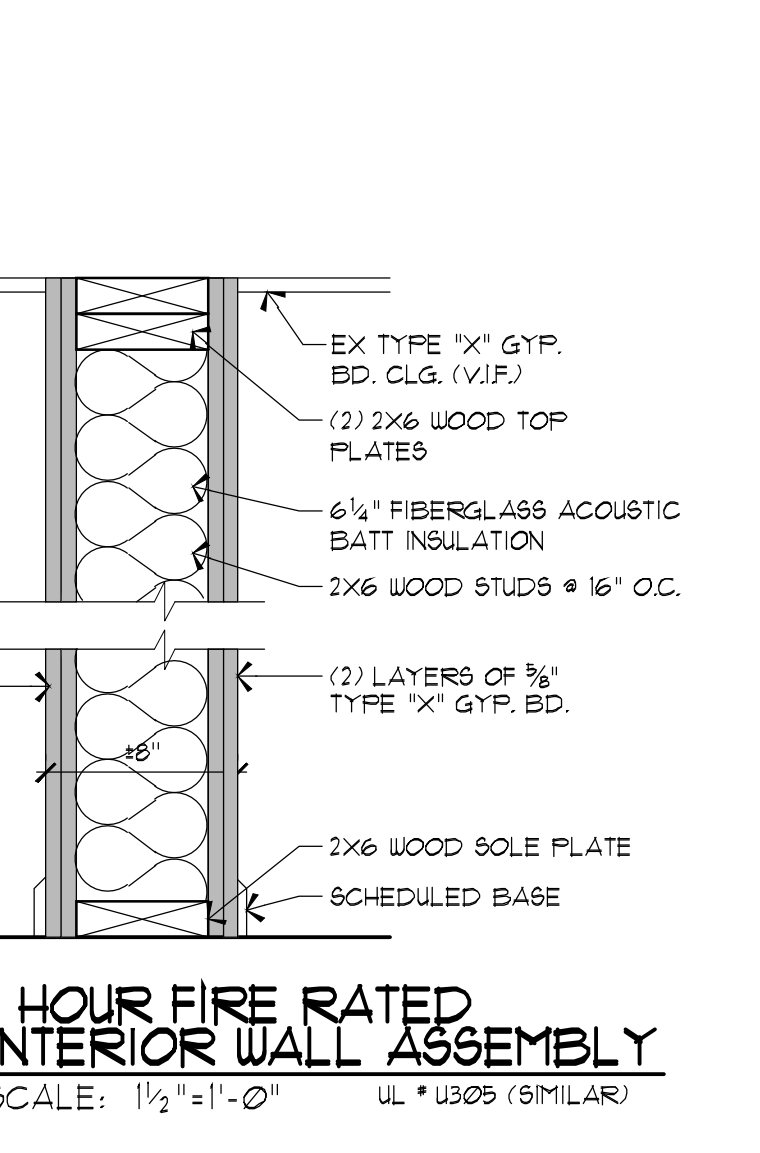
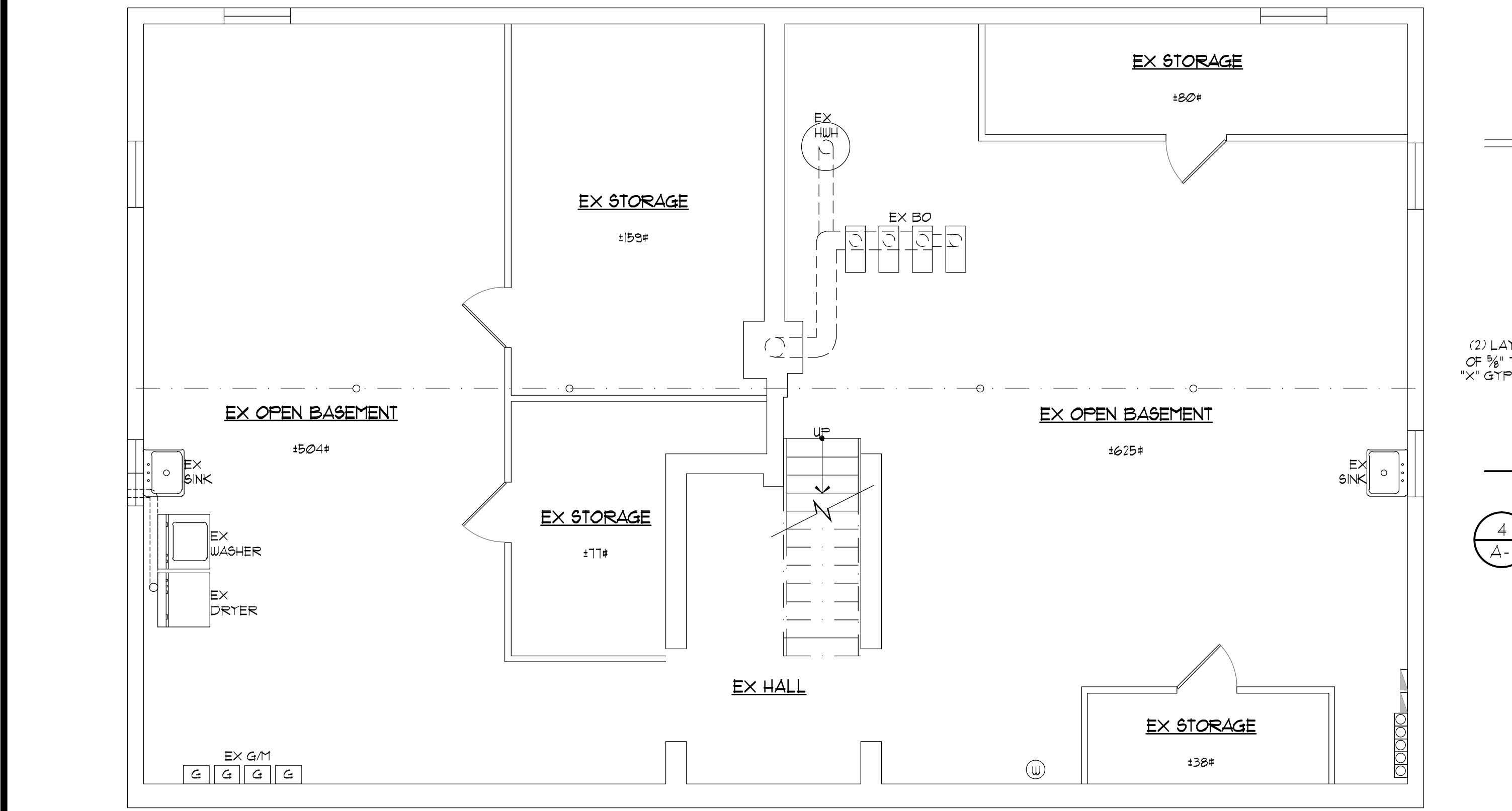
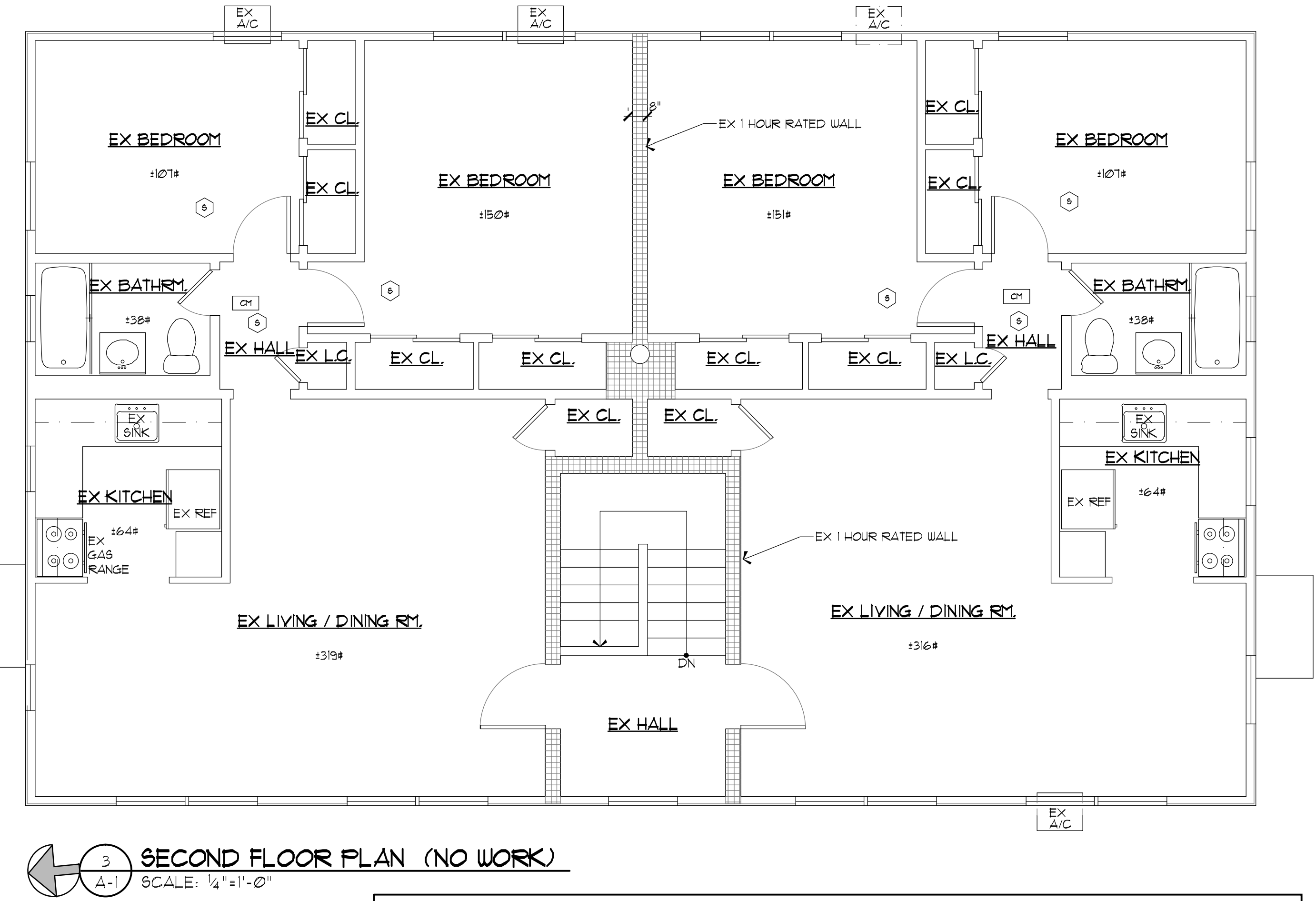
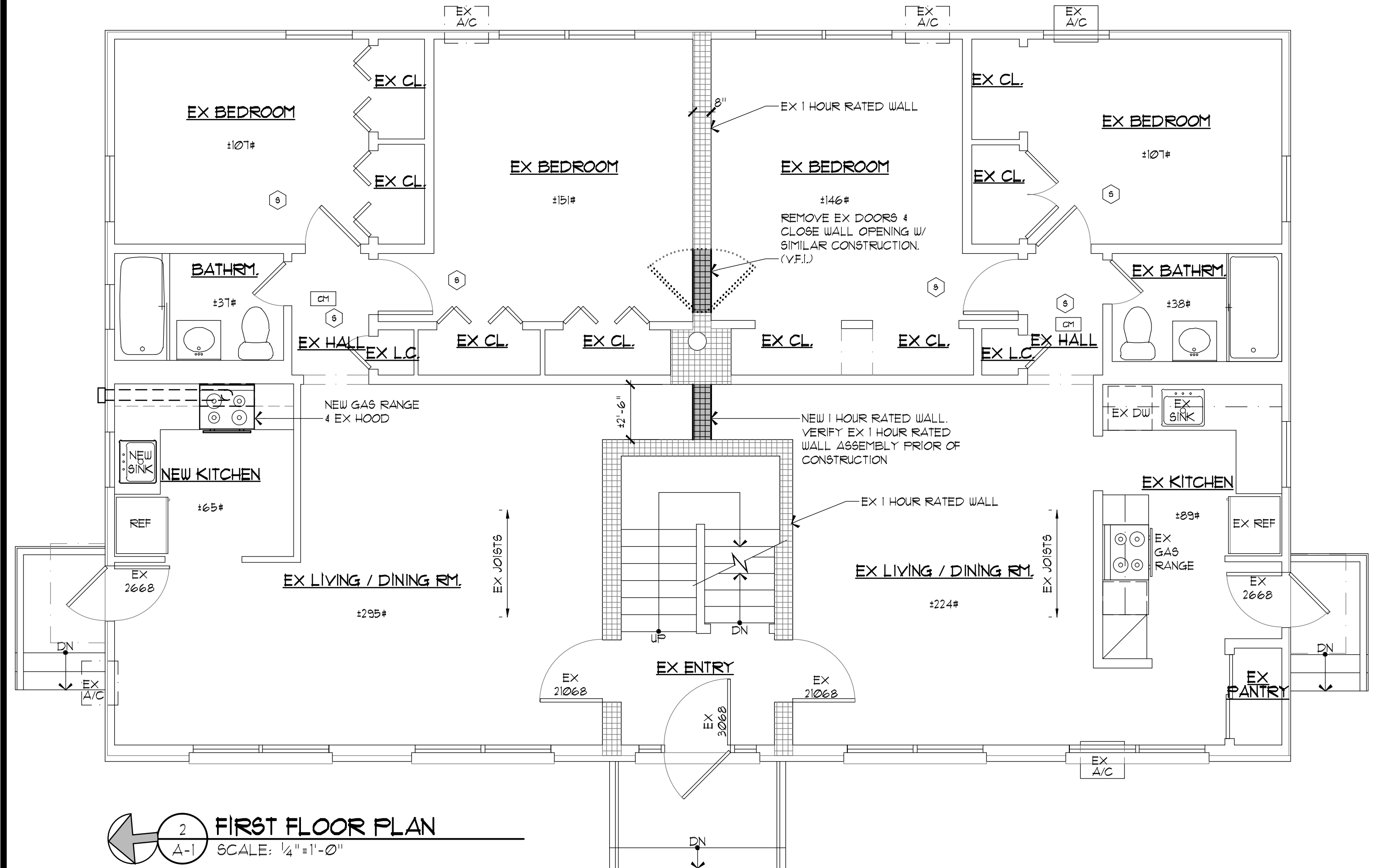
CLIENT:  
 CEREBRAL PALSY ASSOCIATION  
 OF NASSAU COUNTY, INC  
 380 WASHINGTON AVENUE  
 ROOSEVELT, NEW YORK 11515  
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PROJECT:  
 ALTERATIONS TO RESIDENCE:  
 9 BELLEVUE AVENUE  
 PORT WASHINGTON, NEW YORK 11050

SHEET TITLE:  
 LIST OF DRAWINGS,  
 BASEMENT, FIRST FLOOR  
 & SECOND FLOOR PLANS,  
 DETAIL & LOCATION MAP

REVISIONS		
NO.	DATE	DESCRIPTION
06-18-24		SUBMIT FOR BZA
04-22-24		REVISED PER BUILDING DEPARTMENT

DRAWN BY: TF SHEET NO:  
 CHECKED BY: JPL  
 DATE: 02-29-24  
 SCALE: AS NOTED  
 PROJECT NO: 2016.051



- LIST OF DRAWINGS**
- A-1 LIST OF DRAWINGS, GENERAL NOTES, BASEMENT, FIRST FLOOR & SECOND FLOOR PLANS, DETAIL & LOCATION MAP
  - MPE-1 PARTIAL FIRST FLOOR MECHANICAL/PLUMBING & ELECTRICAL PLAN, GAS RISER DIAGRAM, PLUMBING RISER DIAGRAM & SCHEDULES
  - T-1 TITLE SHEET & EXISTING SURVEY
- GENERAL NOTES**
- CONTRACTOR SHALL CHECK & VERIFY ALL CONDITIONS AT THE SITE PRIOR TO STARTING OF WORK & SHALL FAMILIARIZE HIMSELF WITH THE INTENT OF THE PLANS & MAKE WORK AGREE WITH THEM.
  - CONTRACTOR SHALL OBTAIN A BUILDING PERMIT FROM THE LOCAL TOWN OR VILLAGE PRIOR TO STARTING ANY WORK AND PAY FOR CONTRACTOR SHALL FILE FOR SEPARATE FENCE PERMIT IF REQUIRED.
  - CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, CERTIFICATES OF OCCUPANCY, INSPECTION APPROVALS, ETC. FOR WORK PERFORMED FROM AGENCIES HAVING JURISDICTION.
  - ALL WORK SHALL CONFORM WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
  - IF IN THE COURSE OF CONSTRUCTION A CONDITION ARISES WHICH DISAGREES WITH THAT AS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK & NOTIFY THE ARCHITECT. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE & CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY & LIABILITY ARISING THEREFROM.
  - DOUGLAS FIR CONSTRUCTION GRADE 2 OR BETTER.
  - ALL HEADERS TO BE (2) 2 X10 UNLESS NOTED OTHERWISE.
  - PATCH ALL AREAS WHERE EXISTING HAS BEEN REMOVED AND/OR NEW WORK ADJUTS EXISTING.
  - CONTRACTOR SHALL RE-ROUTE AS REQUIRED ALL EXISTING PLUMBING, ELECTRICAL & HEATING LINES WHICH INTERFERE WITH NEW CONSTRUCTION.
  - ELECTRICAL WORK TO BE BOARD OF FIRE UNDERWRITER APPROVED.
  - TAPING & SPACKLING OF SHEETROCK JOINTS SHALL BE DONE IN THREE COATS: EMBEDDING COAT, TOPPING COAT & FINISHING COAT.
  - PAINTING SHALL CONSIST OF FIRST APPLYING A PRIMER & THEN FOLLOW WITH TWO COATS.
  - DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN.
  - CONTRACTOR TO INSULATE ALL NEW & EXISTING PLUMBING & HEATING PIPING.
  - DOUBLE JOISTS UNDER ALL POSTS AND PARALLEL PARTITIONS, UNLESS OTHERWISE NOTED.
  - FOR PRODUCT SUBSTITUTIONS, THE CONTRACTOR SHALL SUBMIT THE PRODUCT SPECIFICATION SHEETS AND THE SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
  - CONTRACTOR SHALL RE-ROUTE AS REQUIRED ALL EXISTING UTILITY LINES WHICH INTERFERE WITH NEW CONSTRUCTION.
  - ALL LUMBER THAT COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

**TABLE R3012(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND DESIGN				SUBJECT TO DAMAGE FROM	UNIFORM DESIGN TEMP.	ICE SHIELD UNDESIRABLE PRESENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.			
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE							WEATHERING	FROST LINE DEPTH	TERMITES
20	120	NO	NO	NO	B	SEVERE	36 INCH	MODERATE TO HEAVY	15°	YES	NO	-	-

NOTE: WIND SPEED CLASSIFICATION IN THE RESIDENTIAL CODE OF NEW YORK STATE IS BASED ON 3-SECOND GUST - REFER TO EQUIVALENT 64S/C WIND SPEEDS (TABLE R3012.1) AT THIS SHEET FOR EQUIVALENT FASTEST MILE WIND SPEED WHEN USING THE PROVIDED TABLES AS REFERENCED FROM THE WOOD FRAME CONSTRUCTION MANUAL (WFCM).

**ZONING INFORMATION**

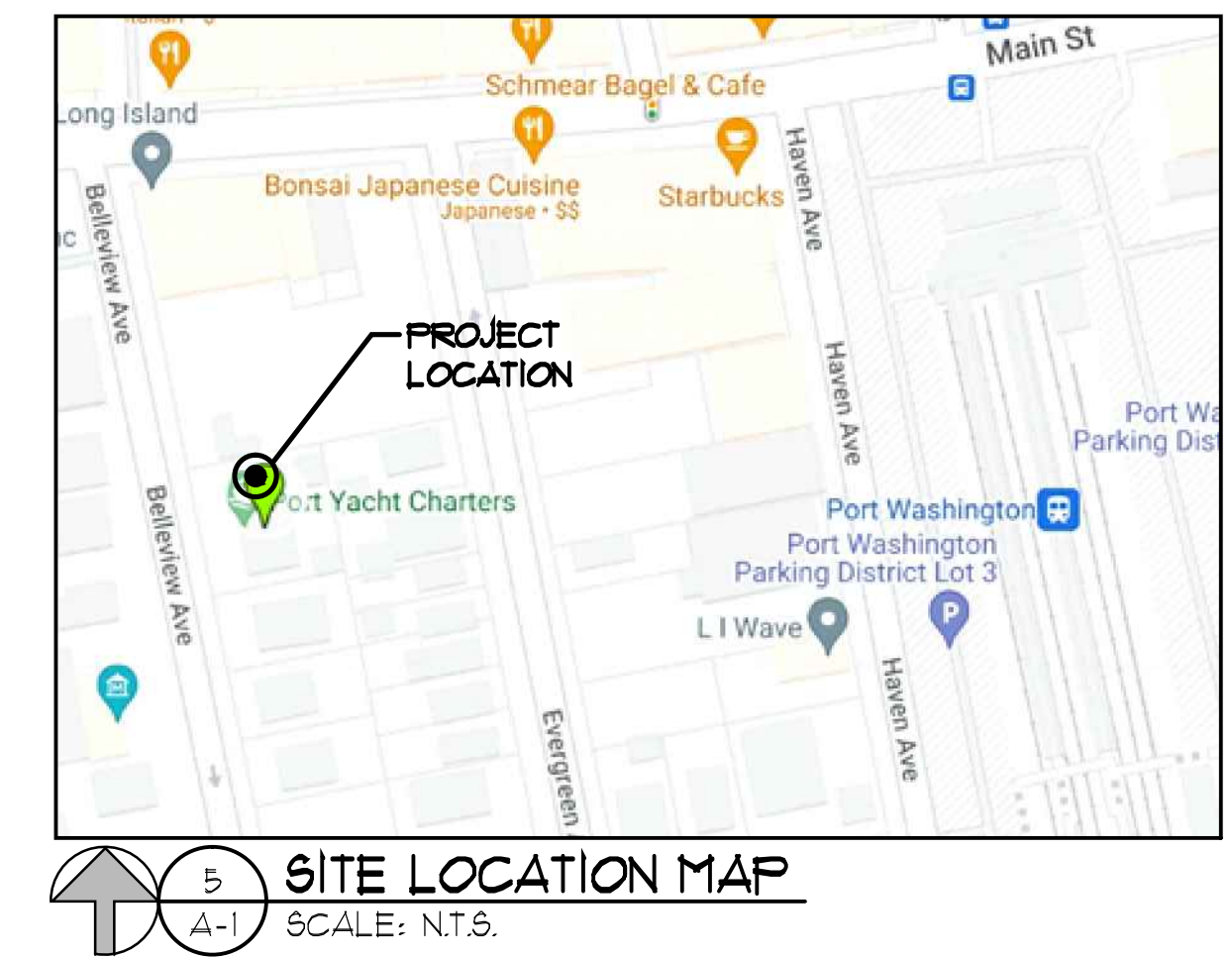
TAX MAP NO. SECTION NO. 5 BLK NO. 081 LOT NO. 10  
 PROPERTY ZONED: R-C TOWN OF NORTH HEMPSTEAD

**SCOPE OF WORK**

CONVERSION OF 3 FAMILY BACK TO A 4 FAMILY RESIDENCE

**BUILDING CODE INFORMATION**

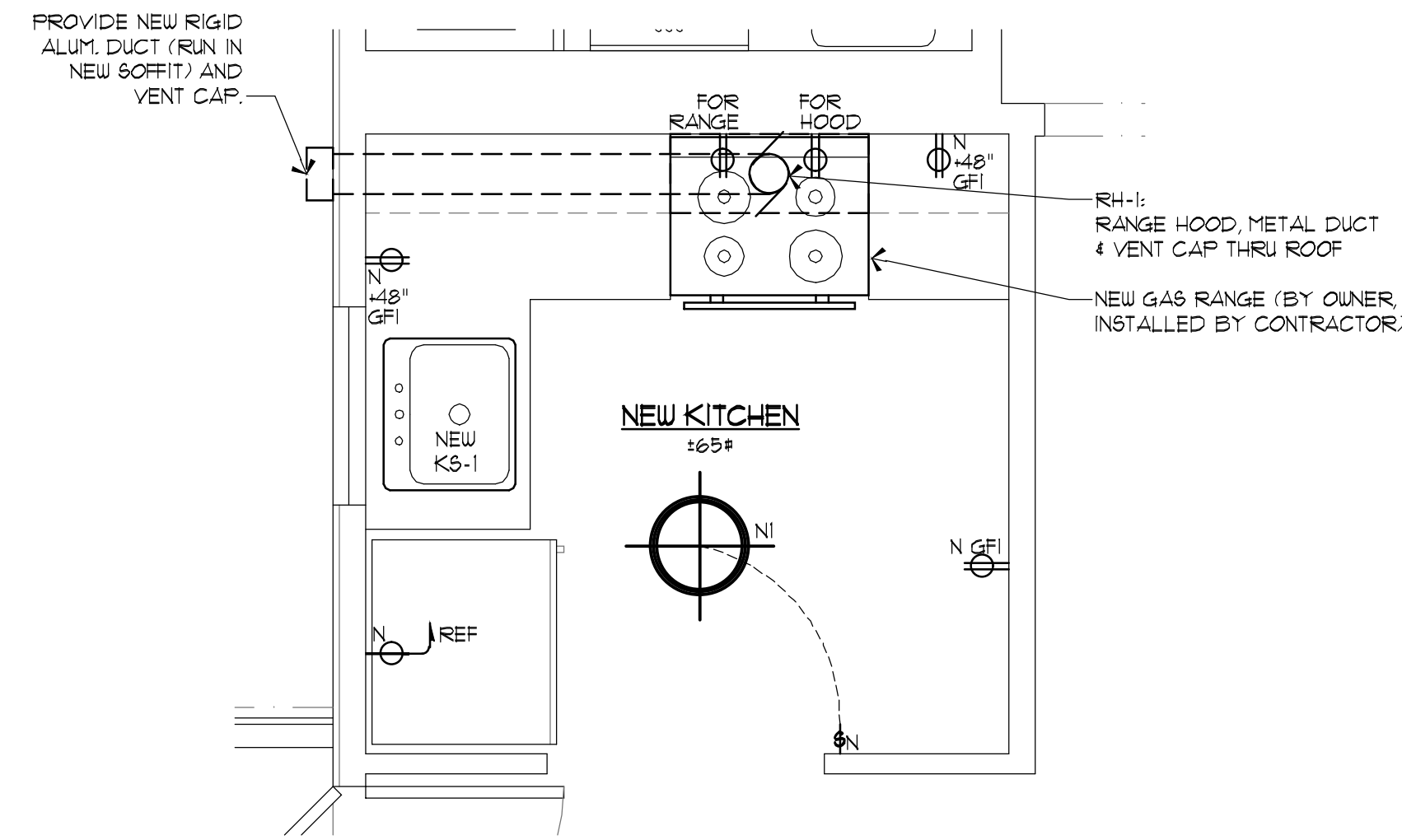
USE: R-2  
 CONSTRUCTION TYPE: VB  
 REQ'D SEPARATION OF OCCUPANCIES: 1 HOUR



**LEGEND OF SYMBOLS**

- RR REMOVE AND REPLACE
- N NEW
- EX EXISTING TO REMAIN
- R REMOVE EXISTING
- V.I.F. VERIFY IN FIELD
- SOFFIT OR FASCIA LINE ABOVE
- EXISTING WALL OR PARTITION
- EXISTING WALL TO BE REMOVED
- NEW WALL OR PARTITION
- NEW ONE-HOUR RATED PARTITION
- SMOKE DETECTOR W/ BATTERY BACKUP
- CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP

NOTE: PARTITION TYPE SYMBOLS MAY BE USED SINGLY OR IN CONJUNCTION WITH ONE OR MORE OF THE OTHER PARTITION TYPE SYMBOLS WITHIN THE SAME PARTITION



**PARTIAL FIRST FLOOR MECHANICAL/PLUMBING & ELECTRICAL PLAN**

SCALE: 1/2" = 1'-0"

PLUMBING FIXTURE	TRAP SIZE MINIMUM (inches)
Bathtub (with or without shower head and/or whirlpool attachments)	1 1/2
Bidet	1 1/4
Clothes washer standpipe	2
Dishwasher (on separate trap)	1 1/2
Floor drain	2
Kitchen sink (one or two traps, with or without dishwasher and food waste disposer)	1 1/2
Laundry tub (one or more compartments)	1 1/2
Lavatory	1 1/4
Shower (based on the total flow rate through showerheads and bodysprays)	
Flow rate:	
6.7 gpm and less	1 1/2
More than 6.7 gpm up to 12.3 gpm	2
More than 12.3 gpm up to 25.8 gpm	3
More than 25.8 gpm up to 55.6 gpm	4

MECHANICAL EQUIPMENT SCHEDULE			
LABEL	MANUFACTURER	MODEL NO.	DESCRIPTION
RH-1	BROAN	BC5EK13055	RANGE HOOD, 30" WIDE, 300 CFM

PLUMBING FIXTURE SCHEDULE	
LABEL	DESCRIPTION
KS-1	KITCHEN SINK, KOHLER VAULT UNDER-MOUNT KITCHEN SINK K-3822-3, 18 GA 8/8, MIN. 21" BASE CABINET WIDTH, 3 FAUCET HOLES, 22 1/4" L X 16 1/8" W X 9" D BOWL AREA. PROVIDE K-8801 SINK DRAIN AND STRAINER WITH TAIL PIECE. INSTALL AS UNDER-MOUNT. FAUCET: KOHLER TYPE FULL-DOWN KITCHEN SINK FAUCET K-R2145-CP, POLISHED CHROME FINISH. INSTALL ESCUTCHEON PLATE FOR TOP-MOUNT SINK.

NOTES: COLOR SHALL BE AS SELECTED FROM THE MANUFACTURER'S STANDARD COLORS.

**MECHANICAL AND PLUMBING NOTES**

- ALL WORK SHALL MEET OR EXCEED THE LATEST REQUIREMENTS OF ALL NATIONAL, STATE, COUNTY, MUNICIPAL AND OTHER AUTHORITIES HAVING JURISDICTION. ANY WORK NOT SUBJECT TO THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION, SHALL BE GOVERNED BY THE NATIONAL PLUMBING CODE, THE COUNTY HEALTH DEPT. AND BEST COMMERCIAL PRACTICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.
- THE PLUMBING CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR HIS WORK AND SHALL GUARANTEE THE WORK OF HIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION OF HIS WORK.
- THE PLUMBING CONTRACTOR SHALL CONSULT AND COOPERATE WITH THE GENERAL CONTRACTOR, HEATING AND VENTILATING CONTRACTOR, ELECTRICAL CONTRACTOR, ETC., IN ORDER TO AVOID INTERFERENCE DURING INSTALLATION OF PIPING, EQUIPMENT, ETC.
- THE PLUMBING CONTRACTOR SHALL MAKE ALL THE CONNECTIONS TO ALL PLUMBING EQUIPMENT REGARDLESS OF WHETHER SHOWN HEREIN WITHOUT ANY ADDITIONAL COST TO THE CLIENT.
- DRAWINGS ARE DIAGNOSTIC AND INDICATE GENERAL ARRANGEMENT OF WORK AND APPROXIMATE LOCATION OF EQUIPMENT. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND REGISTER WITH PLANS. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONFLICT.

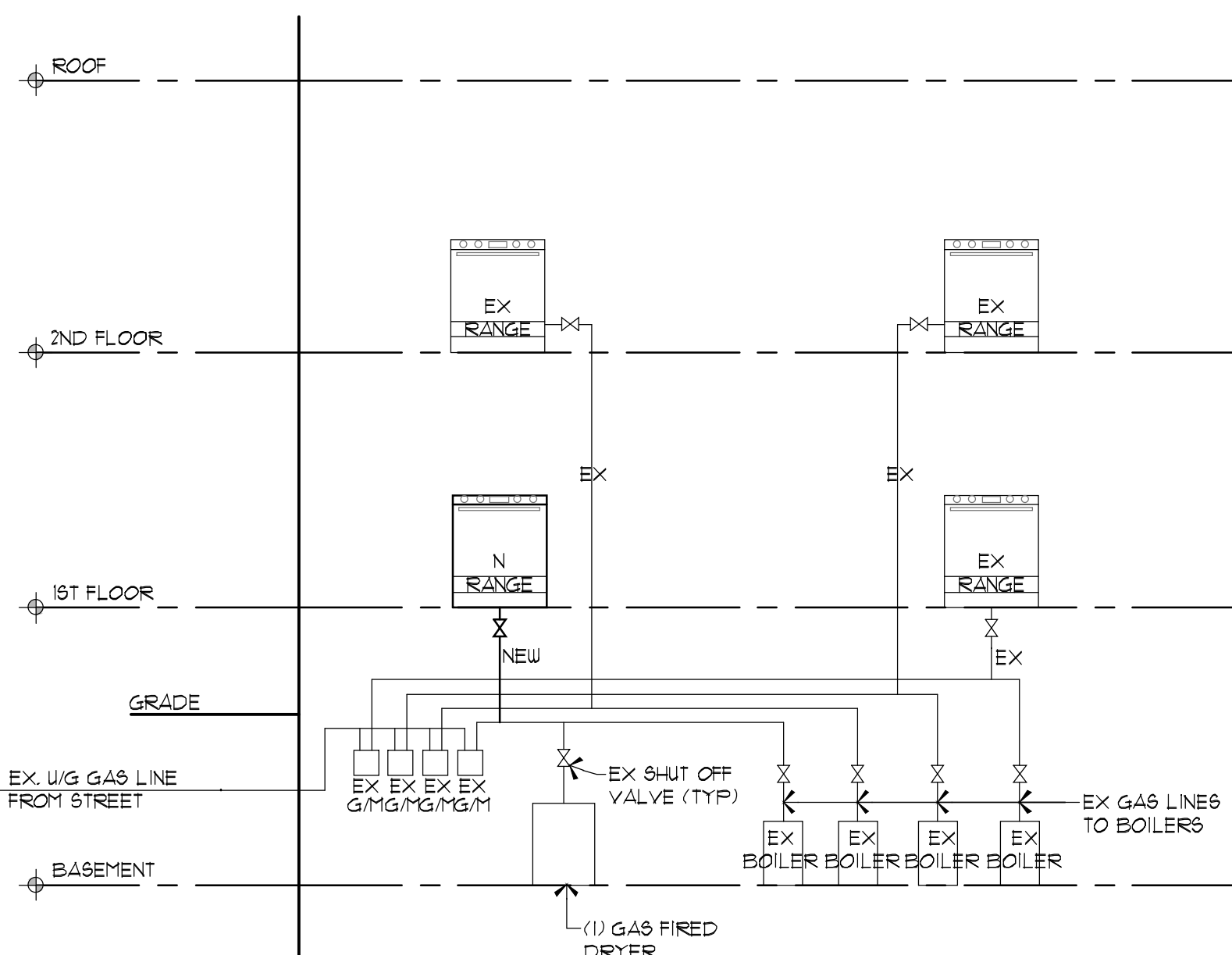
LIGHTING FIXTURE SCHEDULE							
NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	WATTS	LUMENS	COLOR TEMP	NOTES
1	14" LED CLG. MTD.	COOPER LIGHTING	5MD14R20930LWHEDM	26.4	2,014	3,000K	DIMMABLE

**ELECTRICAL NOTES**

- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE AND ANY APPLICABLE LOCAL CODES.
- CONTRACTOR SHALL LABEL ALL CIRCUITS AT ELECTRICAL PANEL.
- ELECTRICAL DEVICES AND RESPECTIVE CONNECTIONS IN WALLS TO BE REMOVED AND WALLS THAT ARE REMOVED WITHOUT EXISTING DEVICES MAY CONTAIN ELECTRICAL WORK. THEREFORE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL EXISTING WORK THAT IS NECESSARY TO MAINTAIN CONTINUITY OF EXISTING AND NEW CIRCUITRY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING ALL EXISTING CEILING AND WALLS TO INSTALL NEW WIRING AS SHOWN (REFER TO SPEC.) COORDINATE ALL CUTS WITH OTHER TRADES BEFORE COMMENCING WORK.
- ALL NEW ELECTRICAL OUTLETS LOCATION TO BE COORDINATED WITH OWNER.
- ALL JUNCTION BOXES SHALL BE ACCESSIBLE.

**ARC FAULT PROTECTION NOTES**

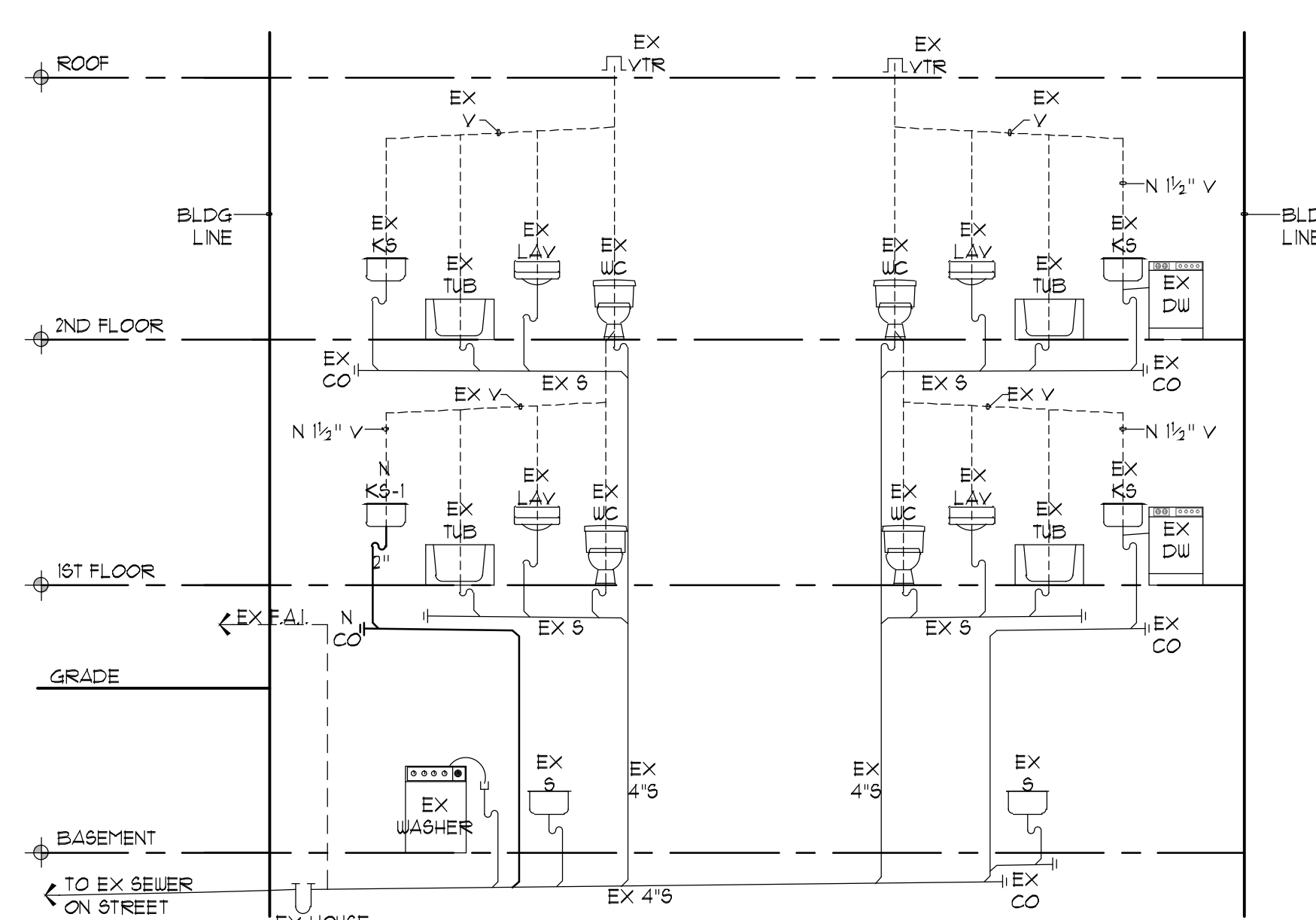
- ARC FAULT PROTECTION SHALL BE INSTALLED PER NEC 210.12(A) IN THE FOLLOWING SPACES: KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, FINISHED BASEMENTS, OR SIMILAR ROOMS OR AREAS.
- ARC FAULT PROTECTION IN THOSE SPACES WILL BE REQUIRED FOR ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP RECEPTACLES, LIGHTING FIXTURES, SWITCHES, SMOKE ALARMS, DISHWASHERS, REFRIGERATORS, ETC.
- ARC FAULT PROTECTION MAY BE ACCOMPLISHED VIA ARC FAULT CIRCUIT INTERRUPTER (AFCI) CIRCUIT BREAKERS, OR AS ALLOWED BY CODE.
- THE CONTRACTOR MAY ELECT TO UTILIZE COMBINATION AFCI AND GFCI CIRCUIT BREAKERS WHERE BOTH TYPES OF PROTECTION ARE REQUIRED.



**2 GAS RISER DIAGRAM (SCHEMATIC)**

SCALE: N.T.S.

NOTES:  
1. GAS PIPING SHALL COMPLY W/ NYS CODE.



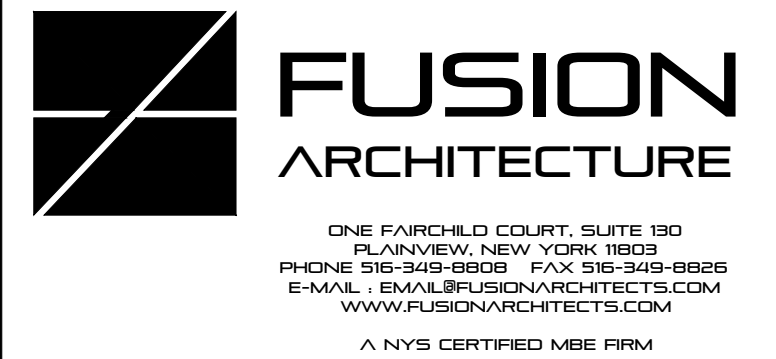
**3 PLUMBING RISER DIAGRAM**

SCALE: N.T.S.

- NOTE:
- VENTS SHALL COMPLY WITH CHAPTER 31.
  - VENT TERMINALS SHALL COMPLY WITH SECTIONS P3103.1 & P3103.2.
  - TRAPS SHALL COMPLY WITH CHAPTER 32.

**MECHANICAL/PLUMBING & ELECTRICAL DRAWING LEGEND**

RR	REMOVE AND REPLACE
N	NEW
EX	EXISTING TO REMAIN
R	REMOVE EXISTING
REF	REFRIGERATOR
DIM	DIMMER LIGHT SWITCH
GFI	GROUND FAULT INTERRUPT DEVICE
48"	48" ABOVE FINISH FLOOR
⊖	SINGLE POLE LIGHT SWITCH
⊕	CONVENIENCE OUTLET
⊖	DEDICATED OUTLET
⊕	CEILING MOUNTED LIGHT FIXTURE
⊖	RECESSED HI-HAT LIGHT FIXTURE
⊕	CEILING MOUNTED EXHAUST FAN
⊖	EXHAUSTED DIRECTLY TO EXTERIOR
⊕	HOME RUN TO PANEL
KS	KITCHEN SINK
V	VENT
LAV	LAVATORY
DW	DISHWASHER
CO	CLEAN OUT
S	SANITARY
FAI	FRESH AIR INTAKE
VTR	VENT THROUGH ROOF
WC	WATER CLOSET



**CONSULTANTS:**

**CLIENT:**

CEREBRAL PALSY ASSOCIATION  
OF NASSAU COUNTY, INC  
380 WASHINGTON AVENUE  
ROOSEVELT, NEW YORK 11515  
(516) 378-2000

**PROJECT:**

ALTERATIONS TO RESIDENCE:  
9 BELLEVUE AVENUE  
PORT WASHINGTON, NEW YORK 11050

**SHEET TITLE:**

PARTIAL FIRST FLOOR  
MECHANICAL/PLUMBING &  
ELECTRICAL PLAN,  
GAS RISER DIAGRAM,  
PLUMBING RISER DIAGRAM  
& SCHEDULES

**REVISIONS**

NO.	DATE	DESCRIPTION
	06-18-24	SUBMIT FOR BZA
	04-22-24	REVISED PER BUILDING DEPARTMENT

DRAWN BY:	TF	SHEET NO:
CHECKED BY:	JPL	<b>MPE-1</b>
DATE:	04-22-24	
SCALE:	AS NOTED	
PROJECT NO:	2016.051	

OWNER:  
**DISAPPROVED**  
 Michael Miano  
 08/27/2024

# #21608 LEGEND

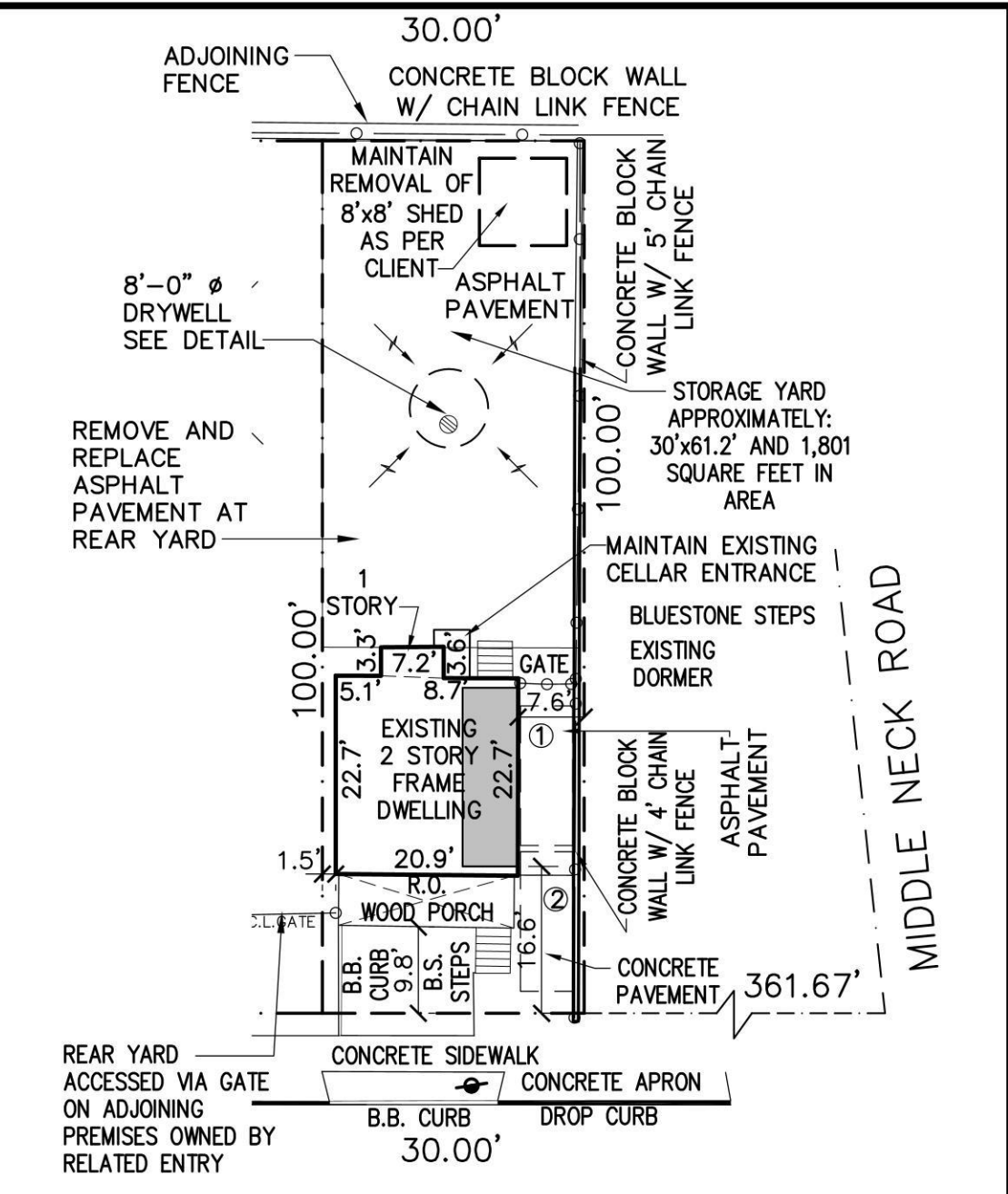
- WINDOWS
- EXISTING WALLS TO REMAIN
- ABOVE, BELOW OR REMOVED AS NOTED
- MAINTAINED CONSTRUCTION:
- INTERIOR PARTITION: 2x4 STUDS @ 16" O.C. W/ 5/8" GYP. BD EACH SIDE. UNLESS OTHERWISE NOTED CEMENT BD. AT WET LOCATIONS. SOUND INSULATION.
- TYPICAL EXTERIOR PARTITION: 2x4 STUDS @ 16" O.C. W/ 5/8" GYP. BD INTERIOR AND 5/8" CDX PLYWD. SHEATHING EXTERIOR SIDE WITH VAPOR BARRIER, SIDING. SEE ELEVATIONS. R-15 MIN THERMAL INSULATION. UNLESS OTHERWISE NOTED
- ROOF: ASPHALT SHINGLES  
30# FELT  
5/8" PLYWOOD SHEATHING  
INSULATION
- SWITCH  
3 WAY SWITCH
- RECESSED INCANDESCENT ELECTRICAL OUTLET
- TELEPHONE  
DATA
- CARBON MONOXIDE DETECTOR, HARD WIRED
- SMOKE DETECTOR, HARD WIRED
- WIRING

**GENERAL MEP NOTES:**  
 1. ALL ELECTRICAL WORK VERIFIED BY LICENSED CONTRACTORS IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING.

**ELECTRICAL NOTES:**  
 1. ALL ELECTRICAL WORK INCLUDING EXISTING IN PLACE ELECTRICAL TO BE DONE AND OR VERIFIED TO BE IN ACCORDANCE WITH THE N.Y.S.B.C. RULES AND REGULATIONS AND A ELECTRICAL CERTIFICATE IS TO BE PRESENTED TO THE OWNER.

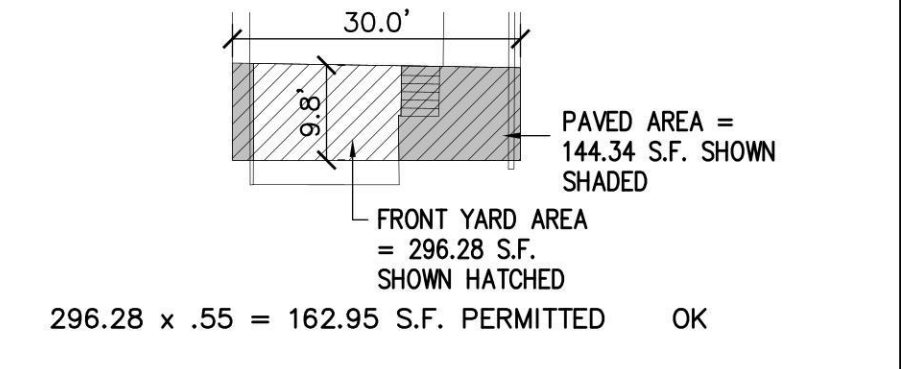
**LIGHT AND VENTILATION**

<b>BEDROOM 1:</b>			
BEDROOM 1			
REQUIRED LIGHT	8%	=	140 SQ.FT.
PROVIDED LIGHT	9.1%	=	12.0 SQ.FT.
REQUIRED VENTILATION	4%	=	5.6 SQ.FT.
PROVIDED VENTILATION	4.1%	=	11.4 SQ.FT.
<b>BEDROOM 2:</b>			
BEDROOM 2			
REQUIRED LIGHT	8%	=	11.2 SQ.FT.
PROVIDED LIGHT	7.4%	=	10.3 SQ.FT.
REQUIRED VENTILATION	4%	=	5.6 SQ.FT.
PROVIDED VENTILATION	4.1%	=	5.7 SQ.FT.
<b>BEDROOM 2:</b>			
SPACE TO BE ARTIFICIALLY LIGHTED BY LIGHT FIXTURES WITH CAPABILITIES OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AS PER NYSBC R303.1 EXCEPTIONS 2			



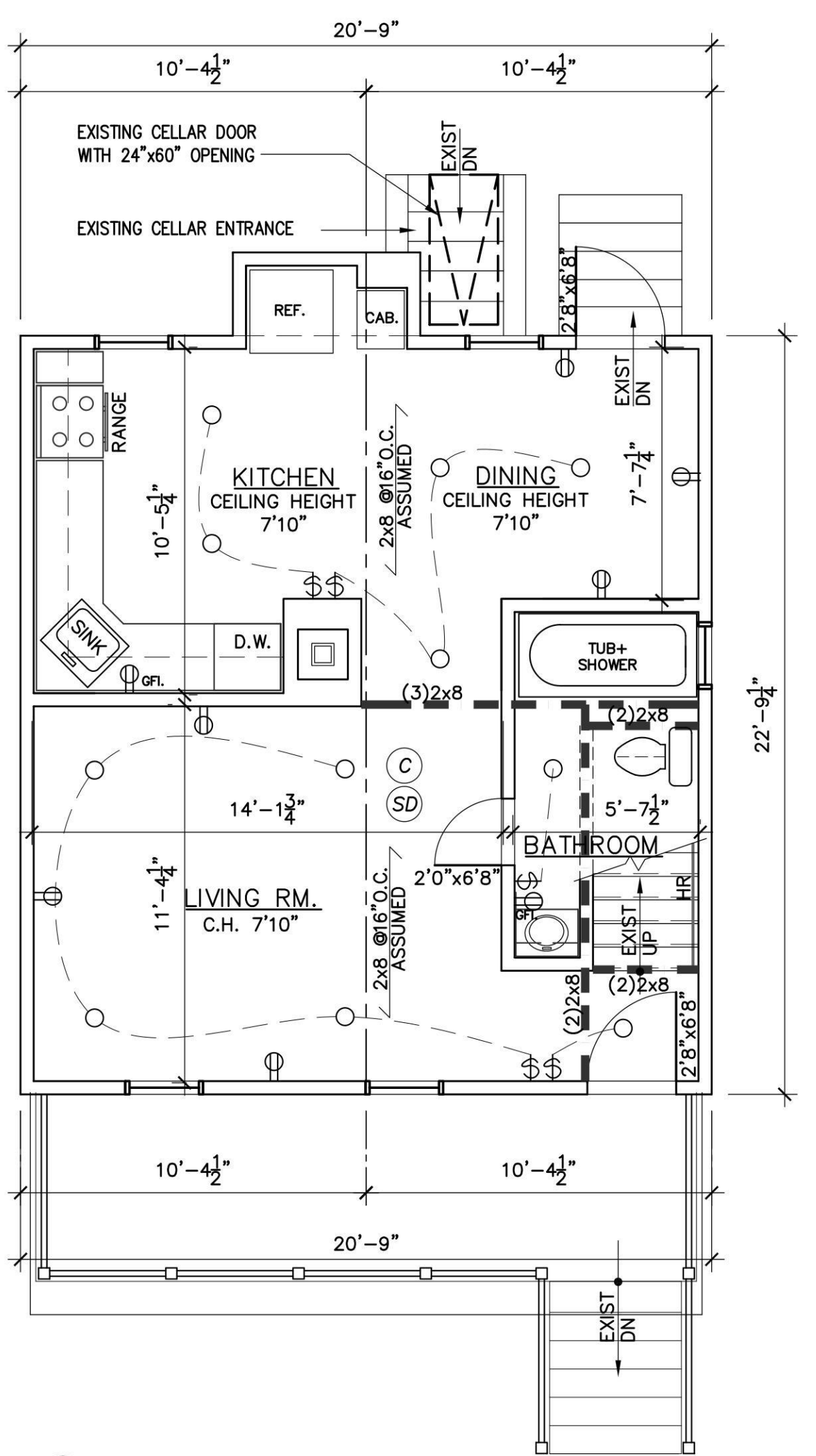
**BEECHWOOD AVENUE PLOT PLAN**  
 SCALE: 1"=20'-0"  
 PLOT PLAN IS SCHEMATIC AND TAKEN FROM A SURVEY PREPARED BY AK ASSOCIATES PROFESSIONAL LAND SURVEYORS DATED: JANUARY 16, 2018

DRAINAGE DESIGN SITE AREA	=	1,801 S.F.
1,801 x 2.5/12	=	375 C.F.
REQUIRED STORAGE	=	375 C.F.
8 FT DRYWELL = 42.24 C.F. x 9 FT. CAPACITY		
CAPACITY PROVIDED = 380 CU. FT.		

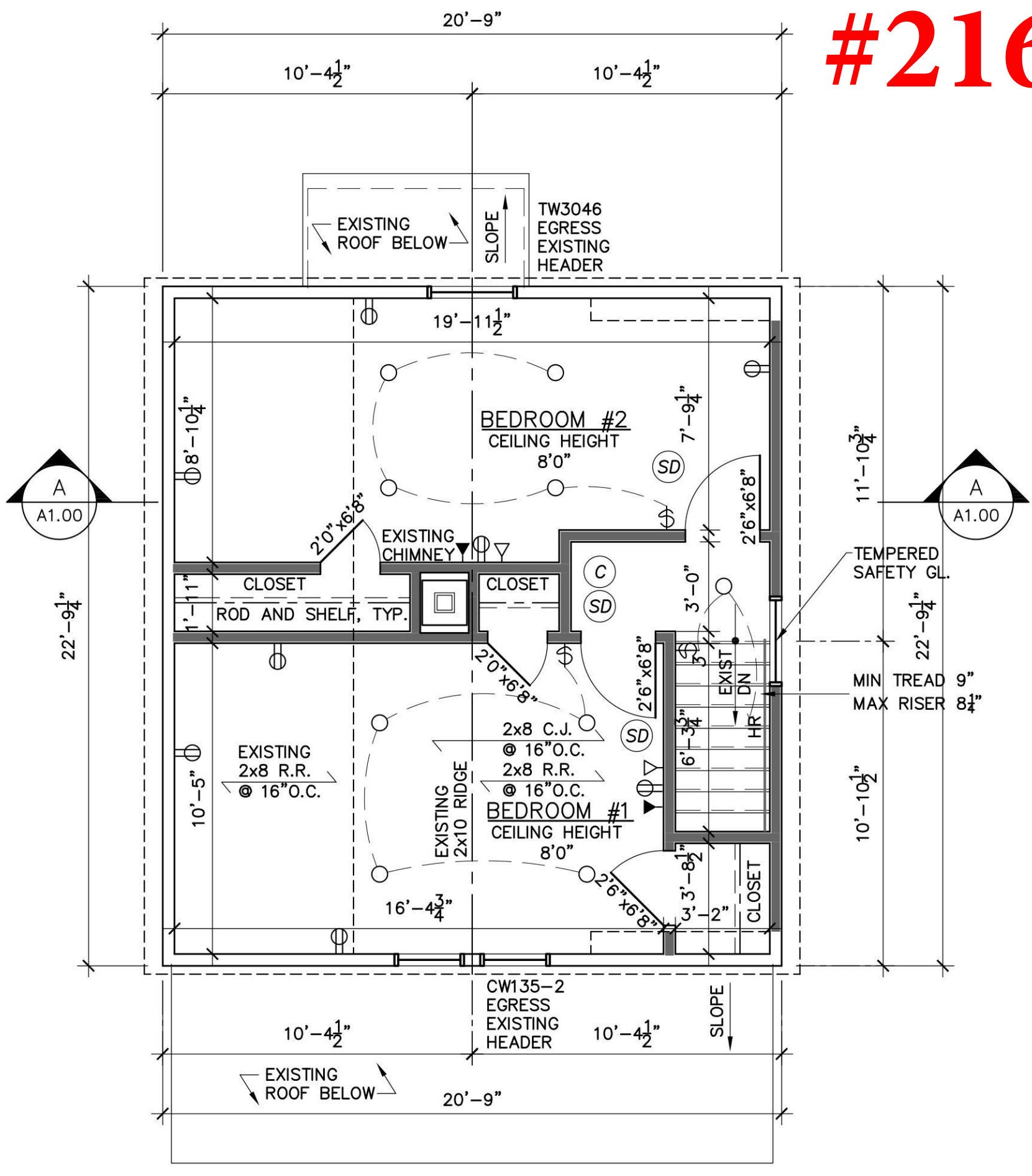


**FRONT YARD PAVING**  
 SCALE: 1"=20'-0"

**DESIGN CODE:**  
 THE INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2017 NEW YORK STATE UNIFORM CODE SUPPLEMENT AND AWC WFCM-2015  
 THE INTERNATIONAL RESIDENTIAL CODE 2015 APPENDIX J EXISTING BUILDINGS AND STRUCTURES:  
 AJ401 REPAIRS  
 AJ501 ALTERATIONS LEVEL 1  
 AJ601 ALTERATIONS LEVEL 2  
 AJ801 ADDITIONS  
 DRAWINGS COMPLY W/ CHAPTER 3 AND TABLE R301.2(1) THE INTERNATIONAL RESIDENTIAL CODE 2015 AND APPLICABLE SECTIONS 2017 NEW YORK STATE UNIFORM CODE SUPPLEMENT

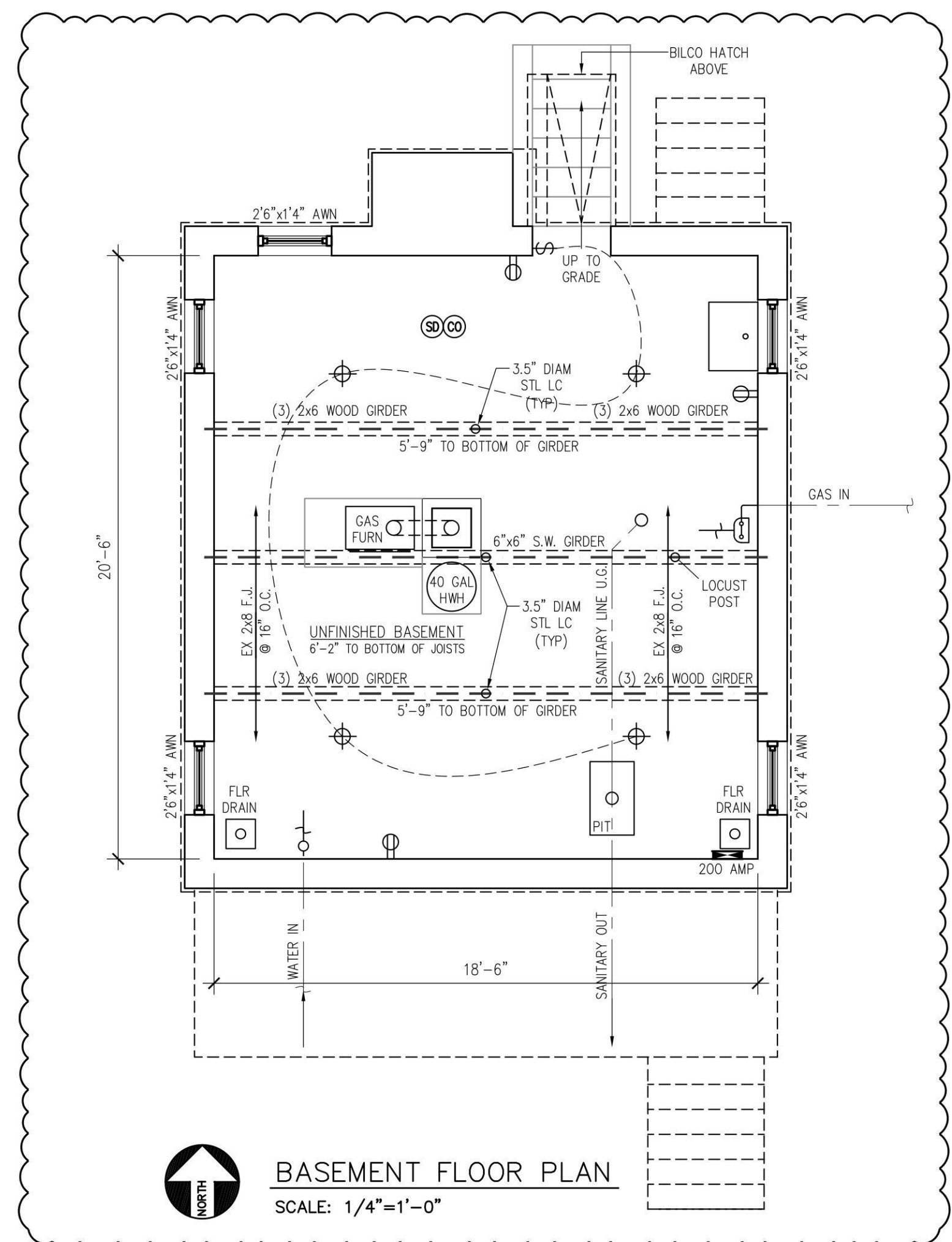


**FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

NOTE:  
 FIELD VERIFY EXISTING FRAMING SIZE AND DIRECTION AT LOCATION OF PROPOSED WORK, TYPICAL.

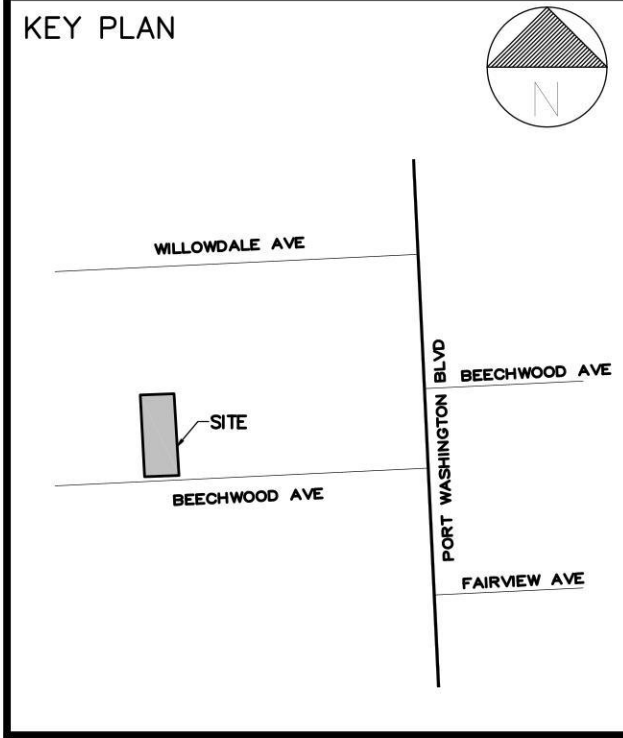


**BASEMENT FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

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**REVISIONS**

No	Date	Comments
1	9/16/19	DOB OBJECTIONS
2	11/12/20	DOB OBJECTIONS
3	12/31/21	DOB OBJECTIONS
4	6/29/24	ADDED BASEMENT



Project:  
 MAINTAIN SECOND FLOOR ADDITION  
 17 BEECHWOOD AVE  
 PORT WASHINGTON, NY

Drawing Title:  
 PLOT PLAN, ZONING INFORMATION, BASEMENT FLOOR PLAN, FIRST FLOOR PLAN, SECOND FLOOR PLAN

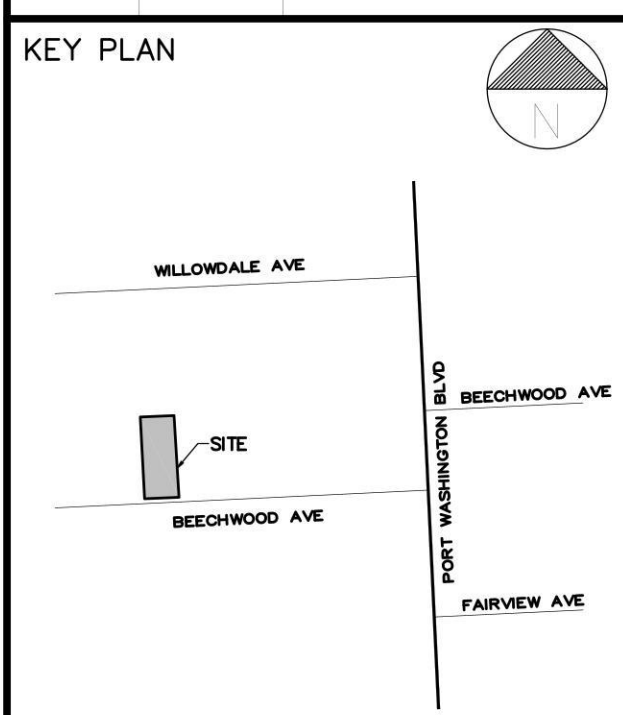
PROJECT NAME & DESCRIPTION:  
 TOWN OF NORTH HEMPSTEAD  
 ZONE I-B  
 SECTION 5  
 BLOCK 094  
 LOT(S) 589  
 PROJECT SUMMARY:  
 MAINTAIN EXISTING PRIOR NON-CONFORMING INDUSTRIAL STORAGE YARD FOR STORAGE OF VEHICLES AND EQUIPMENT IN REAR OF PREMISES

DATE: AUG. 21, 2020  
 PROJ. NO: 2017-069  
 DRAWING BY: FD  
 CHKD BY: RTT  
 DWS NO: **A1.00**  
 FILE: A | 1 of 2

OWNER:

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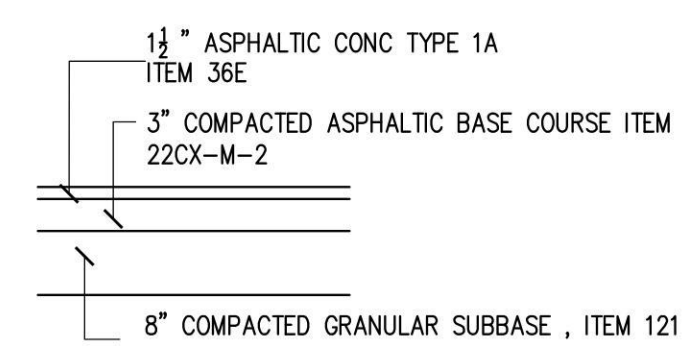
REVISIONS		
No	Date	Comments
1	9/16/19	DOB OBJECTIONS
2	11/12/20	DOB OBJECTIONS
3	12/31/21	DOB OBJECTIONS
4	6/29/24	ADDED BASEMENT



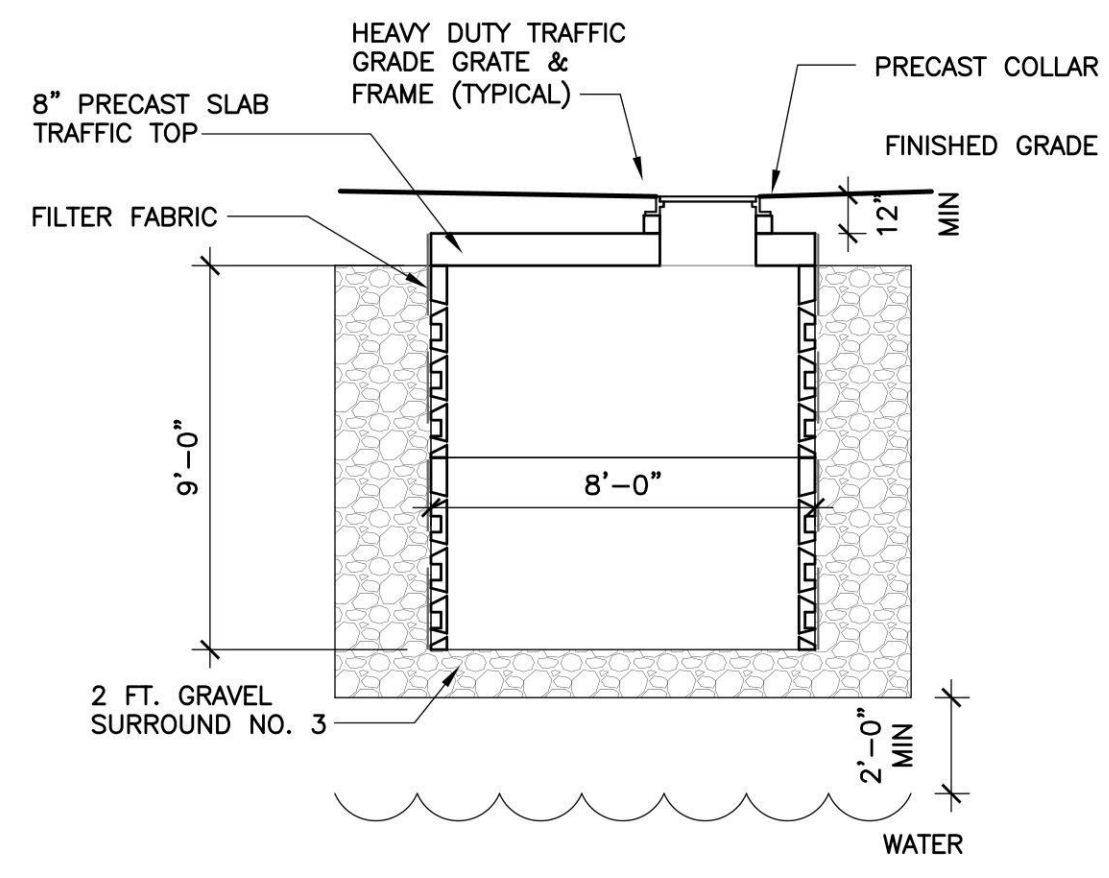
Project: **MAINTAIN SECOND FLOOR ADDITION 17 BEECHWOOD AVE PORT WASHINGTON, NY**

Drawing Title: **ELEVATIONS, BUILDING SECTION, DETAILS AND GENERAL INFORMATION**

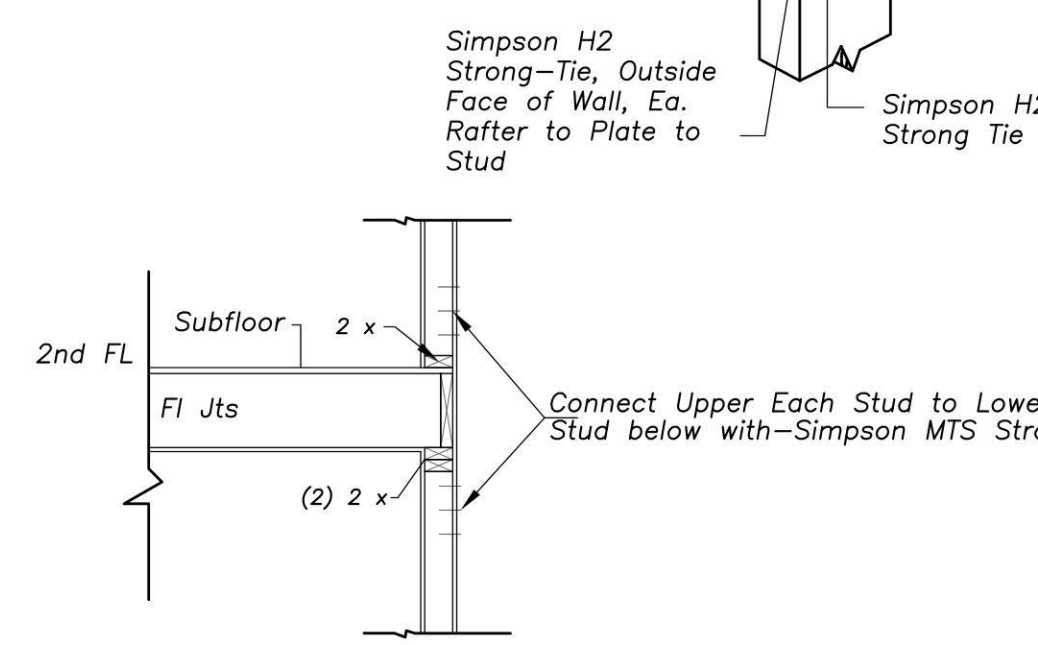
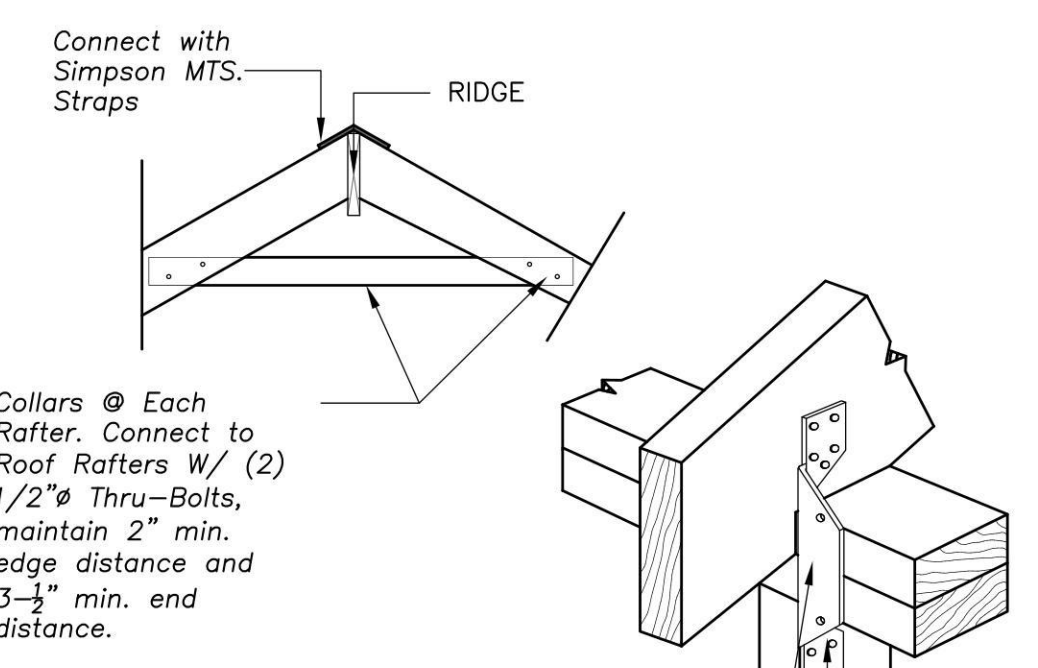
SEAL & SIGNATURE DATE: AUG. 21, 2020  
 PROJ. NO: 2017-069  
 DRAWING BY: FD  
 CHKD BY: RTT  
 DWS NO: **A2.00**  
 FILE: A 2 of 2



TYPICAL PAVEMENT DETAIL  
 SCALE: 1/2"=1'-0"

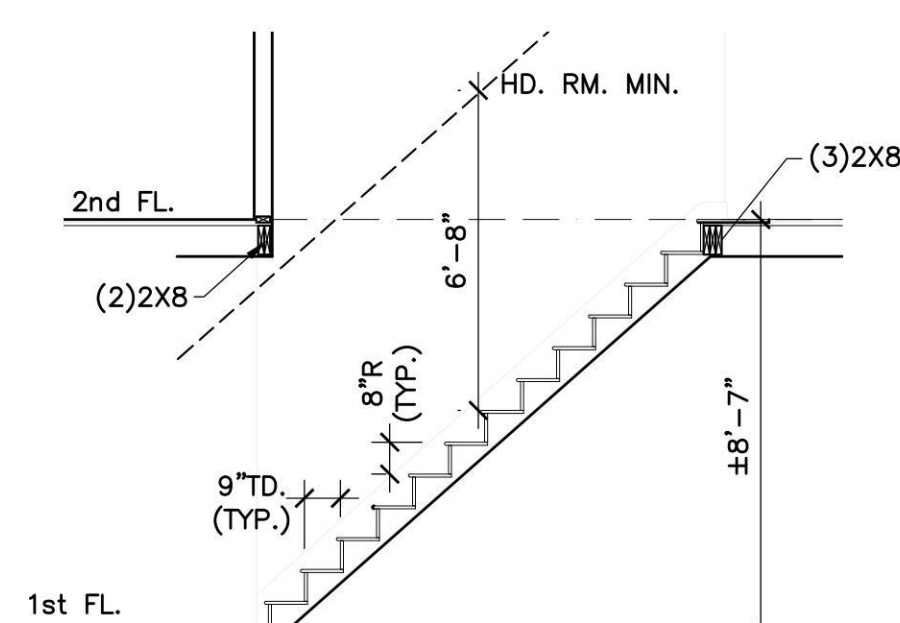


TYPICAL DRYWELL DETAIL  
 SCALE: 1/4"=1'-0"

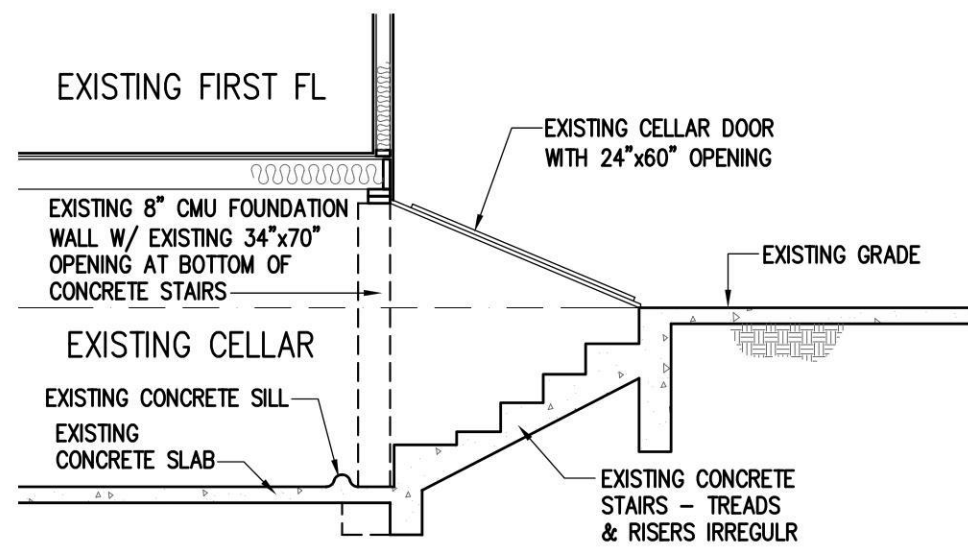


TYPICAL EXTERIOR WALL CONNECTIONS

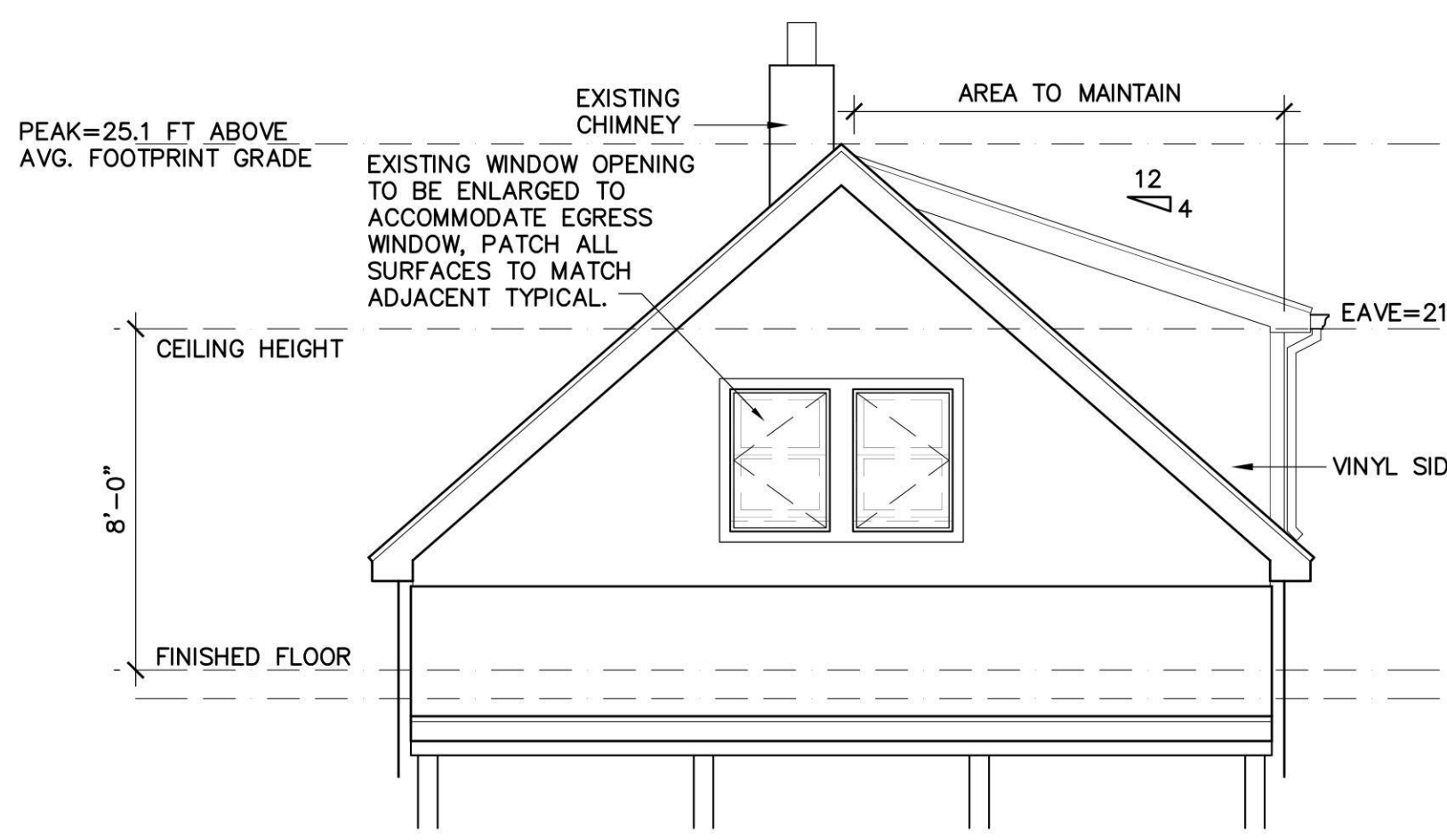
NO SCALE



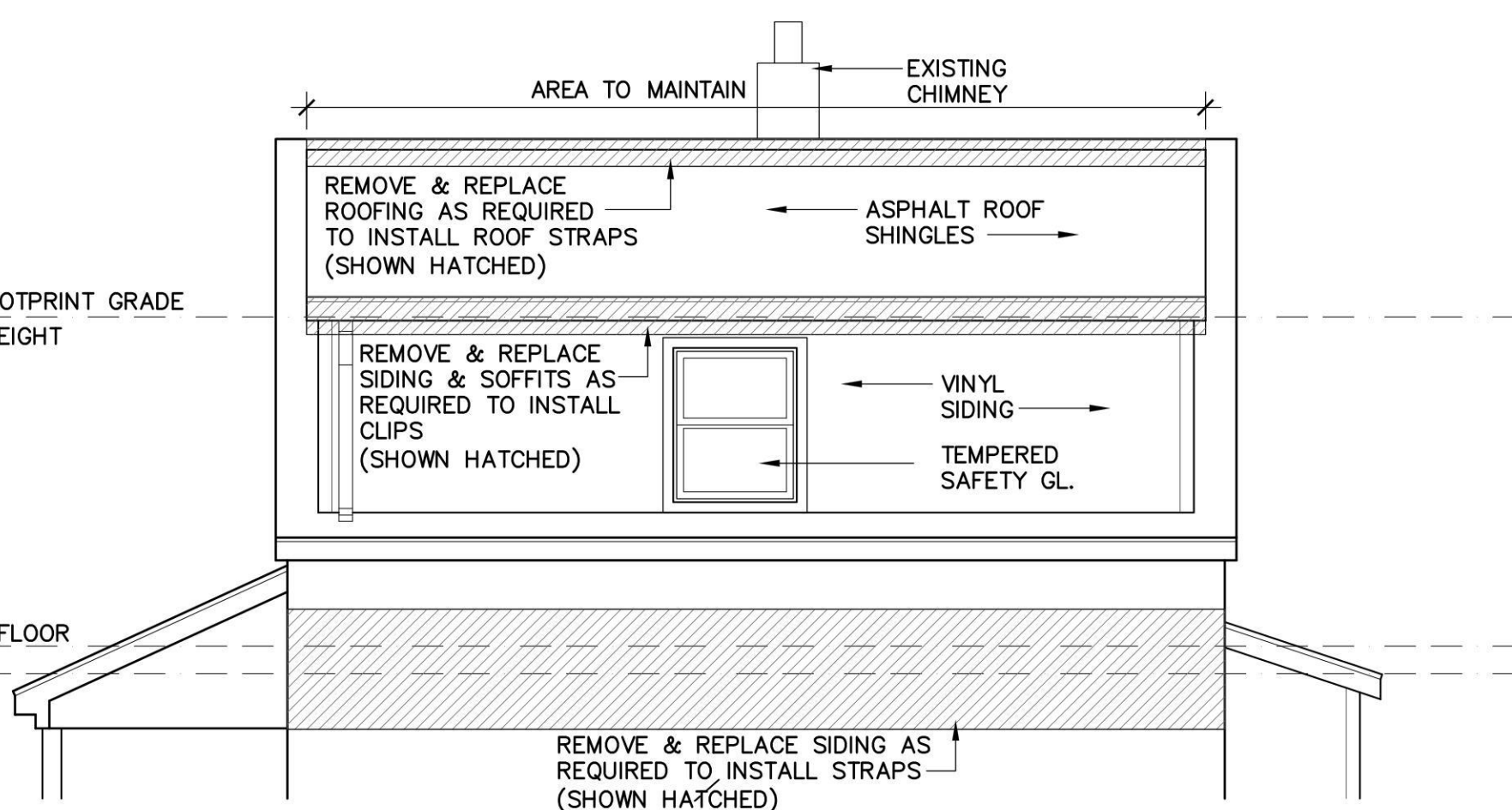
SECTION STAIR TO 2nd FLOOR  
 SCALE: 1/4"=1'-0"



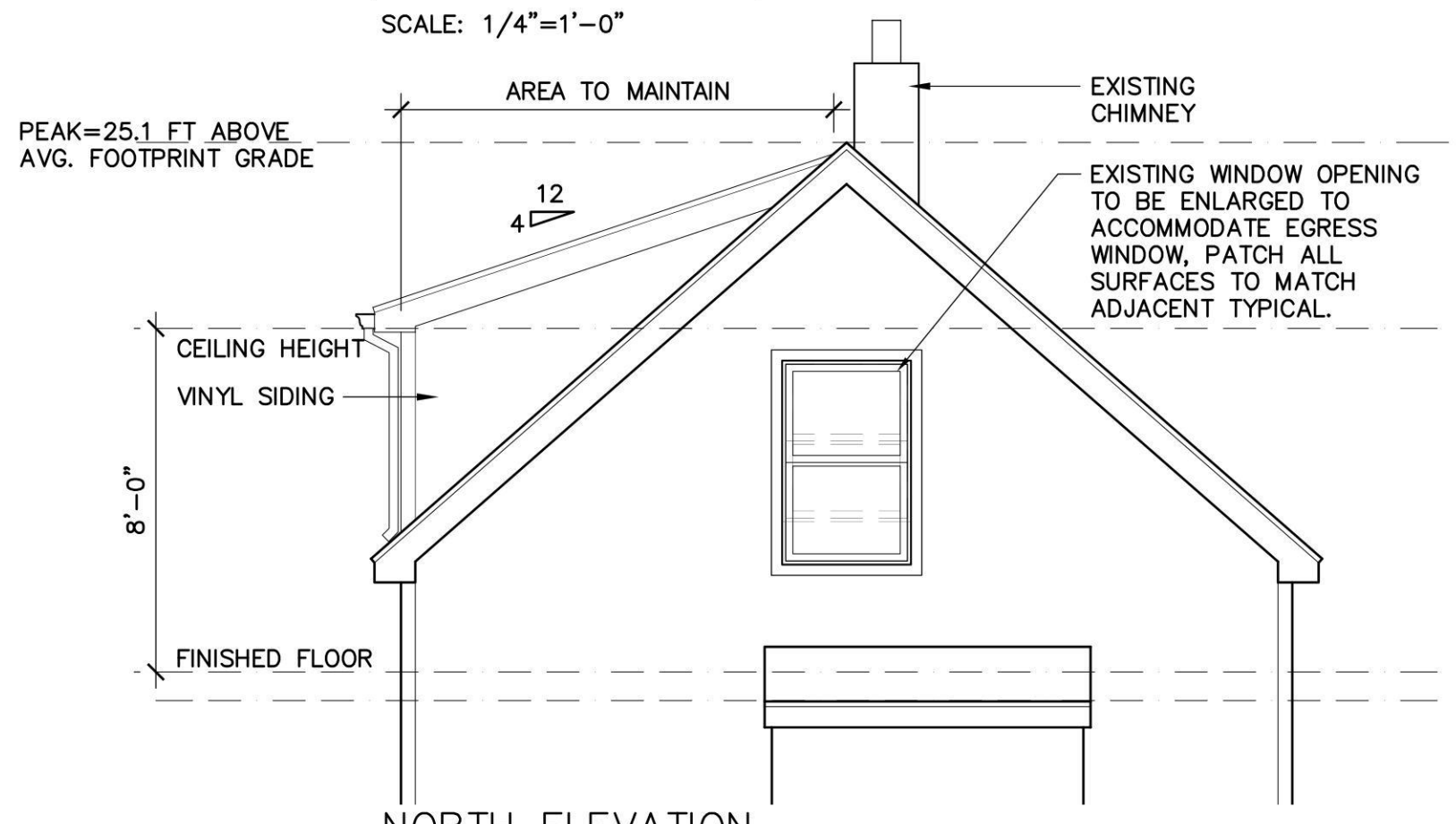
CELLAR STAIR SECTION  
 SCALE: 1/4"=1'-0"



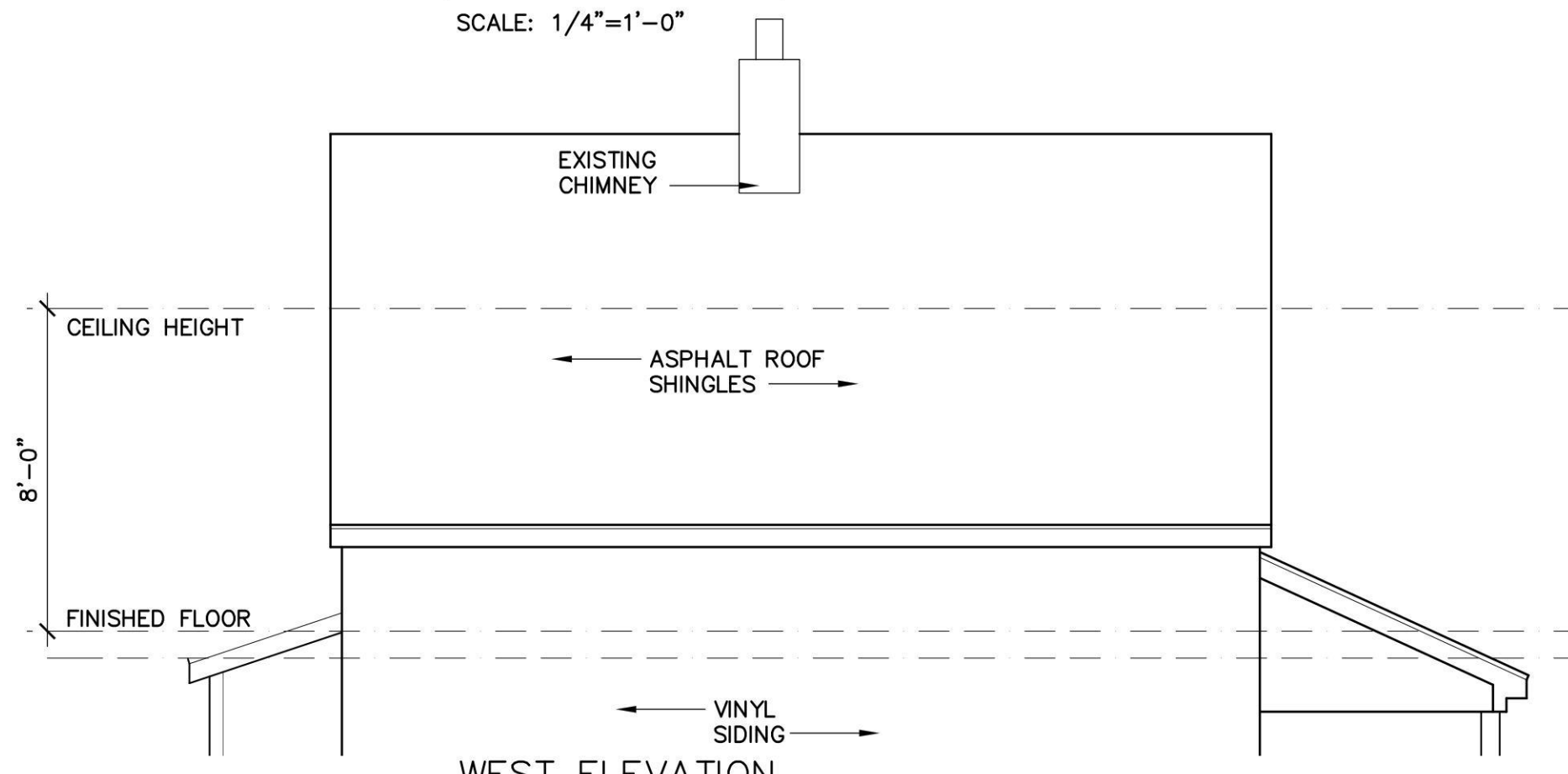
SOUTH ELEVATION  
 SCALE: 1/4"=1'-0"



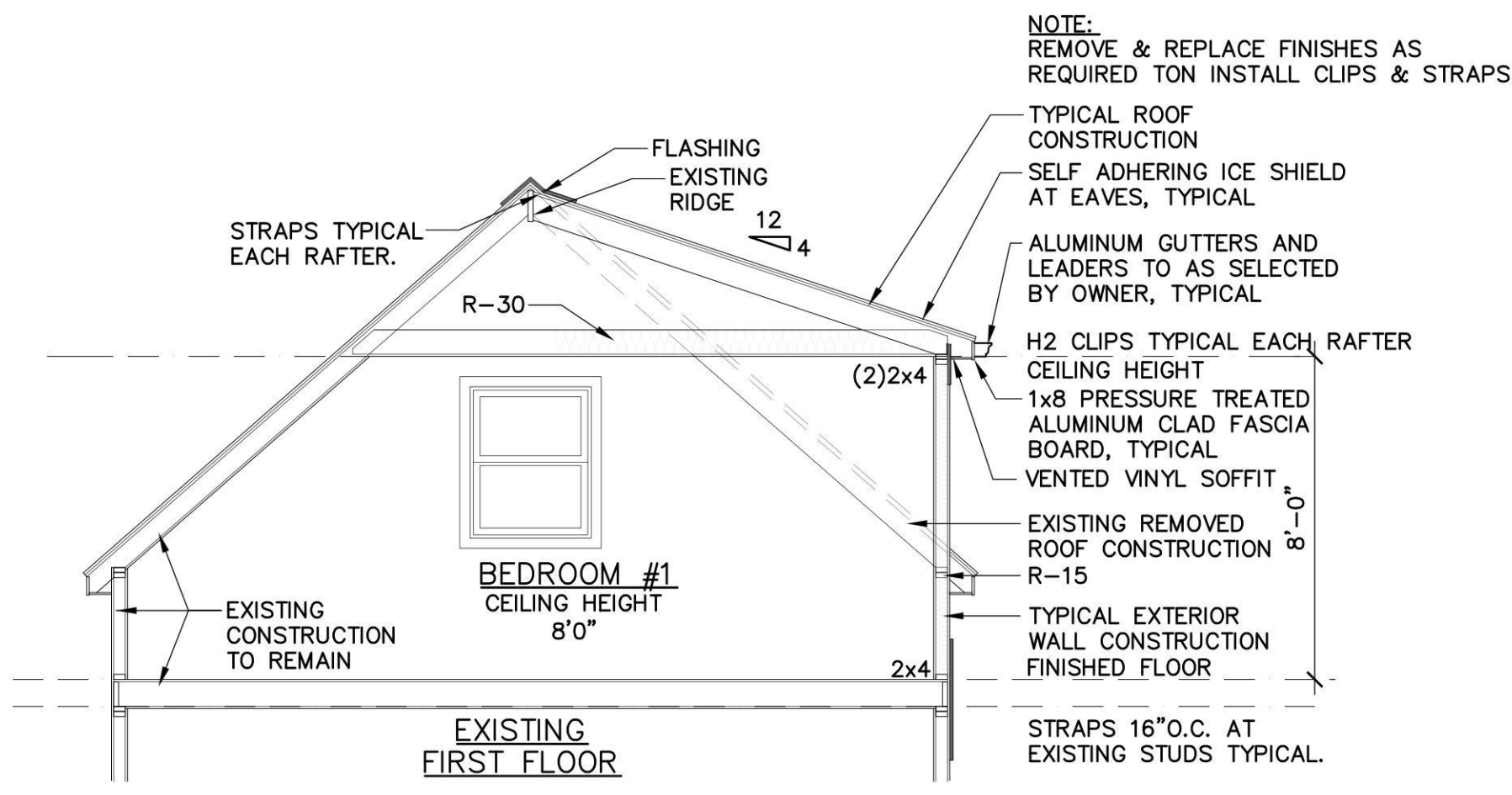
EAST ELEVATION  
 SCALE: 1/4"=1'-0"



NORTH ELEVATION  
 SCALE: 1/4"=1'-0"



WEST ELEVATION  
 SCALE: 1/4"=1'-0"



CROSS SECTION "A"  
 SCALE: 1/4"=1'-0"







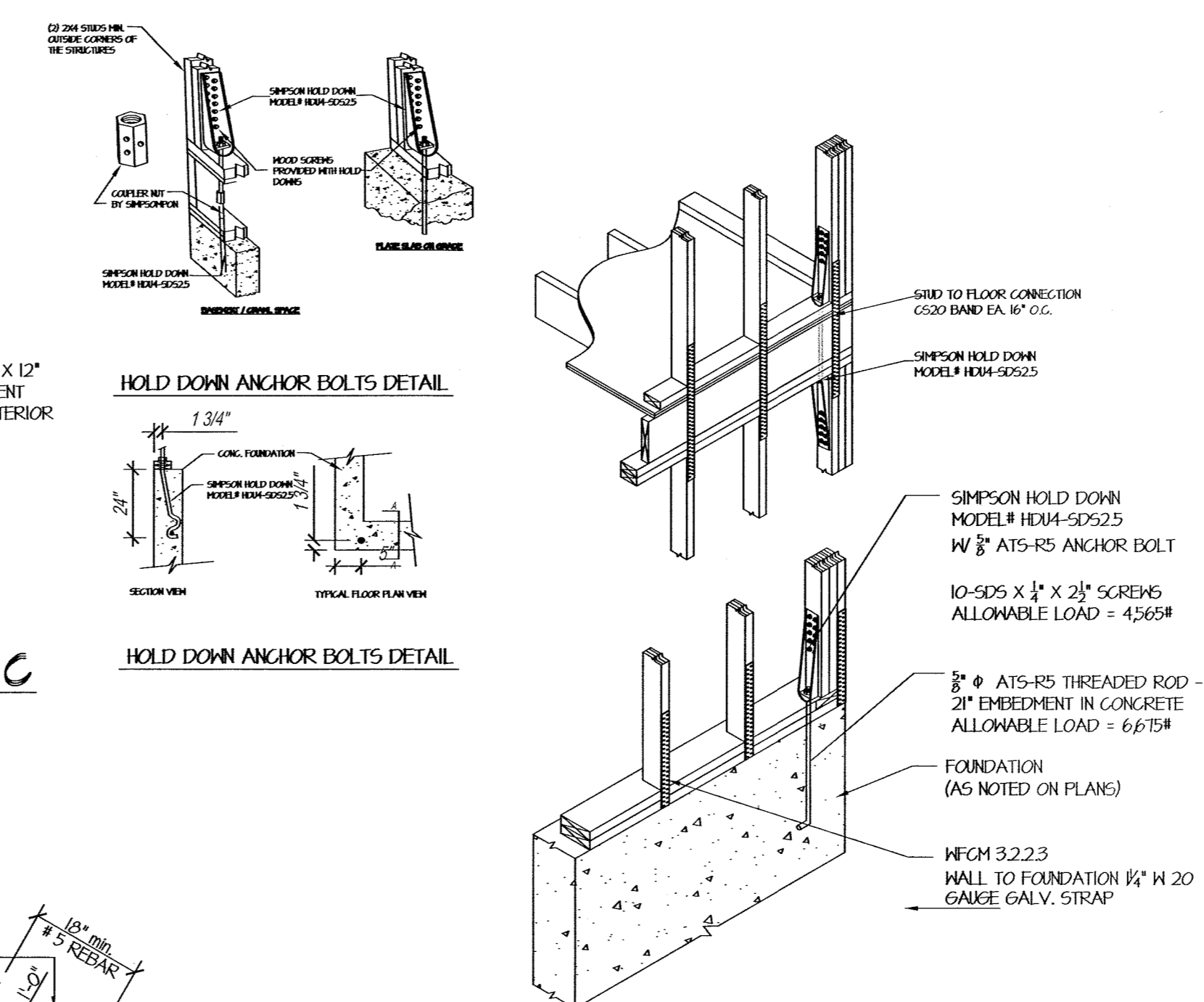


**FOUNDATION WALL ASSEMBLY AS PER MFCM 2015 TABLE 3.2B**

SILL: (2) 2 X 4 AGQ SILL  
COPPER TERMITE SHIELD  
SILL SEAL  
ANCHOR BOLTS:  
3/4" DIA. ANCHOR BOLTS  
SPACING 34" O.C. AS PER TABLE 3.2 B  
MIN 1" EMBEDMENT IN POURED CONC. FOUNDATION  
LOCATED WITHIN 12" OF ALL CORNERS, OPENINGS AND SEAMS  
PROVIDE 3" X 3" X 3/8" STEEL PLATE (SIMPSON MODEL # LBP5 3/8")  
BEARING AT ALL ANCHOR BOLTS.

8" WIDE (3000 PSI)  
CONCRETE FOUNDATION WALL  
ON 8" X 16" CONC. FOOTING @  
MIN. 3'-0" BELOW GRADE.

INSTALL (2) COATS BITUMINOUS  
DAMP-PROOFING OVER NEW  
FOUNDATION AS REQ'D



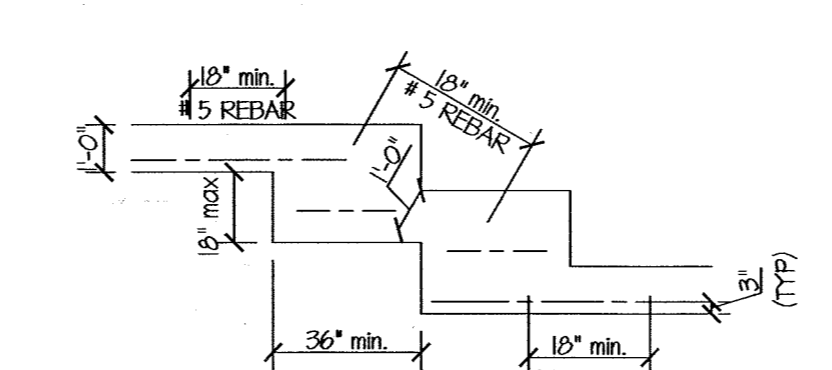
**HOLD DOWN ANCHOR BOLTS DETAIL**

**HOLD DOWN ANCHOR BOLTS DETAIL**

**HOLD DOWN CONNECTION DETAIL**

**AIR INTAKE SCHEMATIC**

SCALE: 1/4" = 1'-0"  
NOTE: SINGLE COMBUSTIBLE AIR OPENING, ALL AIR  
FROM OUTDOORS AS PER 624016.2

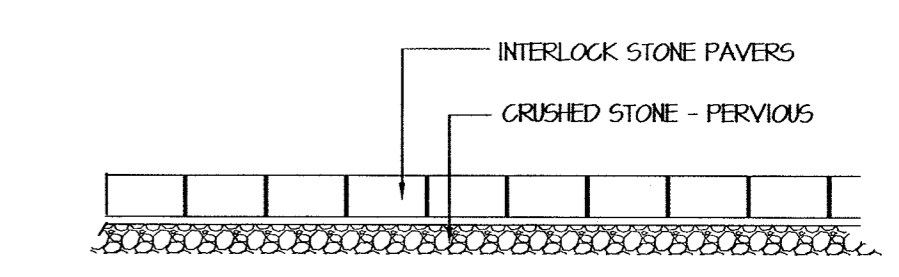


**STEPPED FOOTING DETAIL**

SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**

- DESIGN MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318 OF THE AMERICAN CONCRETE INSTITUTE. ULTIMATE CONCRETE DESIGN STRENGTH 28 DAYS FOR REINFORCED CONCRETE IS TO BE 3000 PSI. ASSUMED SOIL BEARING CAPACITY, 1 TON PER SQUARE FOOT AS PER R401.4.1 (SUBJECT TO INSPECTION AND VERIFICATION)
  - CONCRETE AND REINFORCING MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS: PORTLAND CEMENTS AS PER ASTM C150 & AIR ENTRAINING PORTLAND CEMENT AS PER ASTM C119.
  - ALL FOUNDATION AND FOOTING SHALL BE INSTALLED IN ACCORDANCE WITH R401 AND R403 OF IRRG.
  - FOOTINGS TO BE CARRIED DOWN TO UNDISTURBED SOIL. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY AND CONFIRM WATER TABLE CONDITIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY SOIL VARIATION OR ADVERSE CONDITION AFFECTING BEARING CAPACITY PRIOR TO ANY POURING OF FOOTINGS OR FOUNDATION WALLS.
  - 16" X 8" CONCRETE WALL FOOTINGS, 3000 PSI TEST.
  - 4" CONCRETE FLOOR SLAB, 3000 PSI TEST WITH 6" X 6" X 10 MESH AND VAPOR BARRIER (NEW CONSTRUCTION).
  - DAMP PROOFING AND AT EXTERIOR FOUNDATION BELOW GRADE (NEW CONSTRUCTION) AS PER R406 2015 IRRG.
  - FOUNDATION WALL TO EXTEND A MINIMUM OF 6" FINISHED GRADE AS PER R404.1.6 (NEW CONSTRUCTION).
  - FOR FOUNDATION ANCHOR BOLTS SPACING SEE TABLE 3.2B MFCM 2015 EDITION.
  - POUR NO CONCRETE ON FROZEN GROUND OR IN FREEZING WEATHER.
  - JOB LOCATED WITHIN 1 MILE OF THE WETLANDS, RIVERBED, OCEAN OR STREAMS MAY REQUIRE PILING, DEPENDING ON BORE TEST RESULTS & SOIL ANALYSIS.
  - PROVIDE PROTECTION FROM TERMITE DAMAGE USING COPPER TERMITE SHIELDS AT ALL SILLS.
- (IRG 2015 SECTION R406)  
FOUNDATION WALLS KEEP EARTH AND ENCLOSED SPACES INTERIOR SPACES AND CONC. WALLS BELOW GRADE SHALL BE DAMP-PROOFED FROM THE HEIGHT OF (a) THE TOP OF THE FOOTINGS OR (b) 6" INCHES BELOW THE TOP OF THE BASEMENT SLAB FLOOR, TO THE FINISHED GRADE. MASONRY WALLS HAVE NOT LESS THAN 3/8" INCH PORTLAND CEMENT PARGING APPLIED TO THE EXTERIOR OF THE WALL. THE PARGING SHALL BE DAMP-PROOFING IN ACCORDANCE WITH ONE OF THE FOLLOWING:
- BITUMINOUS COATING
  - THREE POUNDS PER SQUARE YARD OF ACRYLIC MODIFIED.
  - 3/8" INCH COAT OF SURFACE BONDING CEMENT COMPLYING WITH ASTM C 881
  - ANY MATERIAL PERMITTED FOR WATERPROOFING IN SECTION R406.2
  - OTHER APPROVED METHOD OR MATERIALS.
  - PARGING OF UNIT MASONRY WALLS IS NOT REQUIRED WHERE A MATERIAL IS APPROVED FOR DIRECT APPLICATION MASONRY.
- CONCRETE WALLS SHALL BE DAMP-PROOFED BY APPLYING ANY ONE OF THE LISTED DAMP-PROOFING MATERIALS OR ANY ONE OF THE WATER-PROOFING MATERIALS LISTED IN R406.2 TO THE EXTERIOR OF CONC. WALL.

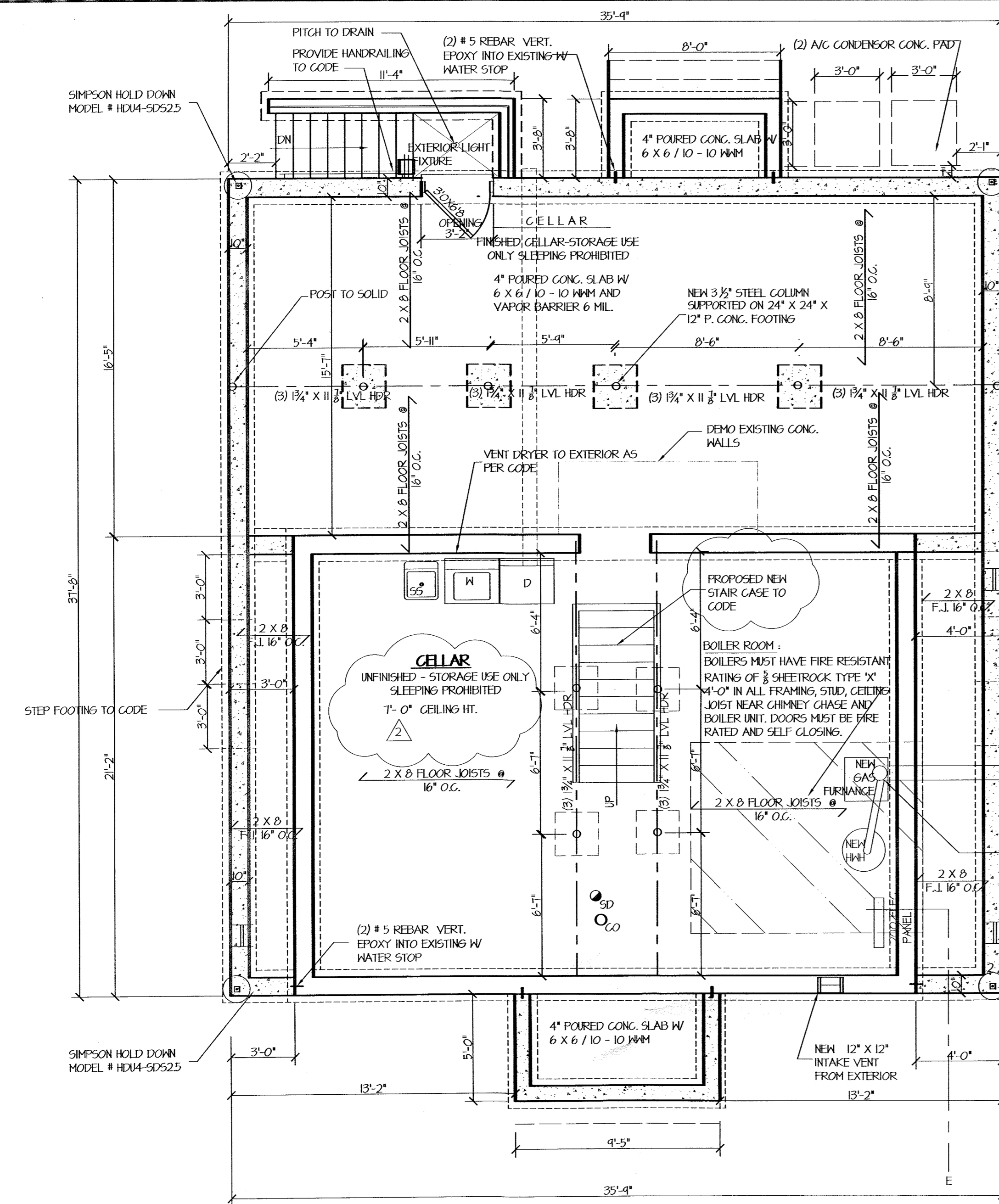


**PAVER DETAIL**

**ROOF ASSEMBLY**

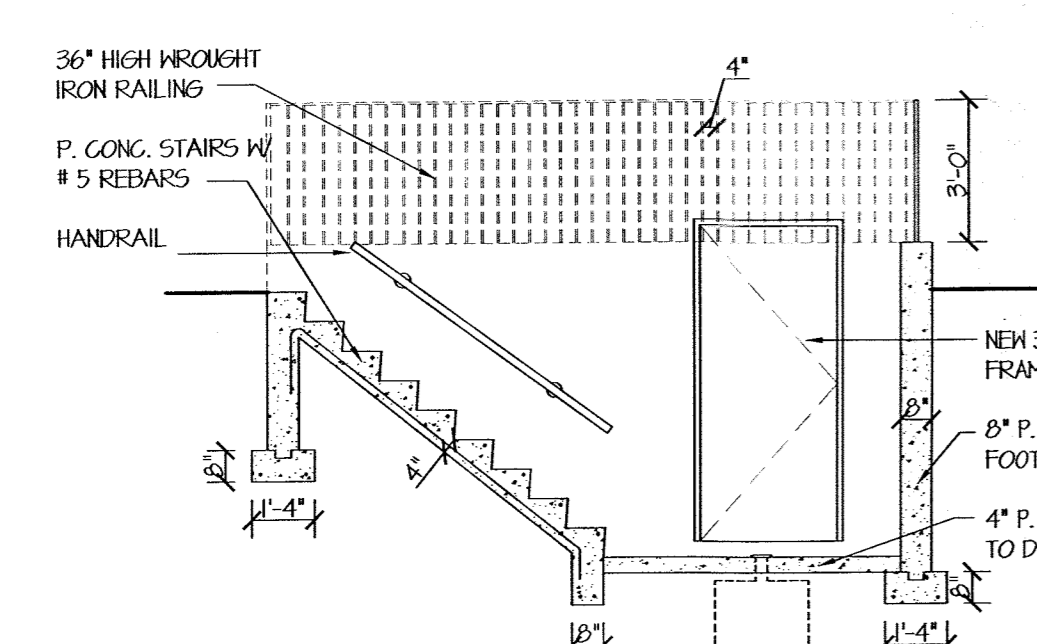
1 3/4" X 1 1/4" LVL RIDGE  
CONTINUOUS RIDGE VENTING  
RIDGE TO RAFTER C520 STRAPPING EA. 16" O/C

2 X 12 RR @ 16" O.C.  
25 YR ASPHALT ROOF SHINGLES  
30 LB FELT PAPER  
1/2" CDX PLYWOOD  
ICE SHIELD 2'-0" MIN. AS PER CODE  
12" VENTED SOFFIT



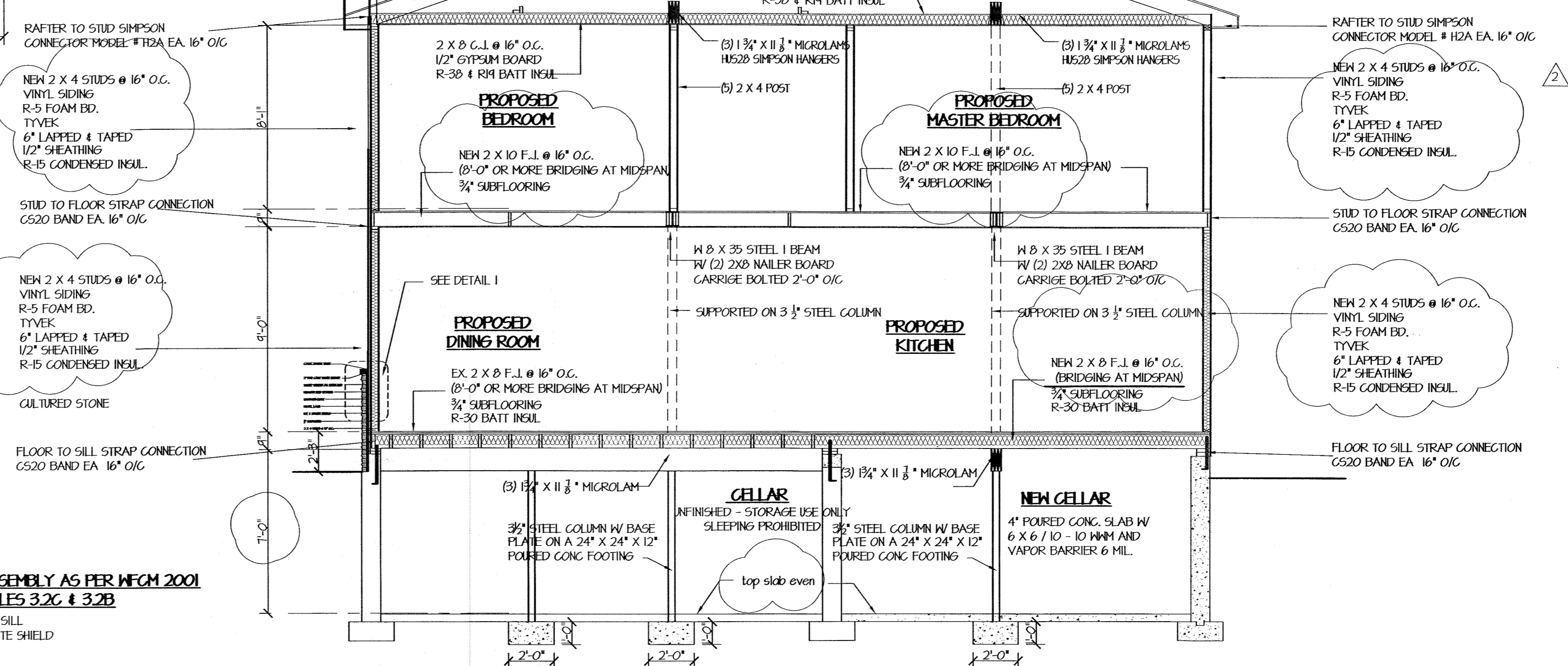
**PROPOSED FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



**CONCRETE STAIR DETAIL**

SCALE: 1/4" = 1'-0"



**SECTION A-A**

SCALE: 1/4" = 1'-0"

**FOUNDATION ASSEMBLY AS PER MFCM 2001 TABLES 3.2C & 3.2B**

SILL: (2) 2 X 6 AGQ SILL  
COPPER TERMITE SHIELD  
SILL SEAL  
ANCHOR BOLTS:  
3/4" DIA. ANCHOR BOLTS  
SPACING 34" O.C. AS PER TABLE 3.2 C & 3.2 B  
MIN 1" EMBEDMENT IN POURED CONC. FOUNDATION  
LOCATED WITHIN 12" OF ALL CORNERS, OPENINGS AND SEAMS  
PROVIDE 3" X 3" X 3/8" STEEL PLATE (SIMPSON MODEL # LBP5 3/8")  
BEARING AT ALL ANCHOR BOLTS.

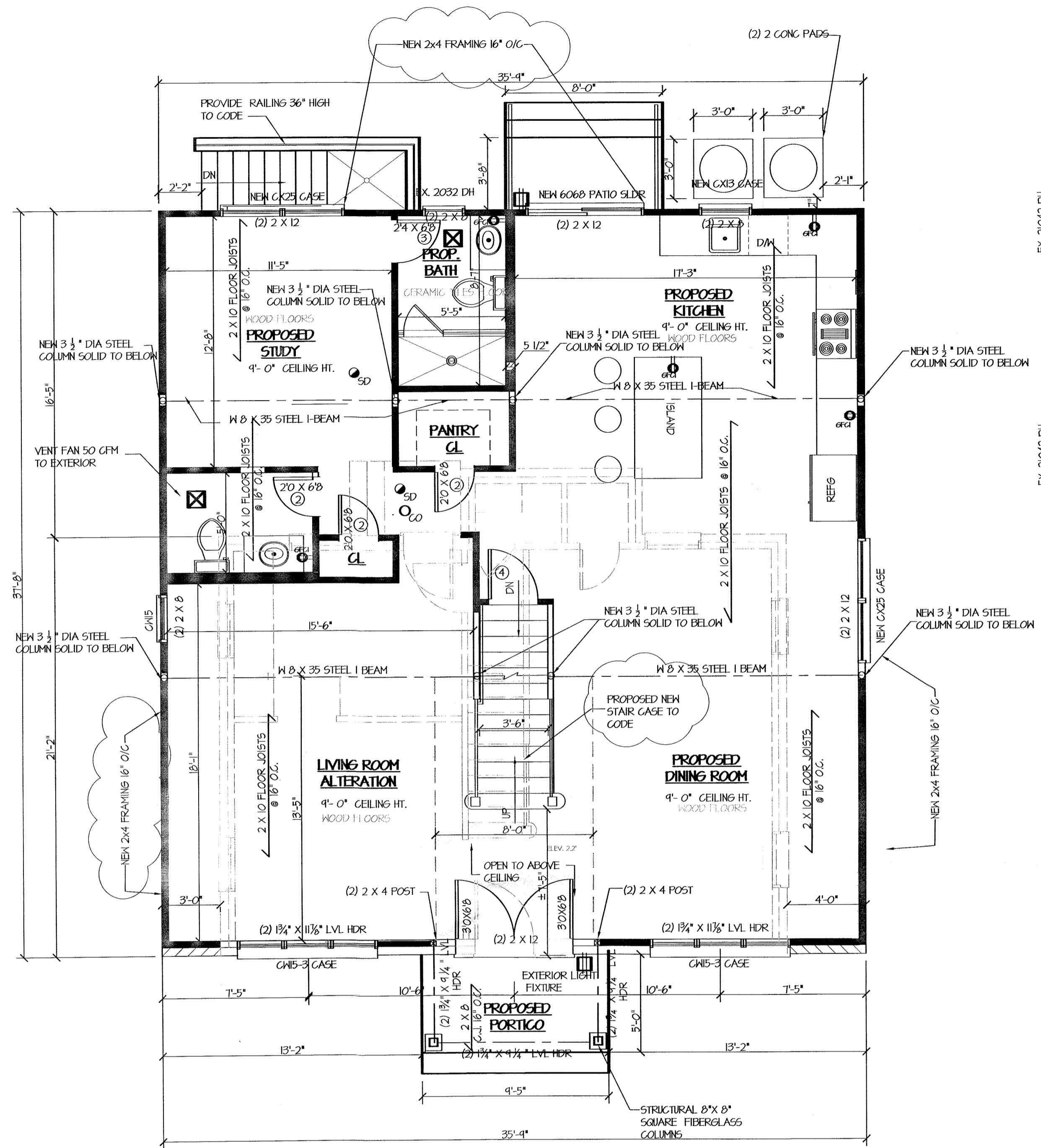
6.22.24 REVISED PLANS AS PER TOWN OBJECTION LETTER DATED 6.4.24		
revision:	date:	description:
1214.23		HOMEOWNER REVISED FLOOR PLANS DESIGN

PROJECT: **PROPOSED 2 STORY DWELLING FOR DEYU SUN**  
24 CENTRE DR., MANHASSET, NY

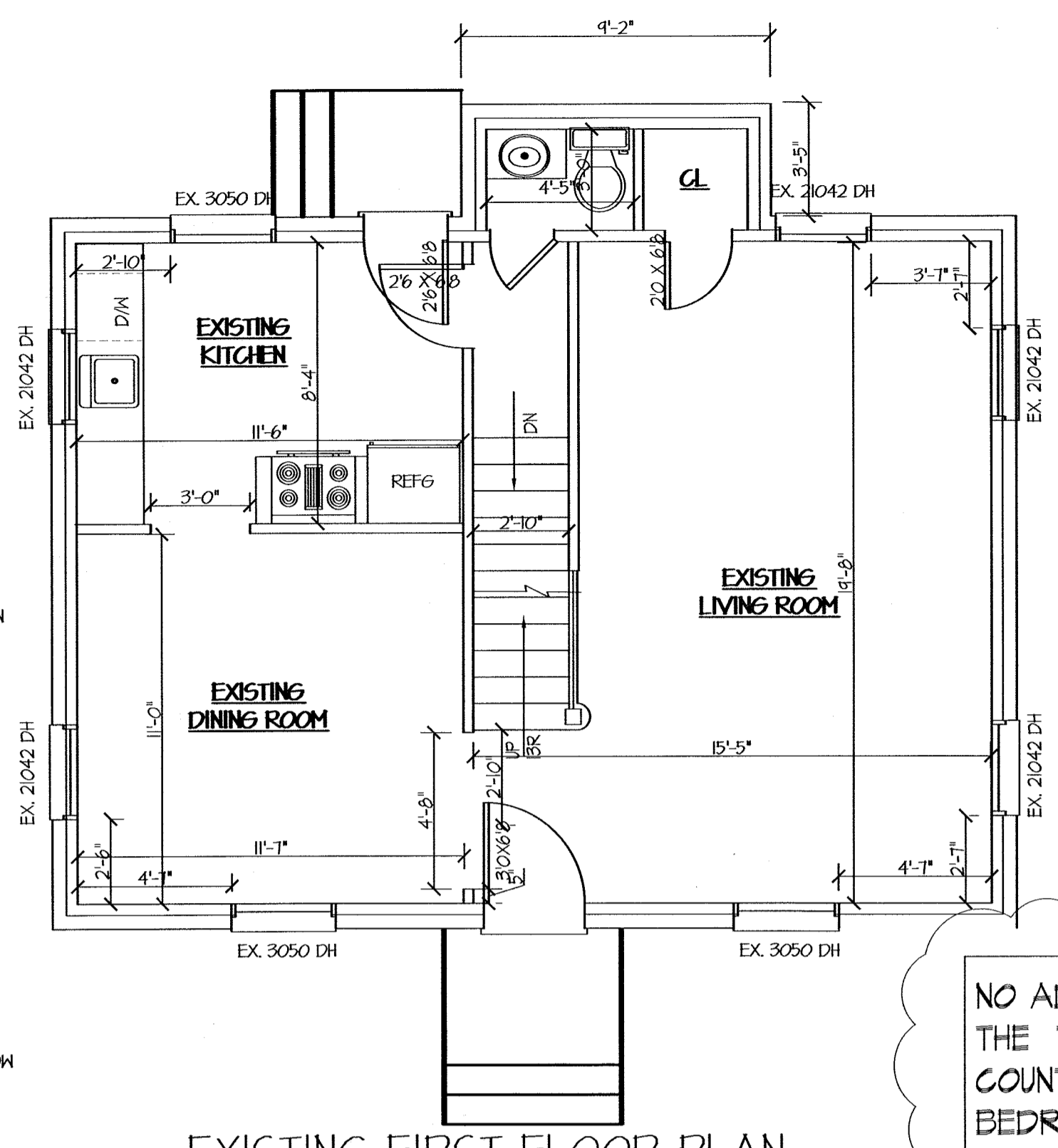
**ASB ENGINEERING**

1924 BELLMORE AVE. BELLMORE, NY 11710  
516-785-4200

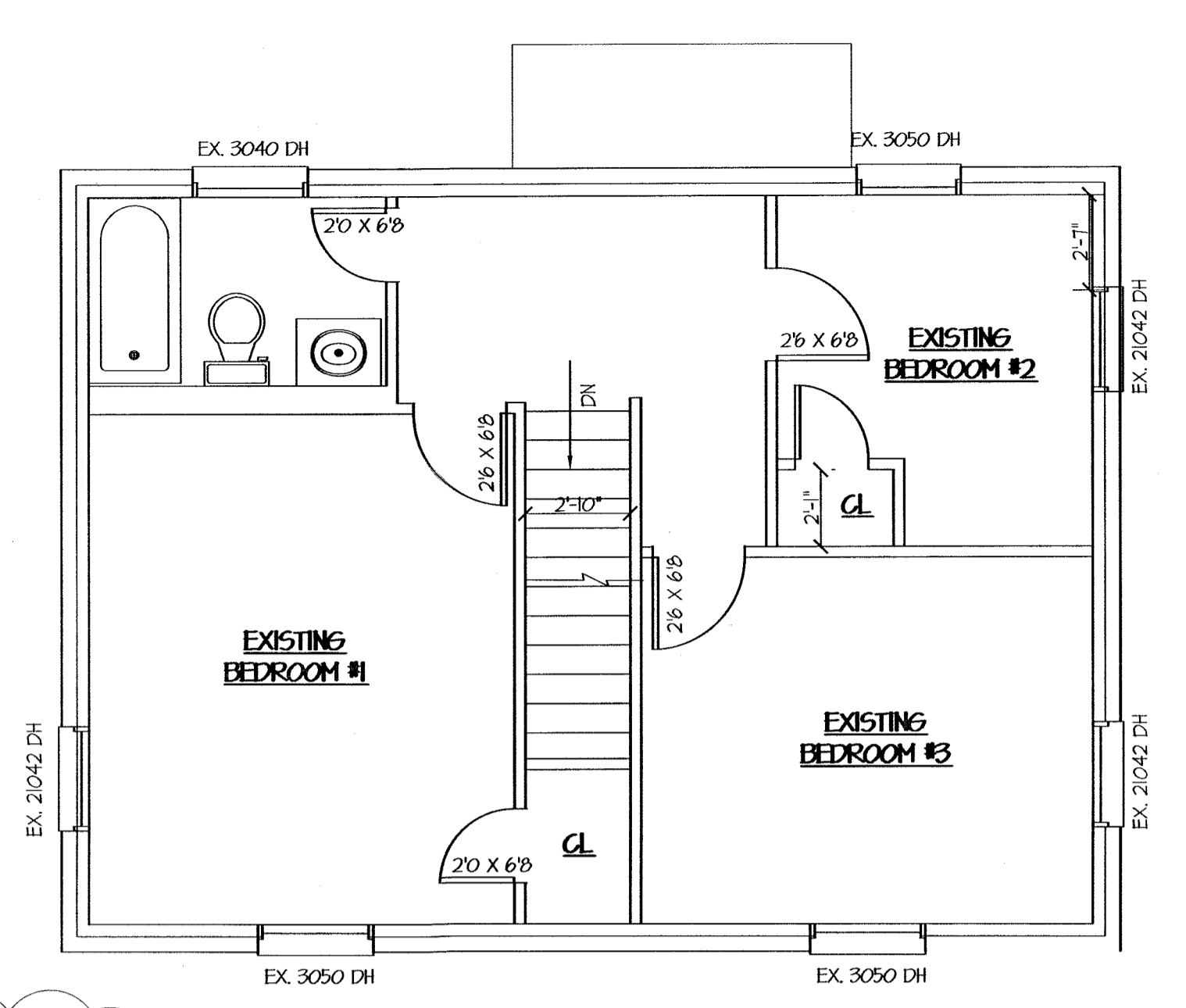
	LIC: 071439	sheets in set:
	checked by: AD	<h1>A-4</h1>
	drawn by: AD	
	date: 3-1-24	



**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

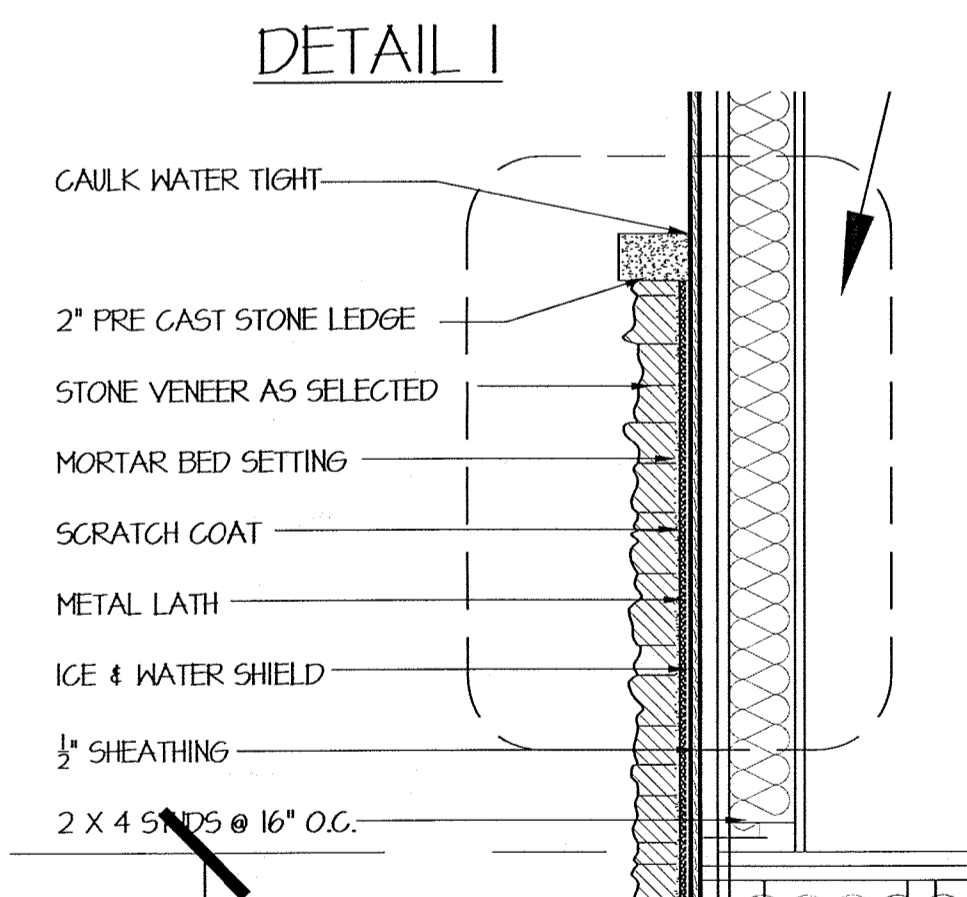


**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

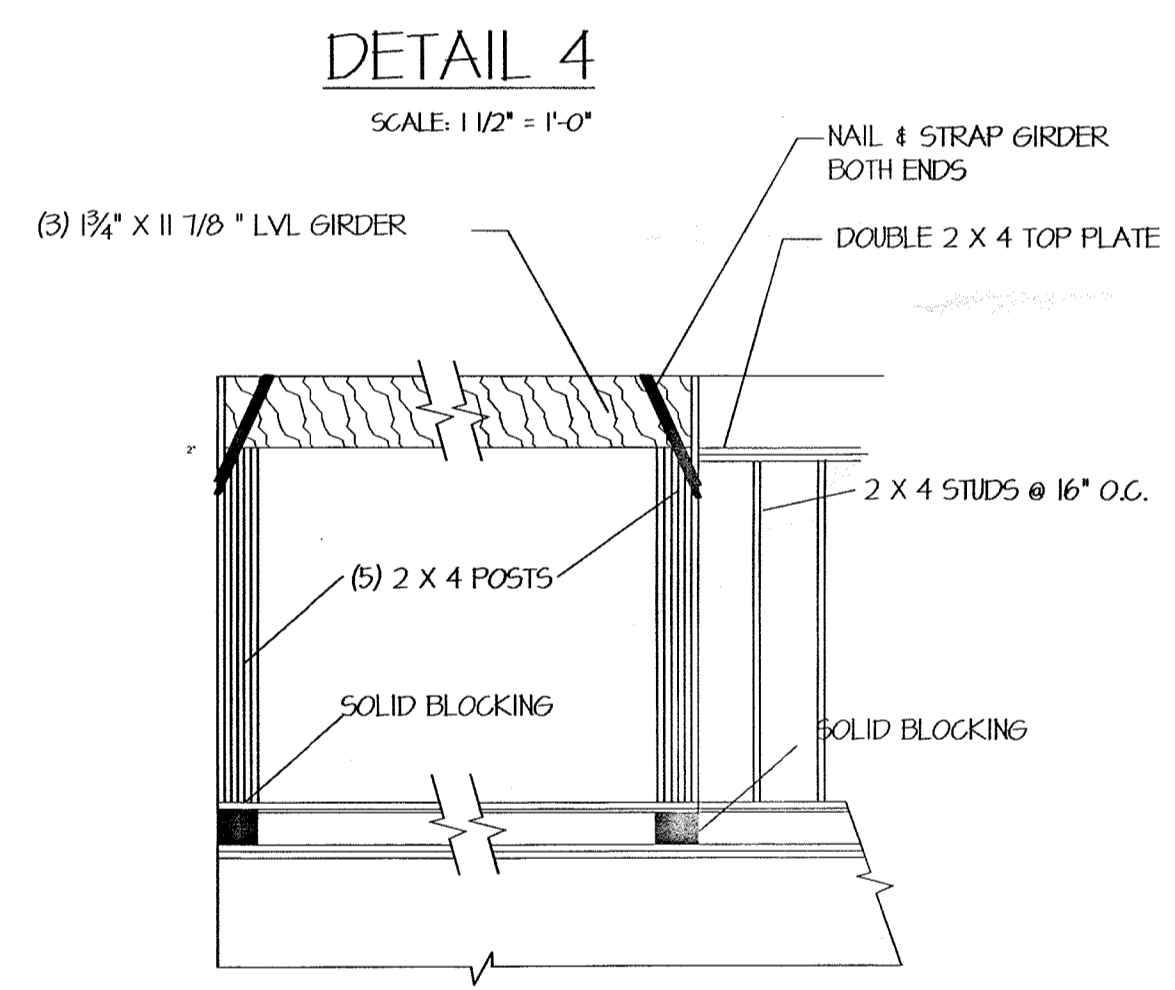


**EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NO ADDITIONAL BEDROOM ADDED  
THE TOTAL EXISTING BEDROOM  
COUNT REMAINS THE SAME 3  
BEDROOMS

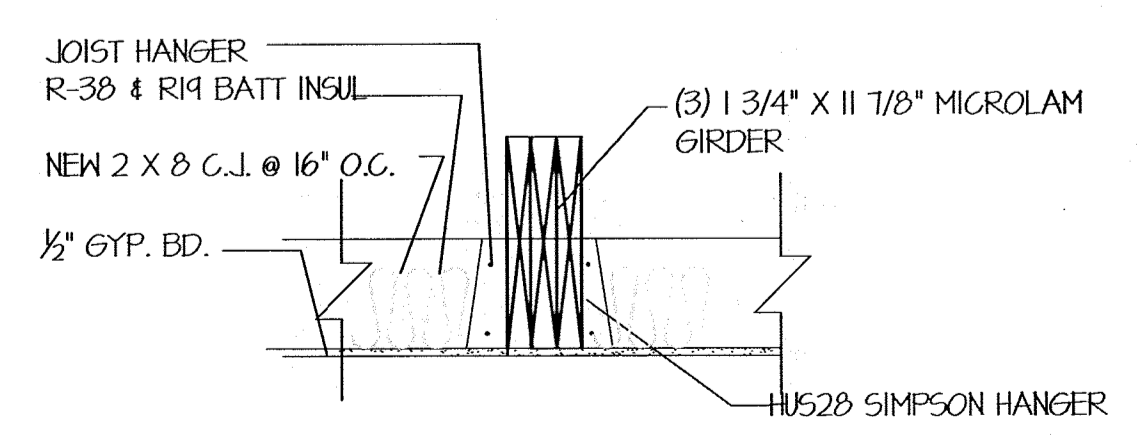


**DETAIL 1**  
SCALE: 1 1/2" = 1'-0"

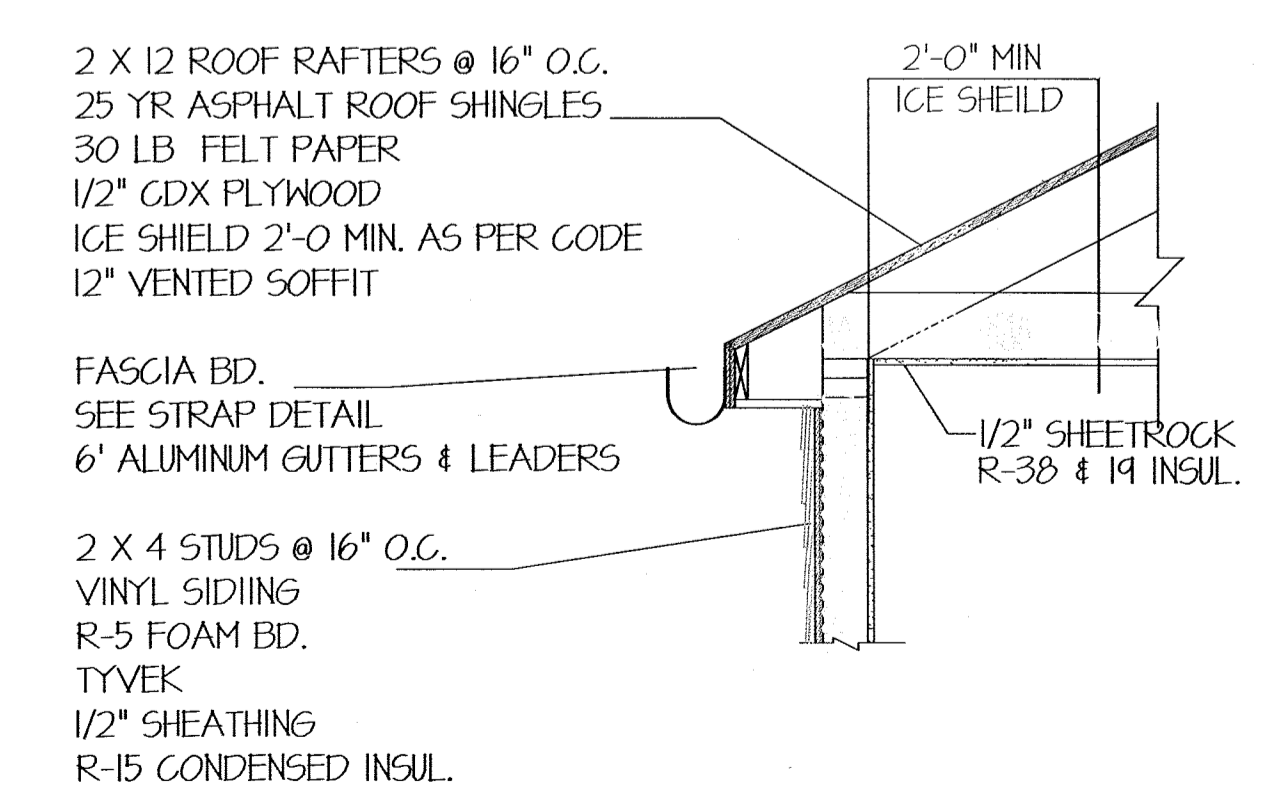


**DETAIL 4**  
SCALE: 1 1/2" = 1'-0"

**DETAIL 3**  
SCALE: 1 1/2" = 1'-0"



**DETAIL 2**  
SCALE: 1 1/2" = 1'-0"



**DETAIL 3**  
SCALE: 1 1/2" = 1'-0"

CONTRACTOR TO VERIFY THAT EXTERIOR WOOD SHEATHING TO BE MINIMUM FROM GRADE 6 INCHES.  
SECTION R317

CARBON MONOXIDE ALARMS SECTION R315  
ALL CARBON MONOXIDE ALARMS IN ACCORDANCE WITH UL 2034 AND COMBO'S UL211  
LOCATION OF CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOMS AND 1 PER STORY OF ANY DWELLING UNIT. ALL NEW CARBON MONOXIDE TO BE INTERCONNECTED AND HARDWIRED.

SMOKE ALARMS SECTION R314  
ALL SMOKE DETECTORS ALARMS IN ACCORDANCE WITH UL 217  
LOCATION OF SMOKE DETECTOR ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE VICINITY OF THE BEDROOMS AND 1 PER STORY OF ANY DWELLING UNIT ALSO UNINHABITABLE ATTICS, DWELLING OR SPLIT LEVEL DWELLING UNITS. ALL NEW SMOKE DETECTOR TO BE INTERCONNECTED AND HARDWIRED.

3111 MEANS OF EGRESS  
DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS PATH OF ESCAPE FROM A DWELLING WITH EGRESS DOOR TO EXTERIOR OF BUILDING.

RAILINGS  
ALL RAILINGS TO BE MINIMUM 36" IN HEIGHT AND HAVE A TYPE I HANDRAIL AS PER CODE R302.12 TO RESIST 200#  
HANDRAILS  
ALL HANDRAILS TO BE PROVIDED ON AT LEAST ONE WIDE OF EACH CONTINUOUS RUN OF TREADS OR STAIRWAYS OF FOUR OR MORE RISERS AS PER SECTION 3111.2

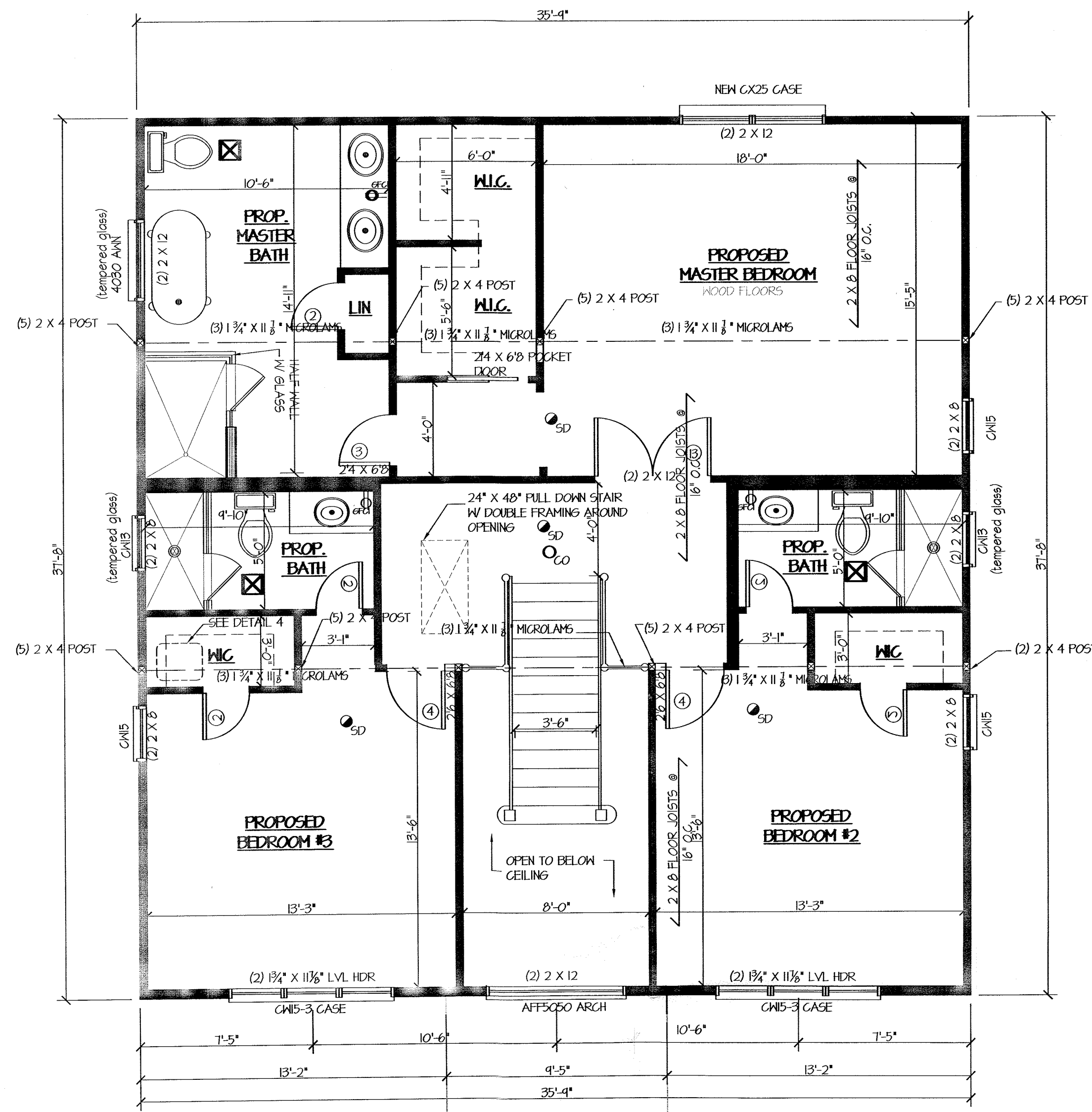
GROUND-FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER PROTECTOR  
ALL GROUND FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR BATHROOM RECEPTACLES SHALL GROUND FAULT CIRCUIT INTERRUPTER PROTECTION AS PER SECTION E3402

6.22.24	REVISED PLANS AS PER TOWN OBJECTION LETTER DATED 6.4.24	HOMEOWNER REVISED FLOOR PLANS DESIGN
revision	date	description

PROJECT:  
**PROPOSED 2 STORY DWELLING FOR DEYU SUN**  
24 CENTRE DR., MANHASSET, NY

**ASB ENGINEERING**  
1424 BELLMORE AVE. BELLMORE, NY 11710  
516-105-4200

	LG: 071434	sheets in set:
	checked by: AB	<b>A-5</b>
	drawn by: AD	
	date: 3-1-24	



**PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**ROOF ASSEMBLY**

2X10 RIDGE  
CONTINUOUS RIDGE VENTING  
RIDGE TO RAFTER C520 STRAPPING EA. 16" O.C.

2X8 RR. @ 16" O.C.  
25 YR ASPHALT ROOF SHINGLES  
30 LB FELT PAPER  
1/2" CDX PLYWOOD  
ICE SHIELD 2'-0" MIN. AS PER CODE  
16" VENTED SOFFIT

RAFTER TO STUD SIMPSON  
CONNECTOR MODEL # H2A EA. 16" O.C.

NEW 2X4 STUDS @ 16" O.C.  
VINYL SIDING  
R-5 FOAM BD.  
TYVEK  
6" LAPPED & TAPED  
1/2" SHEATHING  
R-15 CONDENSED INSUL.

STUD TO FLOOR STRAP CONNECTION  
C520 BAND EA. 16" O.C.

BRICK VENEER  
NEW 2X4 STUDS @ 16" O.C.  
VINYL SIDING  
6" LAPPED & TAPED  
1/2" SHEATHING  
R-15 CONDENSED INSUL.

FLOOR TO SILL STRAP CONNECTION  
C520 BAND EA. 16" O.C.

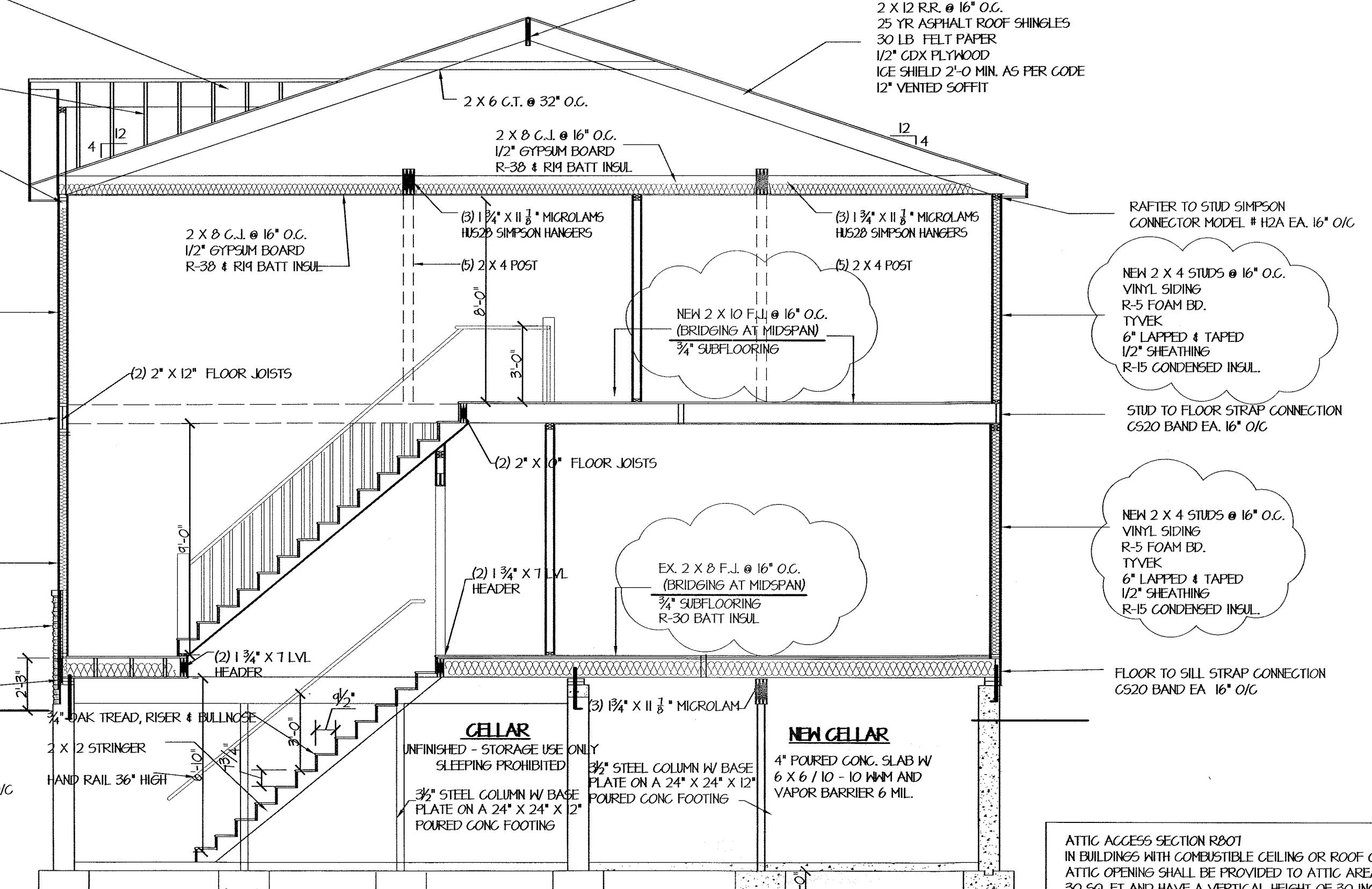
**FOUNDATION ASSEMBLY AS PER NYC 2001  
TABLES 3.2C & 3.2B**

(1) COARSE CONG. BLOCK FILLED SOLID W/ #4 REBARS 16" O.C.  
SILL: (2) 2X6 AGO SILL  
COPPER TERMITES SHIELD  
SILL SEAL  
ANCHOR BOLTS:  
3/8" DIA. ANCHOR BOLTS  
SPACING 34" O.C. AS PER TABLE 3.2C & 3.2B  
MIN. 1" EMBEDMENT IN POURED CONG. FOUNDATION  
LOCATED WITHIN 12" OF ALL CORNERS, OPENINGS AND SEAMS  
PROVIDE 3" X 3" X 1/4" STEEL PLATE (SIMPSON MODEL # LPS 3)  
BEARING AT ALL ANCHOR BOLTS.

**ROOF ASSEMBLY**

1 3/4" X 14" LVL RIDGE  
CONTINUOUS RIDGE VENTING  
RIDGE TO RAFTER C520 STRAPPING EA. 16" O.C.

2X12 RR. @ 16" O.C.  
25 YR ASPHALT ROOF SHINGLES  
30 LB FELT PAPER  
1/2" CDX PLYWOOD  
ICE SHIELD 2'-0" MIN. AS PER CODE  
12" VENTED SOFFIT

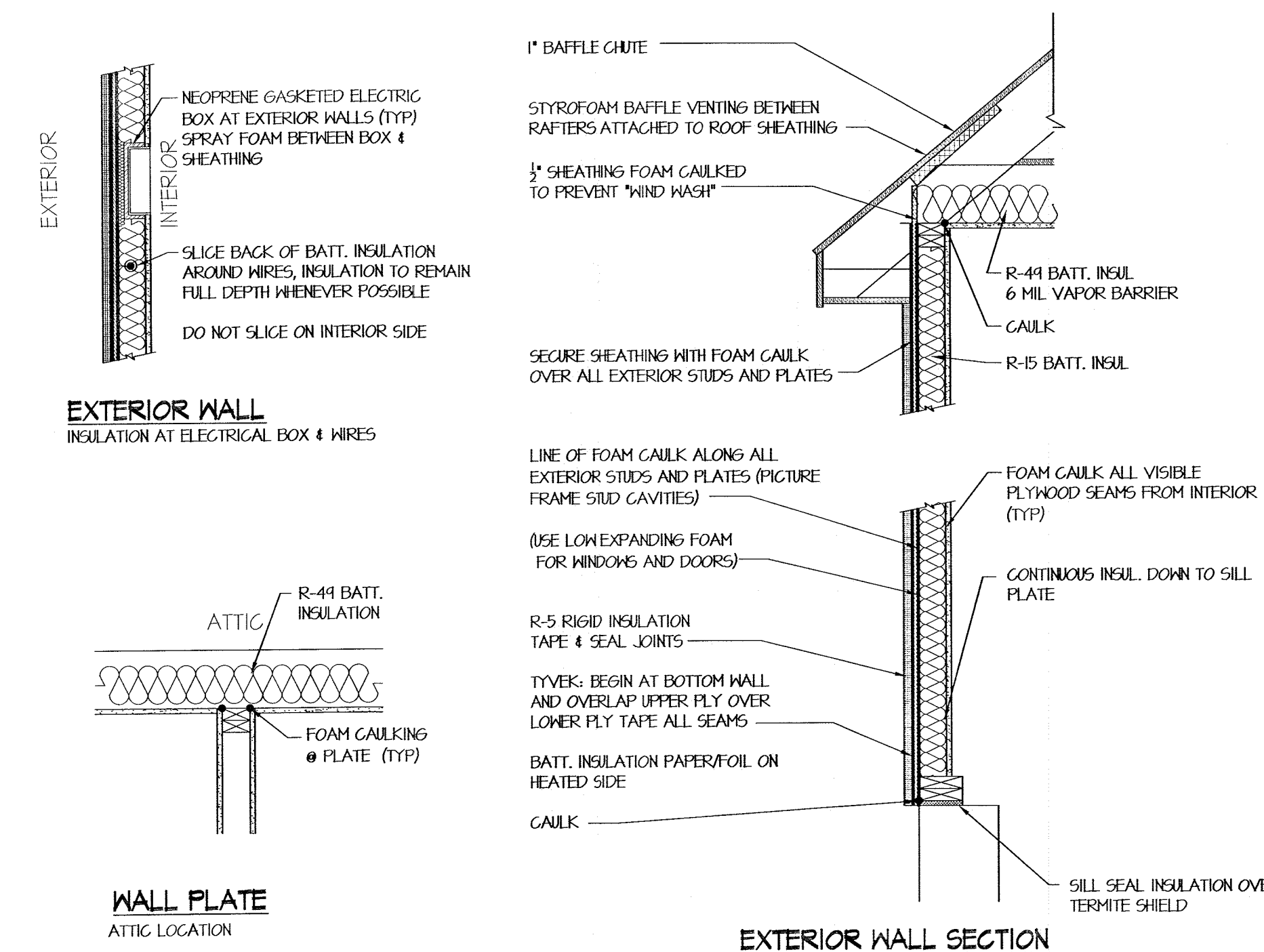


**SECTION B-B**  
SCALE: 1/4" = 1'-0"

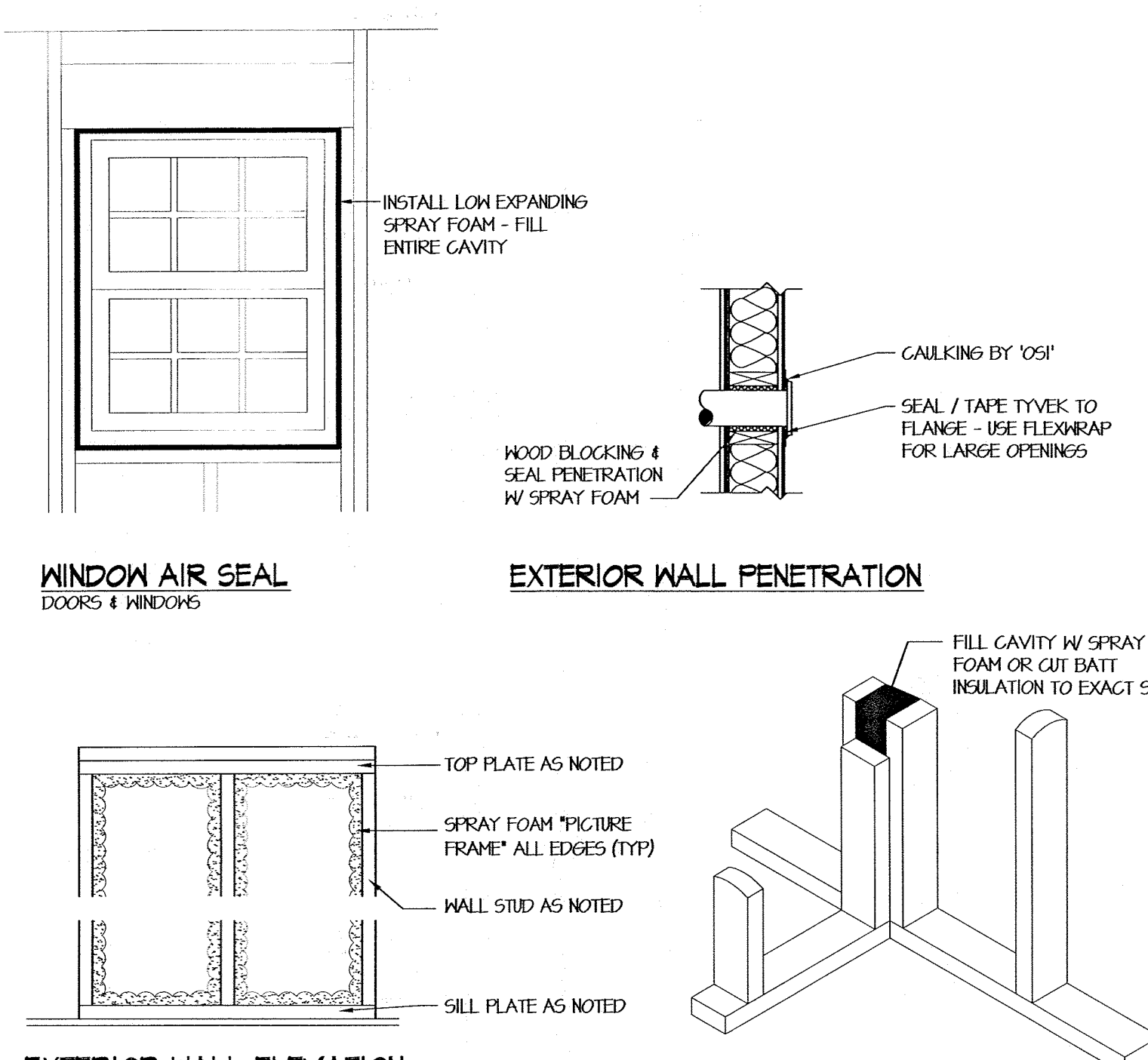
ATTIC ACCESS SECTION R801  
IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN  
ATTIC OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED  
30 SQ. FT. AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER.  
THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND  
LOCATED IN A HALLWAY. ALSO MAINTAIN A 30" MINIMUM UNOBSTRUCTED  
HEADROOM.  
SEE SECTION M305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL  
EQUIPMENT IS LOCATED

R311 LOCATION REQUIRED. PROTECTION OF WOOD AND WOOD  
BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE  
FOLLOWING LOCATION BY THE USE OF NATURALLY DURABLE  
WOOD OR WOOD THAT IS PRESERVATIVE - TREATED IN  
ACCORDANCE WITH ANPA VI.

GENERAL NOTES 2020 NYSRC PLUMBING:  
ALL PIPING SHALL BE IN ACCORDANCE WITH SECTION P2605  
ALL PIPING FITTINGS FOR WATER SUPPLY WASTE AND VENTS MUST BE IN  
COMPLIANCE WITH CHAPTERS 25 THRU 31

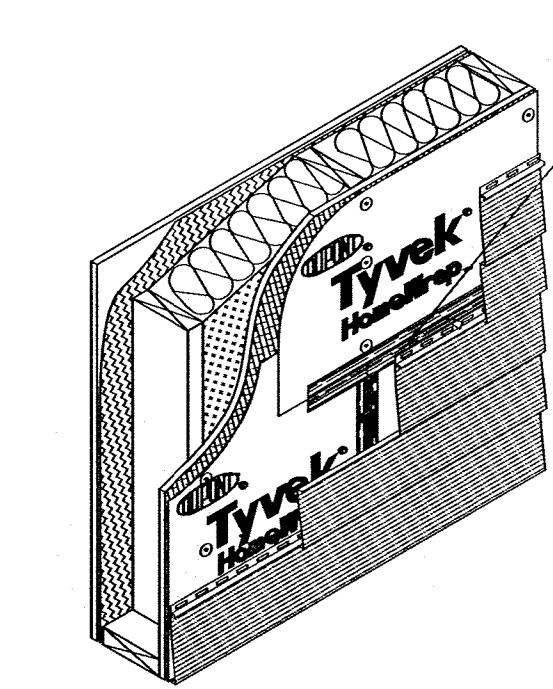


**ENERGY SEALING DETAILS**



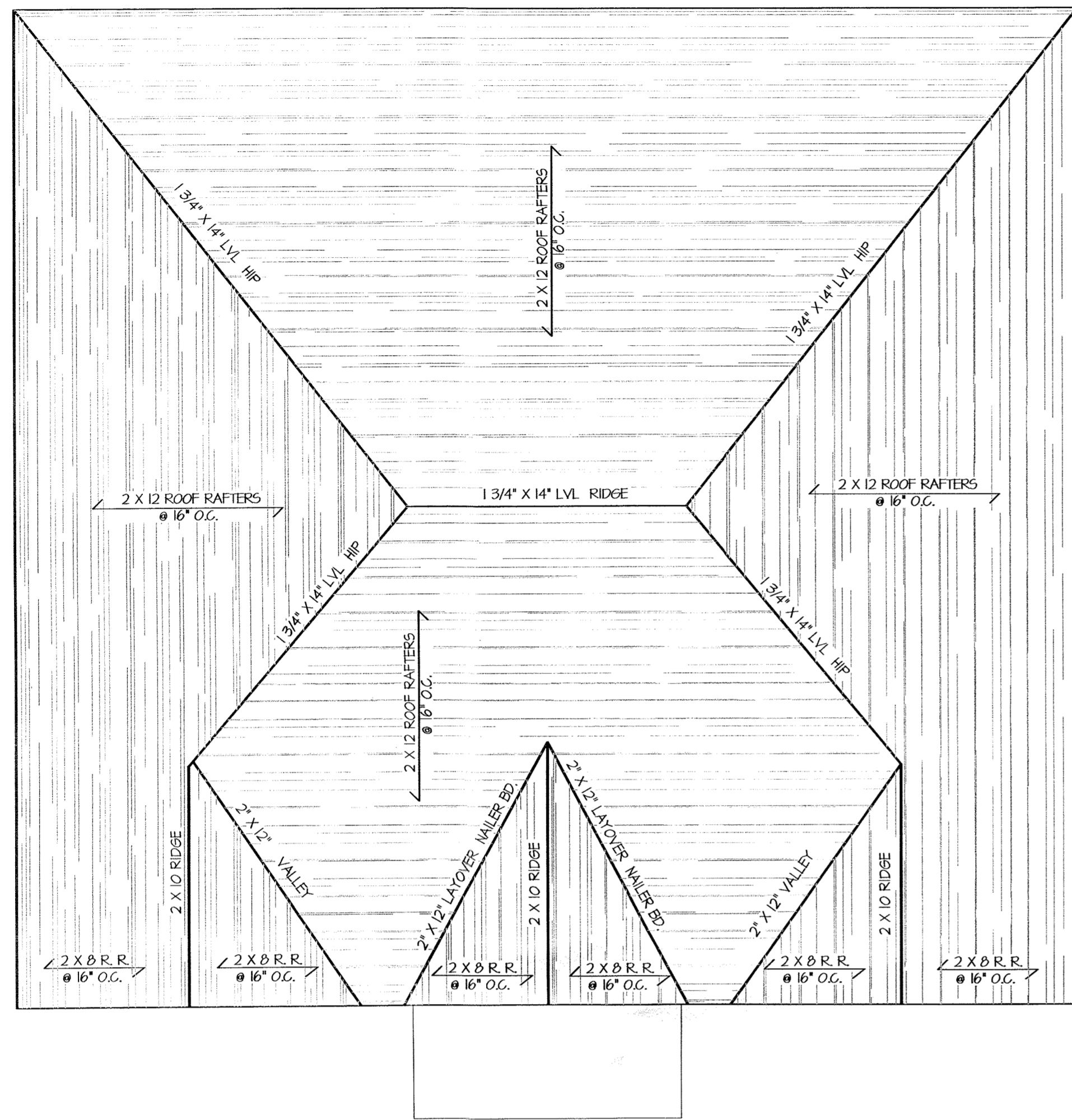
**WINDOW AIR SEAL**  
DOORS & WINDOWS

**EXTERIOR WALL PENETRATION**

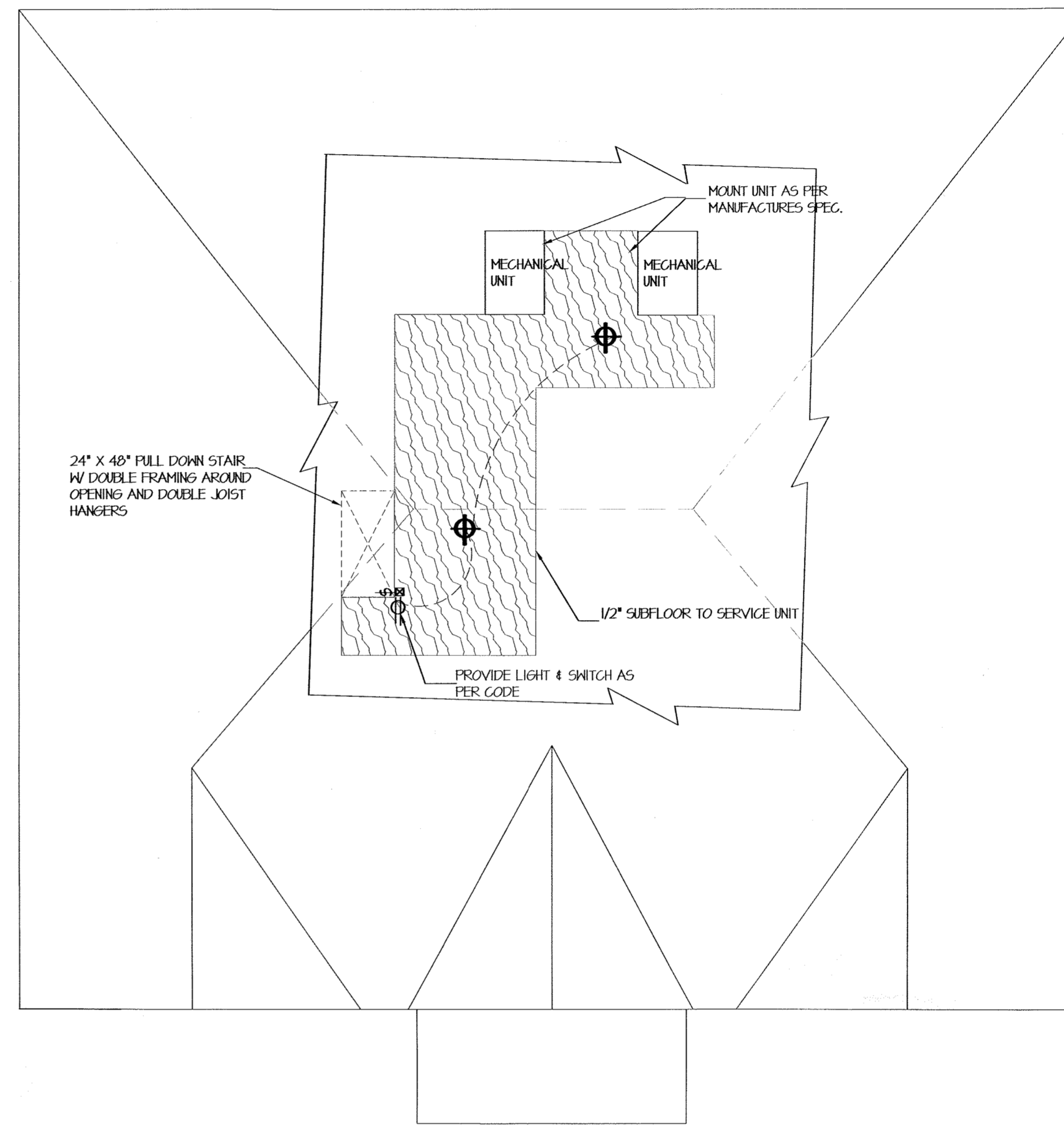


**TYVEK INSTALLATION**  
CONTINUOUS AIR BARRIER

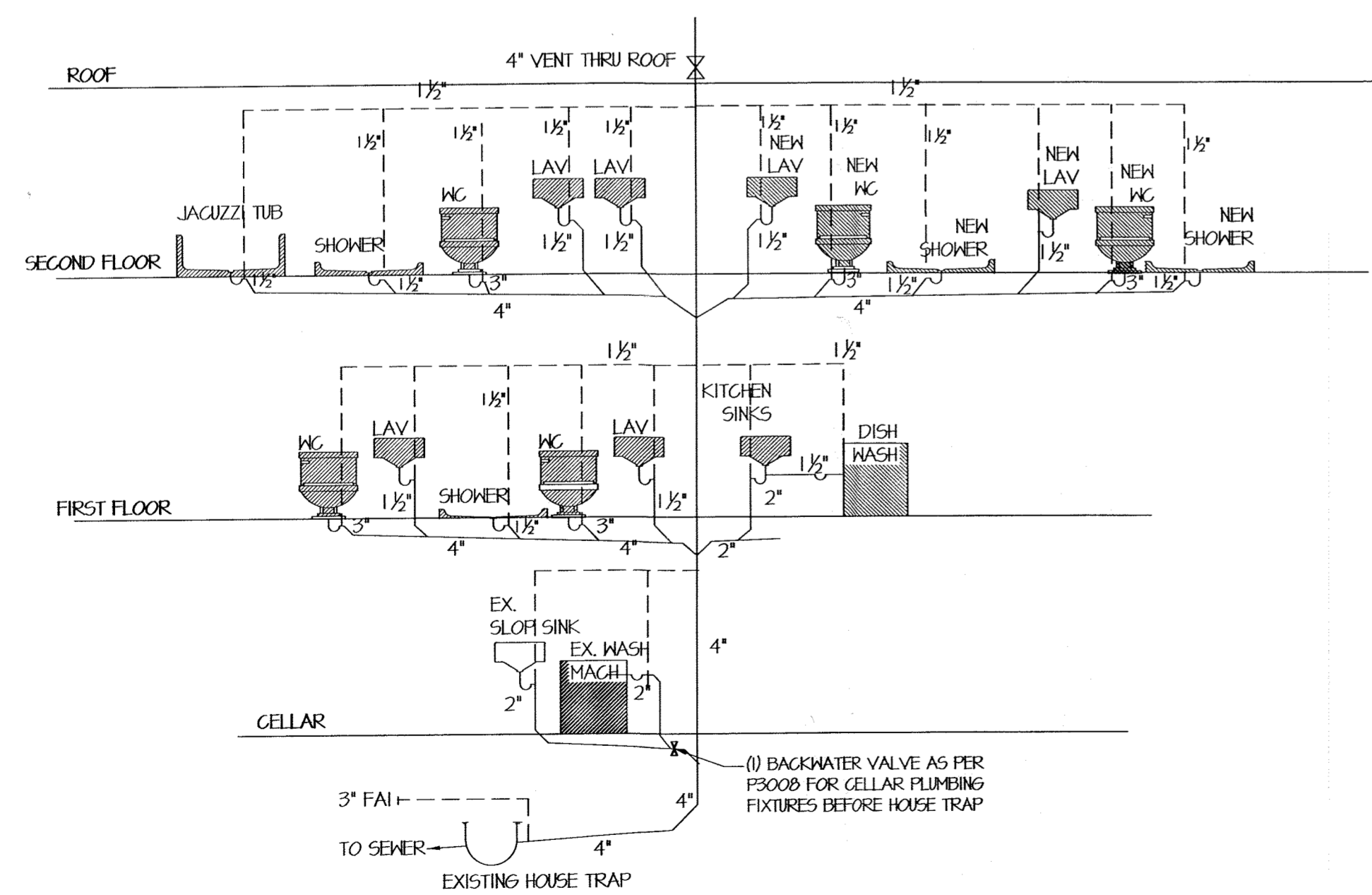
6.22.24 REVISED PLANS AS PER TOWN OBJECTION LETTER DATED 6.4.24		HOMEOWNER REVISED FLOOR PLANS DESIGN	
revisions:	date:	description:	
1	2.14.23	PROJECT: PROPOSED 2 STORY DWELLING FOR DEYU SUN 24 CENTRE DR., MANHASSET, NY	
<b>ASB ENGINEERING</b>			
1924 BELLMORE AVE. BELLMORE, NY 11710 516-185-4200			
LIC. OTT439		sheets in set:	
checked by: AB		<b>A-6</b>	
drawn by: AD			
date: 3-1-24			



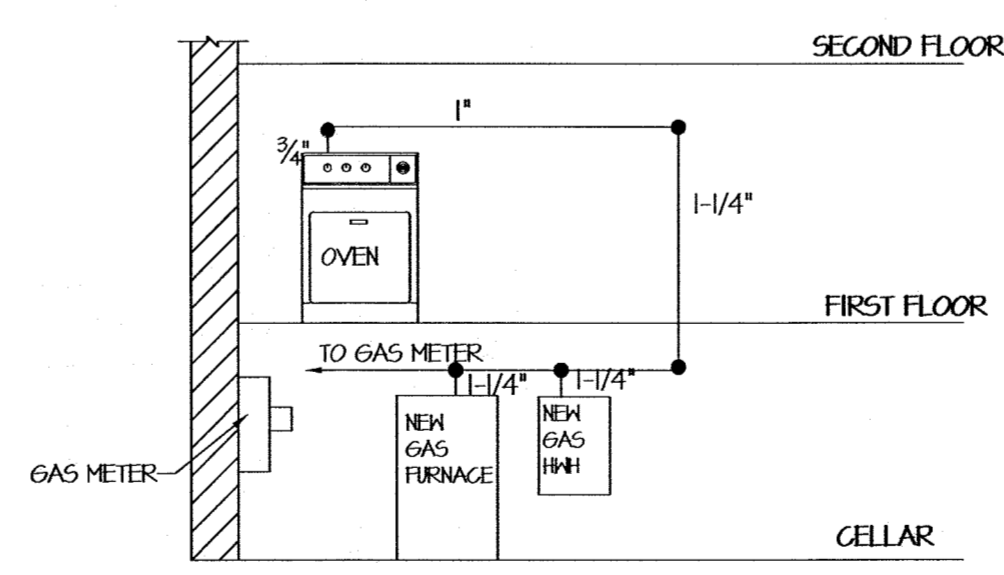
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**ATTIC ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**PLUMBING RISER DIAGRAM**  
SCALE: N.T.S.



**GAS RISER DIAGRAM**  
SCALE: N.T.S.

6.2224	REVISED PLANS AS PER TOWN OBJECTION LETTER
12.14.23	DATED 6.4.24
revision:	description:
date:	HOMEOWNER REVISED FLOOR PLANS DESIGN

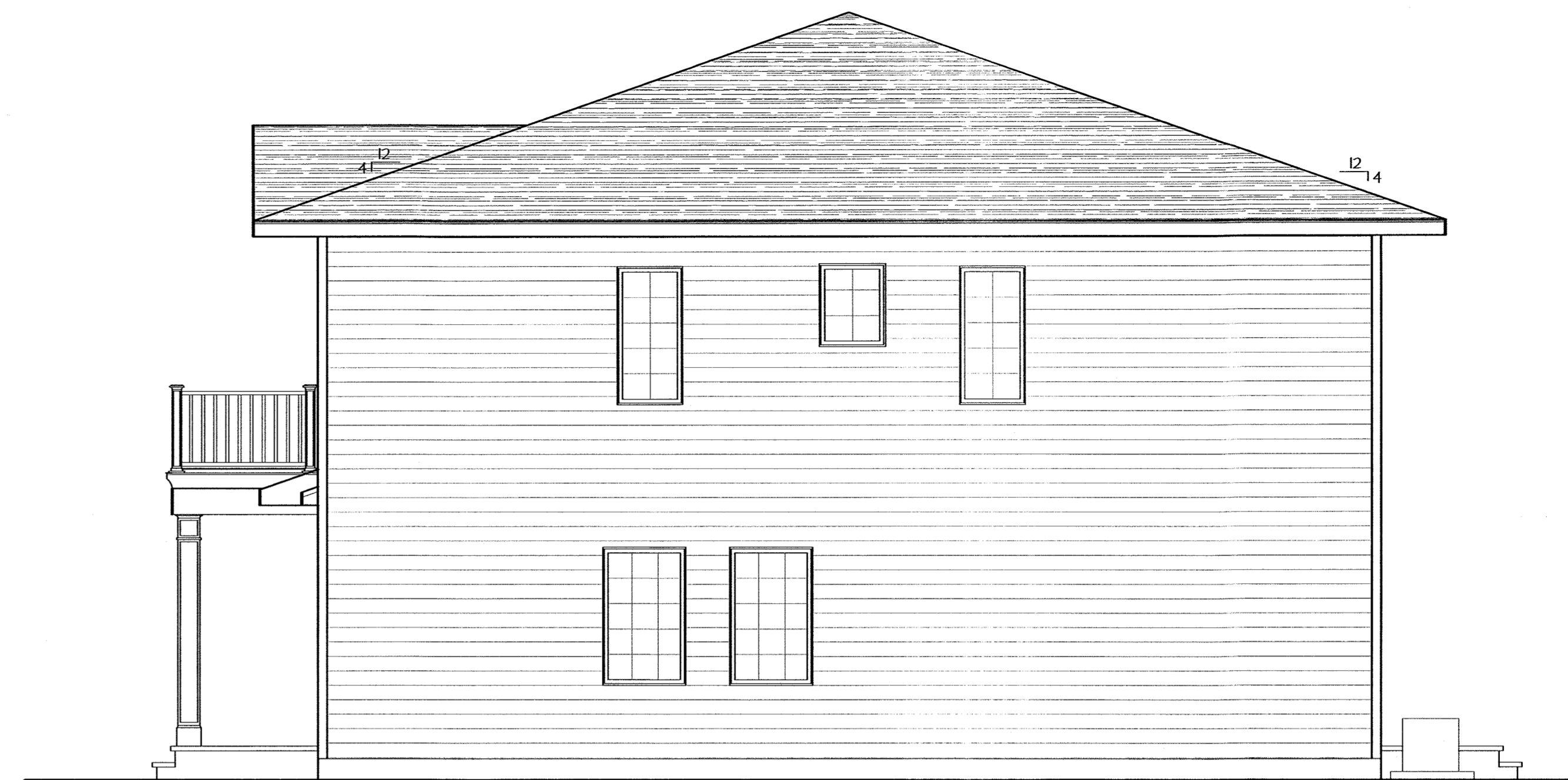
PROJECT: **PROPOSED 2 STORY DWELLING FOR DEYU SUN**  
24 CENTRE DR., MANHASSET, NY

**ASB ENGINEERING**  
1924 BELLMORE AVE. BELLMORE, NY 11710  
516-785-4200

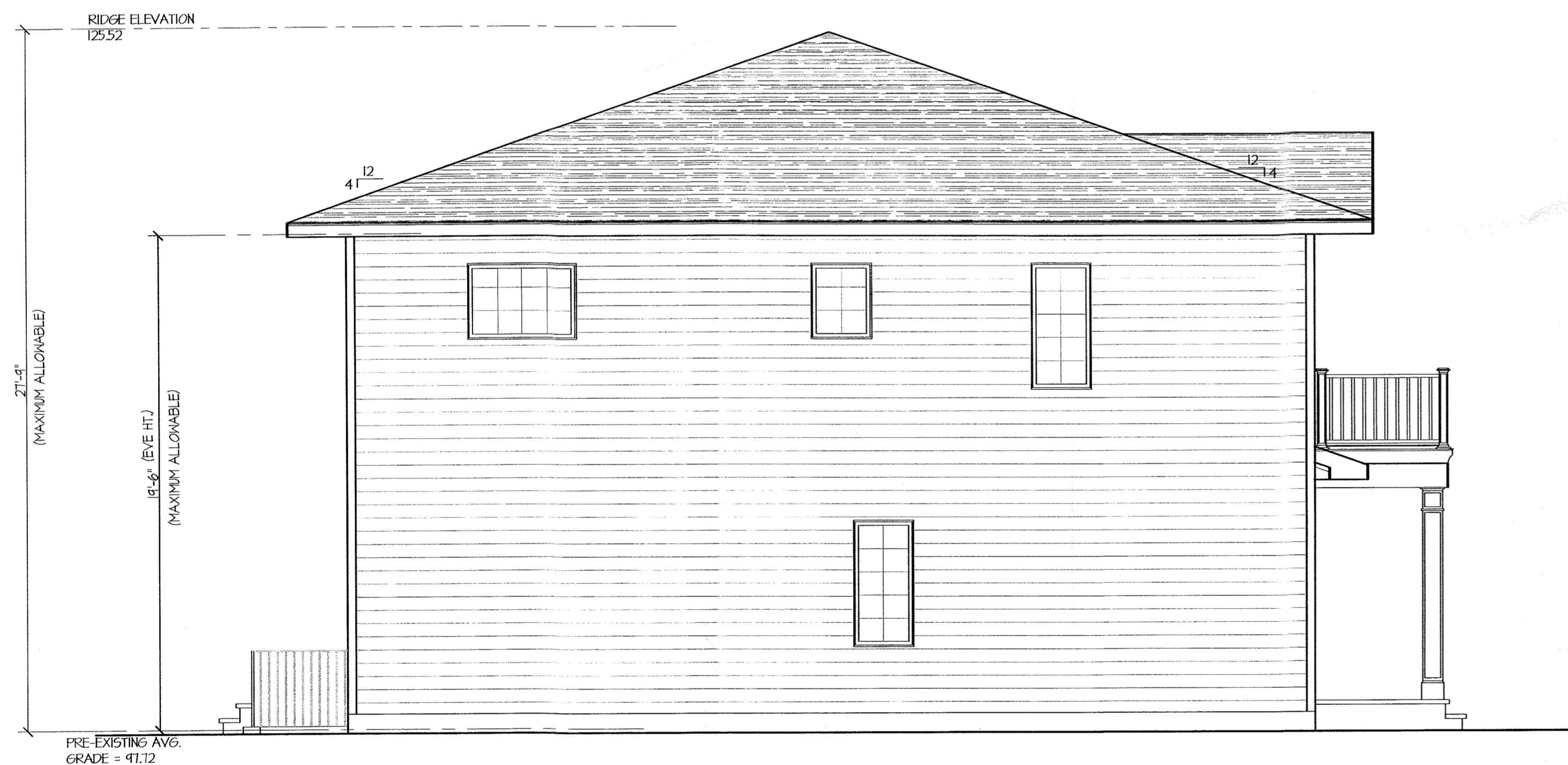
	LIC: OT1439	sheets in set:
	checked by: AB	<b>A-7</b>
	drawn by: AD	
	date: 3-1-24	



FRONT ELEVATION SCHEME A  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

revisions:	6.22.24	REVISED PLANS AS PER TOWN OBJECTION LETTER DATED 6.4.24
date:	2.14.23	HOMEOWNER REVISED FLOOR PLANS DESIGN

PROJECT: PROPOSED 2 STORY DWELLING FOR DEYU SUN 24 CENTRE DR., MANHASSET, NY

ASB ENGINEERING  
1924 BELLMORE AVE. BELLMORE, NY 11710  
516-125-4200

	LIC: OT1434	sheets in set:
	checked by: AB	A-8
	drawn by: AD	
	date: 3-1-24	

**FOUNDATION NOTES:**

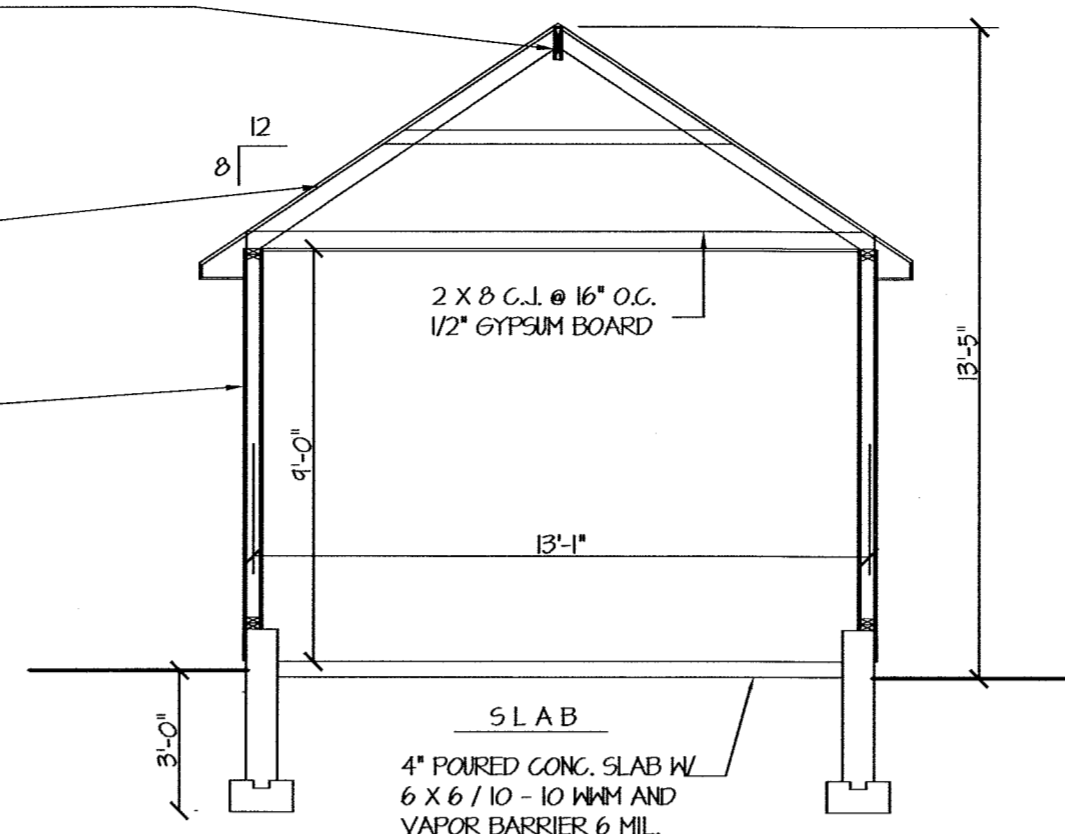
- DESIGN MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 308 OF THE AMERICAN CONCRETE INSTITUTE. ULTIMATE CONCRETE DESIGN STRENGTH 28 DAYS FOR REINFORCED CONCRETE IS TO BE 3000 PSI. ASSUMED SOIL BEARING CAPACITY, 1 TON PER SQUARE FOOT AS PER R401.4 (SUBJECT TO INSPECTION AND VERIFICATION)
- CONCRETE AND REINFORCING MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS: PORTLAND CEMENTS AS PER ASTM C595 & AIR ENTRAINING PORTLAND CEMENT AS PER ASTM C415.
- ALL FOUNDATION AND FOOTING SHALL BE INSTALLED IN ACCORDANCE WITH R401 AND R403 OF IRRG.
- FOOTINGS TO BE CARRIED DOWN TO UNDISTURBED SOIL. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY AND CONFIRM WATER TABLE CONDITIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY SOIL VARIATION OR ADVERSE CONDITION AFFECTING BEARING CAPACITY PRIOR TO ANY POURING OF FOOTINGS OR FOUNDATION WALLS.
- 16" X 8" CONCRETE WALL FOOTINGS, 3000 PSI TEST.
- 2" CONCRETE COVER FOR GRAVEL SPACE, 3000 PSI AND VAPOR BARRIER (NEW CONSTRUCTION).
- DAMP PROOFING AND AT EXTERIOR FOUNDATION BELOW GRADE (NEW CONSTRUCTION) AS PER R406 2015 IRRG.
- FOUNDATION WALL TO EXTEND A MINIMUM OF 6" FINISHED GRADE AS PER R404.1.6 (NEW CONSTRUCTION).
- FOR FOUNDATION ANCHOR BOLTS SPACING SEE TABLE 3.2B WFCM 2015 EDITION.
- POUR NO CONCRETE ON FROZEN GROUND OR IN FREEZING WEATHER.
- JOB LOCATED WITHIN 1 MILE OF THE WETLANDS, RIVERBED, OCEAN OR STREAMS MAY REQUIRE FILLINGS, DEPENDING ON BORE TEST RESULTS & SOIL ANALYSIS.
- PROVIDE PROTECTION FROM TERMITE DAMAGE USING COPPER TERMITE SHIELDS AT ALL SILLS.

**ROOF ASSEMBLY**

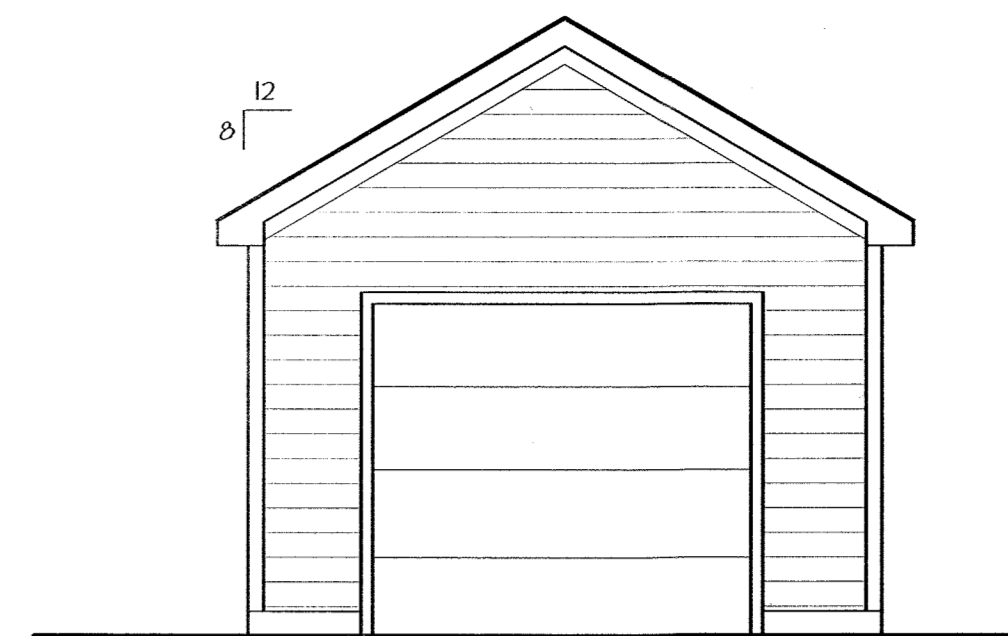
2" X 10" RIDGE  
CONTINUOUS RIDGE VENTING

2 X 8 R.R. @ 16" O.C.  
25 YR ASPHALT ROOF SHINGLES  
30 LB FELT PAPER  
1/2" CDX PLYWOOD  
1/2" VENTED SOFFIT

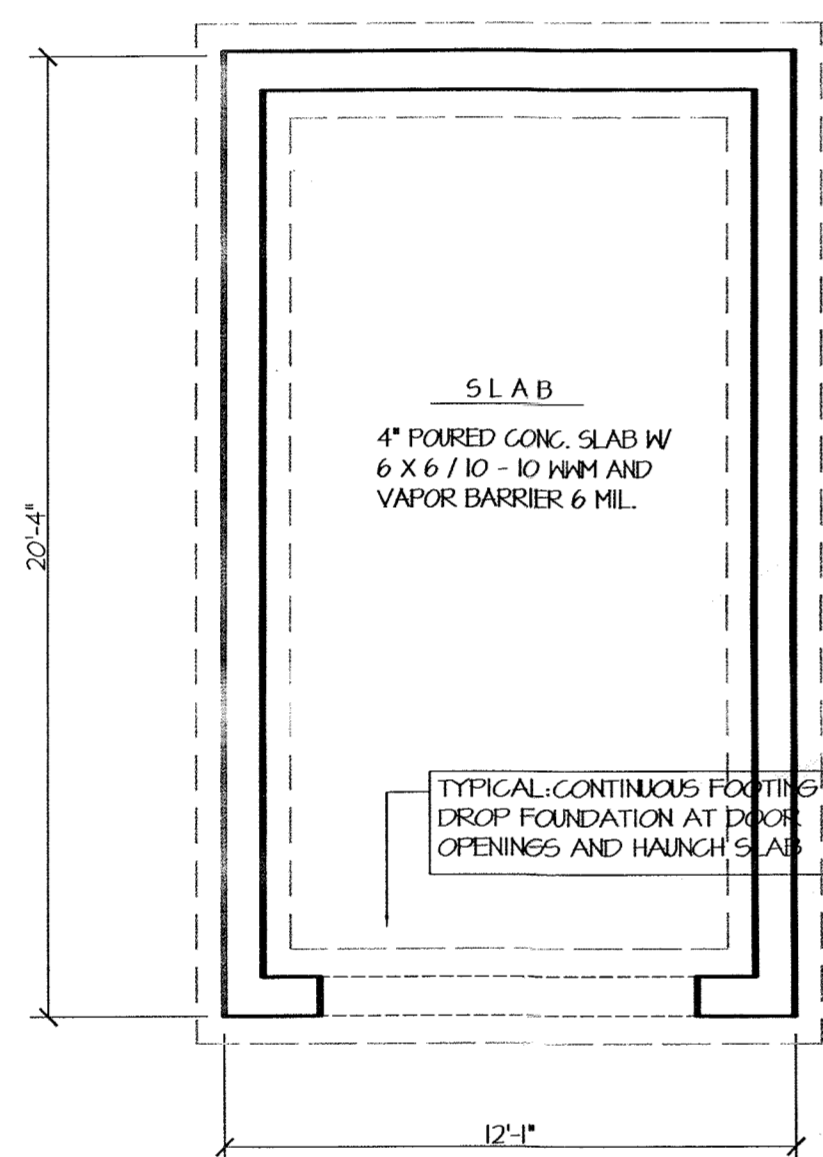
NEW 2 X 4 STUDS @ 16" O.C.  
VINYL SIDING  
1/2" FOAM INSUL.  
TYVEK  
1/2" SHEATHING



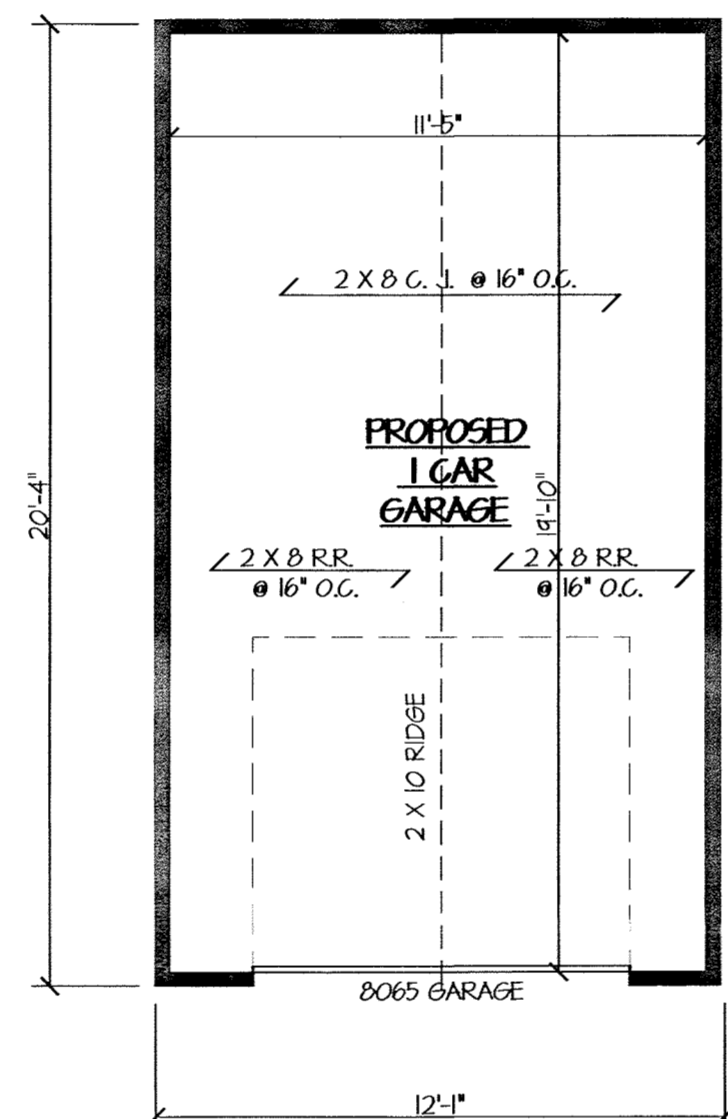
**SECTION B-B**  
SCALE: 1/4" = 1'-0"



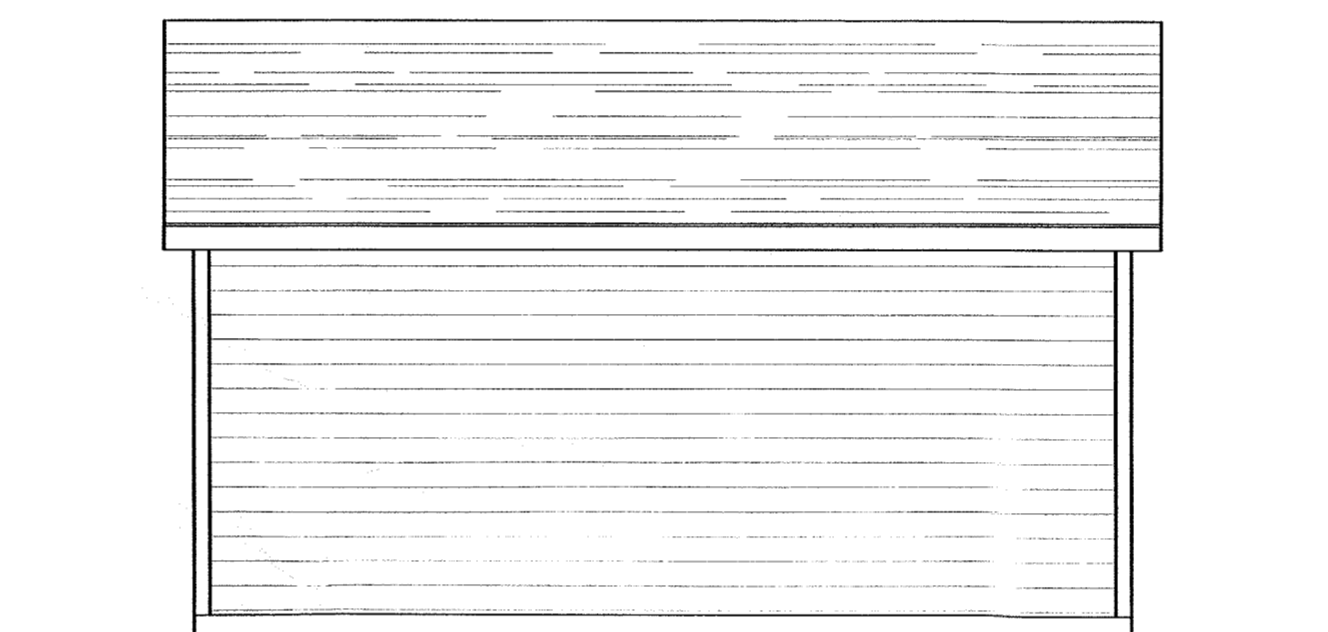
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



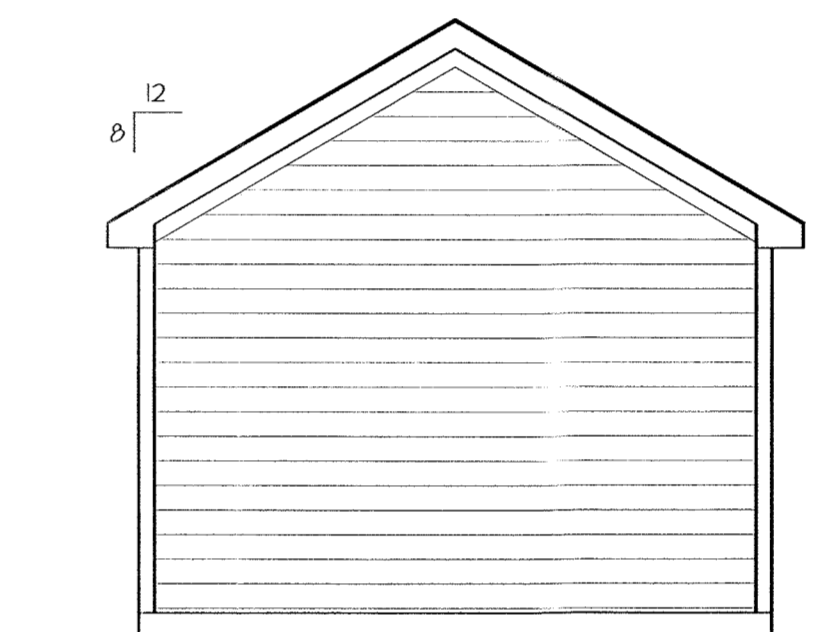
**EXISTING FOUNDATION**  
SCALE: 1/4" = 1'-0"



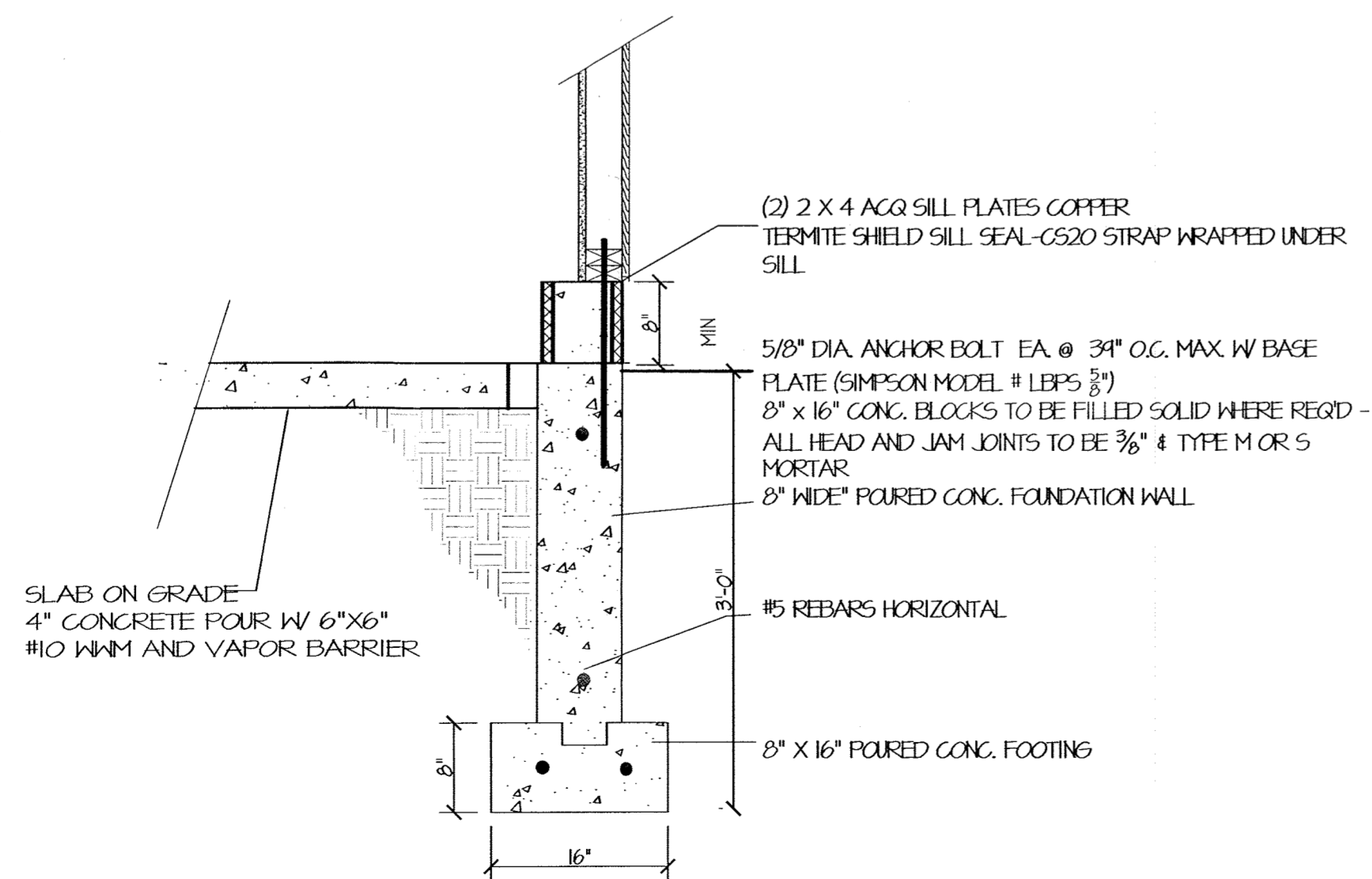
**EXISTING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FOUNDATION DETAIL**  
SCALE: 1/2" = 1'-0"

6.2224	REVISED PLANS AS PER TOWN OBJECTION LETTER
12/14/23	DATED 6.4.24
revisions	date: description:

PROJECT: **PROPOSED 2 STORY DWELLING FOR DEYU SUN 24 CENTRE DR., MANHASSET, NY**

**ASB ENGINEERING**  
1424 BELLMORE AVE. BELLMORE, NY 11710  
516-785-4200

	LIC: 077439	Sheets in set:
	checked by: AB	<b>A-9</b>
	drawn by: AD	
	date: 3-1-24	



#21621

DISAPPROVED  
Ben Voutsinas  
09/26/2024



**SCOPE OF WORK**

TO ADD A 2ND FLOOR ADDITION OVER THE EXISTING GARAGE FOR AN ADDITIONAL BEDROOM. SINCE MAXIMUM FLOOR WAS USED DURING PREVIOUS ADDITION, THE NEW BEDROOM ADDITION WILL REQUIRE A VARIANCE FROM THE TOWN FOR IT.

**BUILDING INFORMATION**

78 HILLTOP DRIVE, MANHASSET, NY 11030

SEC: 3 BLK: 221 LOT: 1 ZONE: R-A

**ZONING INFORMATION**

LOT AREA: 8,050.00 Sq. Ft.  
MIN LOT SIZE REQUIRED: 8,500.00 Sq. Ft.

**EXISTING BUILDING AREA:**

EXISTING MAIN BUILDING: 1583.42 Sq. Ft.  
TOTAL EXISTING BUILDING AREA: 1583.42 Sq. Ft.

TOTAL EXISTING BUILDING AREA PCT: 19.7%

MAXIMUM BUILDING AREA ALLOWED: 25%

EXISTING BUILDING AREA: 19.7% < 25% (OK)

**PROPOSED FLOOR AREA:**

EXISTING 1st FLOOR: 1583.42 Sq. Ft.  
EXISTING 2nd FLOOR: 1311.34 Sq. Ft.  
NEW 2nd FLOOR ADDITION: 231.46 Sq. Ft.  
TOTAL PROPOSED FLOOR AREA: 3126.22 Sq. Ft.

TOTAL PROPOSED FLOOR AREA PCT: 38.9%

MAXIMUM FLOOR AREA ALLOWED: 36% - 2,848.00 Sq. Ft.

PROPOSED FLOOR AREA RATIO: 38.9% > 36% (VARIANCE REQUIRED)  
(228.71 Sq. Ft. - Overage)

**FRONT YARD SETBACK:**

MINIMUM: 35 FEET  
AVERAGE: 43.18 FEET  
EXISTING: 43.21 FEET (GARAGE)  
PROPOSED: 45.60 FEET (NEW BEDROOM)

**SIDE YARD SETBACKS:**

MINIMUM: 10 FEET  
AGGREGATE: 30% x WIDTH OF LOT  
3 x 10 FEET = 21 FEET  
EXISTING: 11.0 FEET  
SIDE YARD (1) EXISTING: 11.48 FEET  
SIDE YARD (2) REQUIRED: 21 FEET  
SIDE YARD AGGREGATE EXISTING: 22.58 FEET

**REAR YARD SETBACK:**

MINIMUM: 15 FEET  
EXISTING: 31.73 FEET

**BUILDING HEIGHT:**

MAXIMUM: 30 FEET  
EXISTING: 24.75 FEET

**BUILDING EAVE HEIGHT:**

MAXIMUM: 22 FEET  
EXISTING: 21.00 FEET

**ENERGY CODE COMPLIANCE**

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2016 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

**DRYWELL INFORMATION**

BASED ON 3" RAINFALL

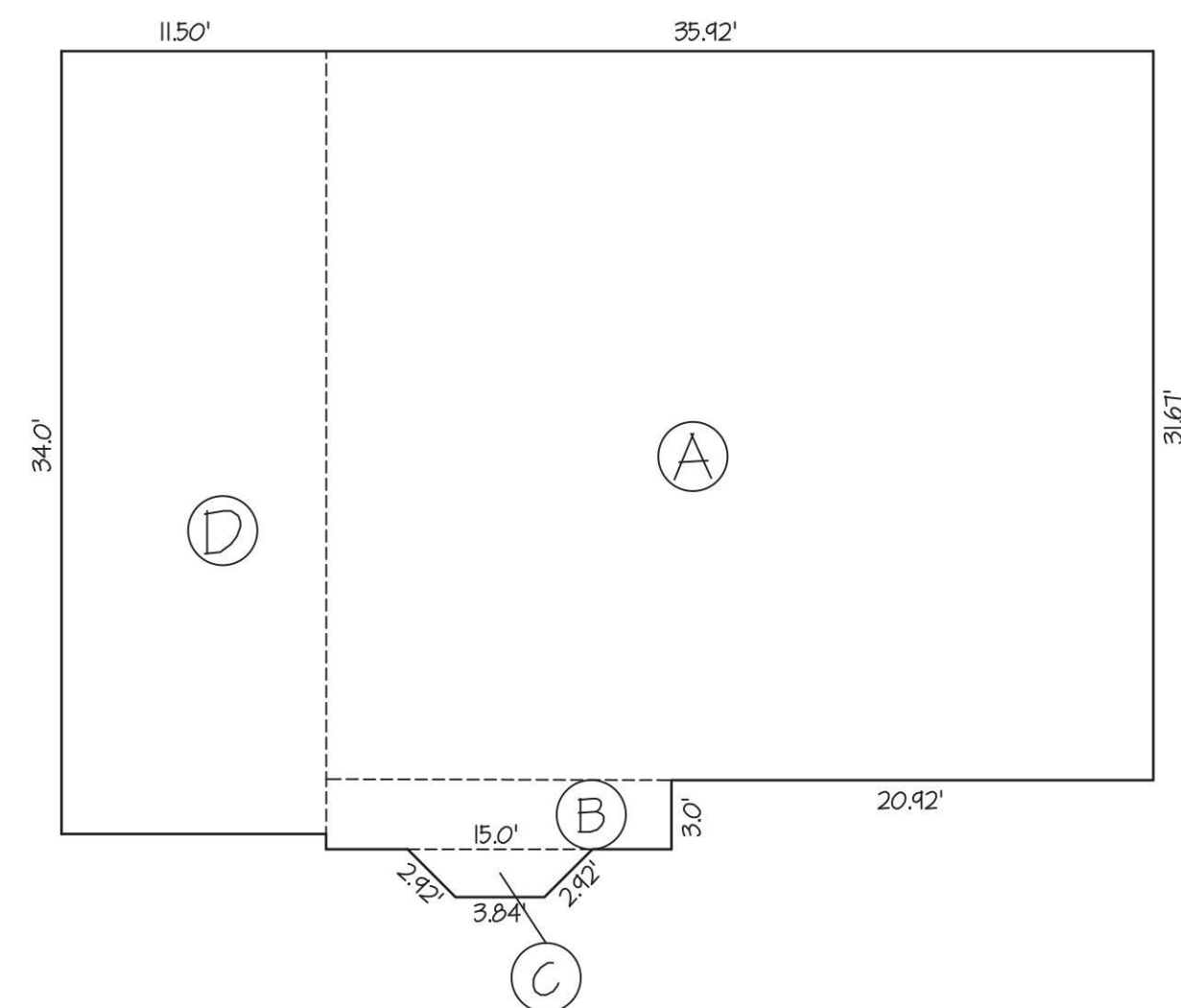
EXISTING ROOF AREA #1: (EXISTING MAIN ROOF): 1,730.25 Sq. Ft.  
(EXISTING GARAGE ROOF): 304.14 Sq. Ft.  
(EXISTING PORTICO ROOF): 34.83 Sq. Ft.

TOTAL EXISTING ROOF AREAS: 2,074.22 Sq. Ft.

PROPOSED ROOF AREA #1: (EXISTING MAIN ROOF): 1,730.25 Sq. Ft.  
(MODIFIED GARAGE ROOF): 72.18 Sq. Ft.  
(EXISTING PORTICO ROOF): 34.83 Sq. Ft.  
(NEW BEDROOM ROOF): 231.46 Sq. Ft.

TOTAL PROPOSED ROOF AREAS: 2,074.22 Sq. Ft.

NO CHANGE IN ROOF AREA FOR DRYWELL #1 SINCE NEW BEDROOM ADDITION IS OVER EXISTING GARAGE ROOF AND HAS ALREADY BEEN INCLUDED IN PREVIOUS ROOF AREA CALCULATION FOR DRYWELL SIZE. THEREFORE PREVIOUSLY APPROVED DRYWELL #1 IS STILL VALID FOR THIS NEW BEDROOM ADDITION



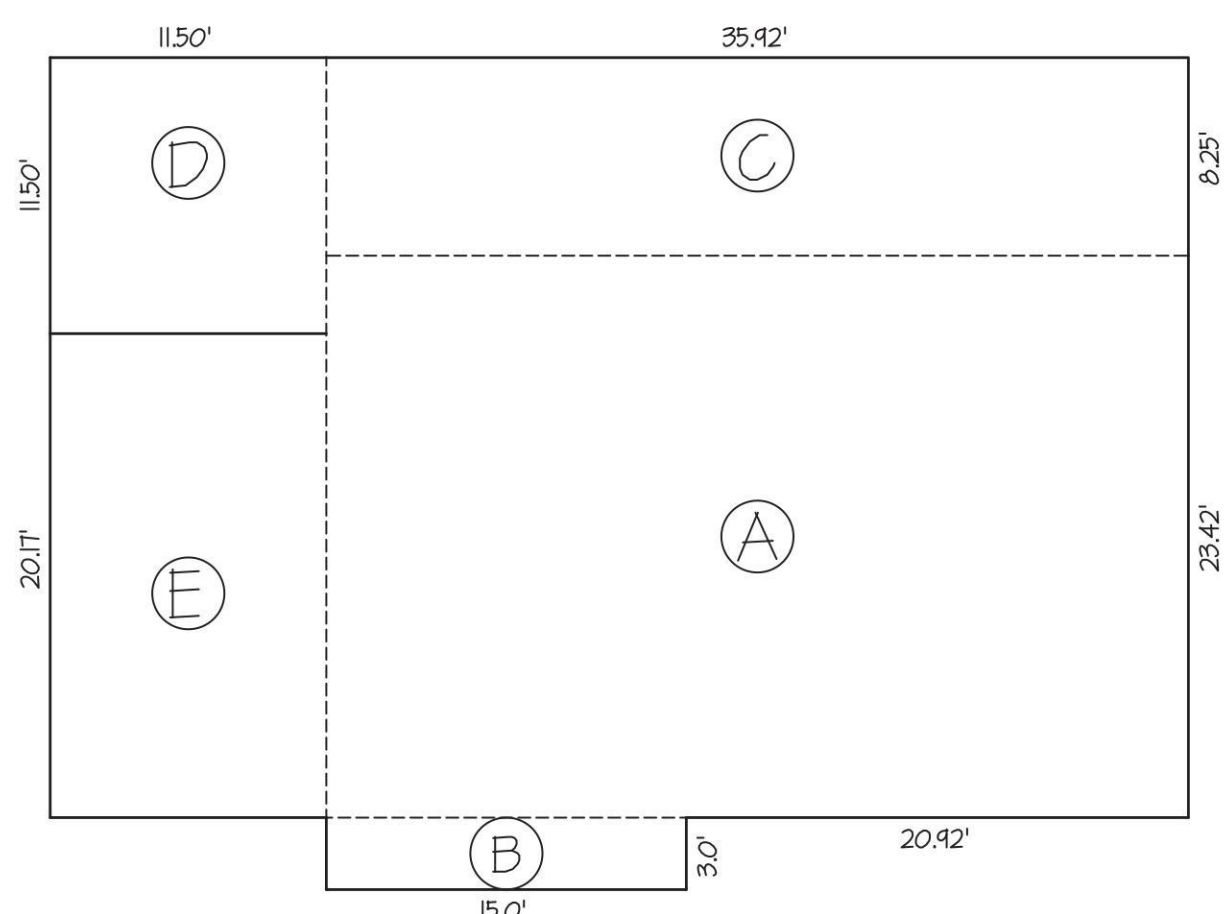
**1st FLOOR AREA PLAN**

SCALE: 1/8" = 1'-0"

**AREA TAKE OFF:**

- A) EXISTING 1st FLOOR: 31.67' x 35.92' = 1131.54 SQ. FT.
- B) EXISTING 1st FLOOR: 3.0' x 15.0' = 45.00 SQ. FT.
- C) EXISTING 1st FLOOR: IRR. BAY WINDOW = 12.38 SQ. FT.
- D) EXISTING 1st FLOOR: 11.50' x 34.00' = 391.00 SQ. FT.

TOTAL 1st FLOOR: = 1583.42 SQ. FT.



**2nd FLOOR AREA PLAN**

SCALE: 1/8" = 1'-0"

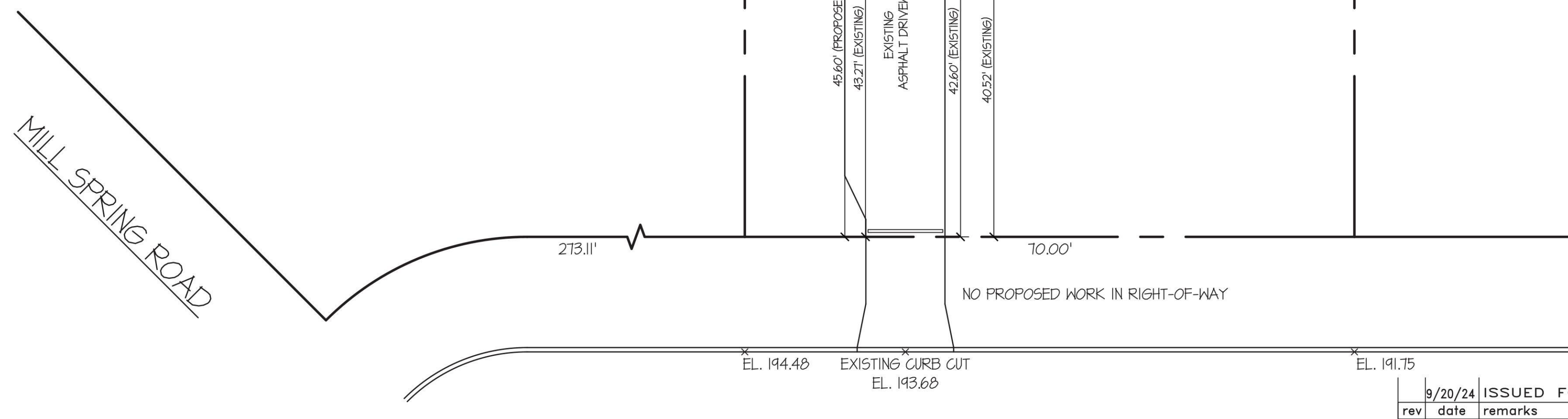
**FLOOR AREA TAKE OFF:**

- A) EXISTING 2nd FLOOR: 23.42' x 35.92' = 841.25 SQ. FT.
- B) EXISTING 2nd FLOOR: 3.0' x 15.0' = 45.00 SQ. FT.
- C) EXISTING 2nd FLOOR: 8.25' x 35.92' = 296.34 SQ. FT.
- D) EXISTING 2nd FLOOR: 11.50' x 11.50' = 132.25 SQ. FT.
- E) NEW 2nd FLOOR: 11.50' x 20.17' = 231.46 SQ. FT.

TOTAL 2nd FLOOR: = 1543.35 SQ. FT.

**DOOR & WINDOW PROTECTION NOTE:**

ALL NEW WINDOWS & DOORS TO BE IMPACT RESISTANT OR HAVE MIN. 3/4" PLYWOOD PROTECTION PANELS TO PREVENT IMPACT. IF IMPACT PANELS ARE USED, PANELS TO BE NUMBERED TO WINDOW / DOOR AND AVAILABLE FOR INSPECTION WHEN REQUIRED.



**PROPOSED SITE PLAN**

SCALE: 1" = 10'-0"

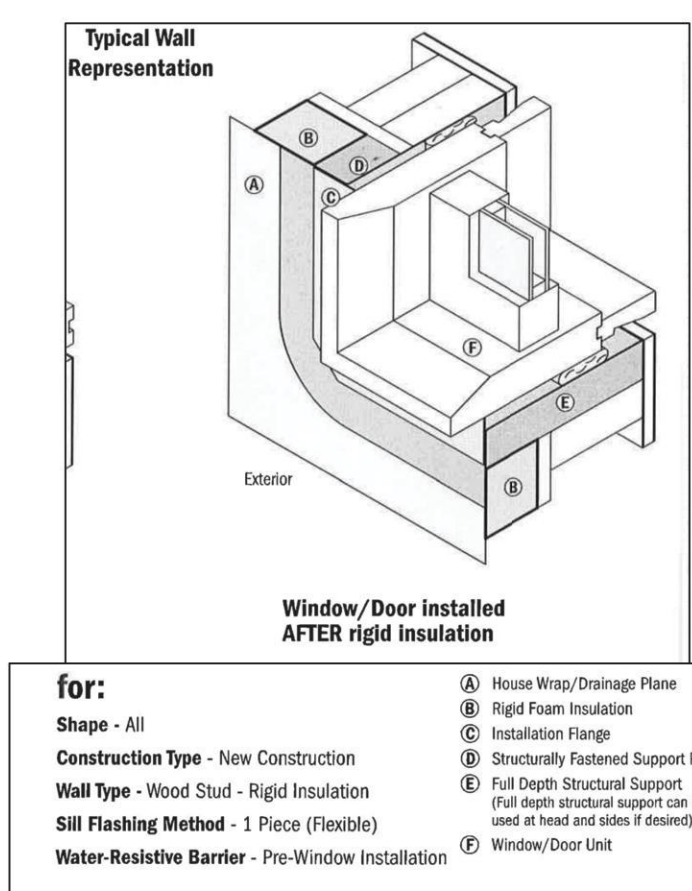
**AVERAGE FRONT YARD SETBACK CALCULATIONS:**

BLOCK	LOT	SETBACK
221	6	41.9 FFT.
	7	44.1 FFT.
	8	41.9 FFT.
	9	SUBJECT PROPERTY
	10	43.5 FFT.
	11	44.8 FFT.
	12	42.9 FFT.
TOTAL		259.1 FFT.

259.1 / 6 = 43.18 FT.

**AVERAGE PRE-EXISTING GRADE CALCULATION:**

SEE DRAWING A-6 FOR EXISTING GRADE CALCULATIONS & SKETCH



**TYPICAL DOOR & WINDOW JAMB INSTALL DETAIL**

SCALE: NOT TO SCALE

rev	date	ISSUED FOR FILING	remarks
	9/20/24		

PROPOSED ALTERATION FOR THE KATSIHTIS RESIDENCE 78 HILLTOP DRIVE, MANHASSET, NY 11030

DIPROPERZIO & MALLIA ARCHITECTS, LLP  
499 JERICHO TURNPIKE  
MINEOLA, NY 11501 (516) 877-7775

SITE PLAN, BUILDING & ZONING INFORMATION

drawn by: GK file: 24-16  
checked by: MM scale: AS NOTED  
date: 9/17/24 page: 1 of 2

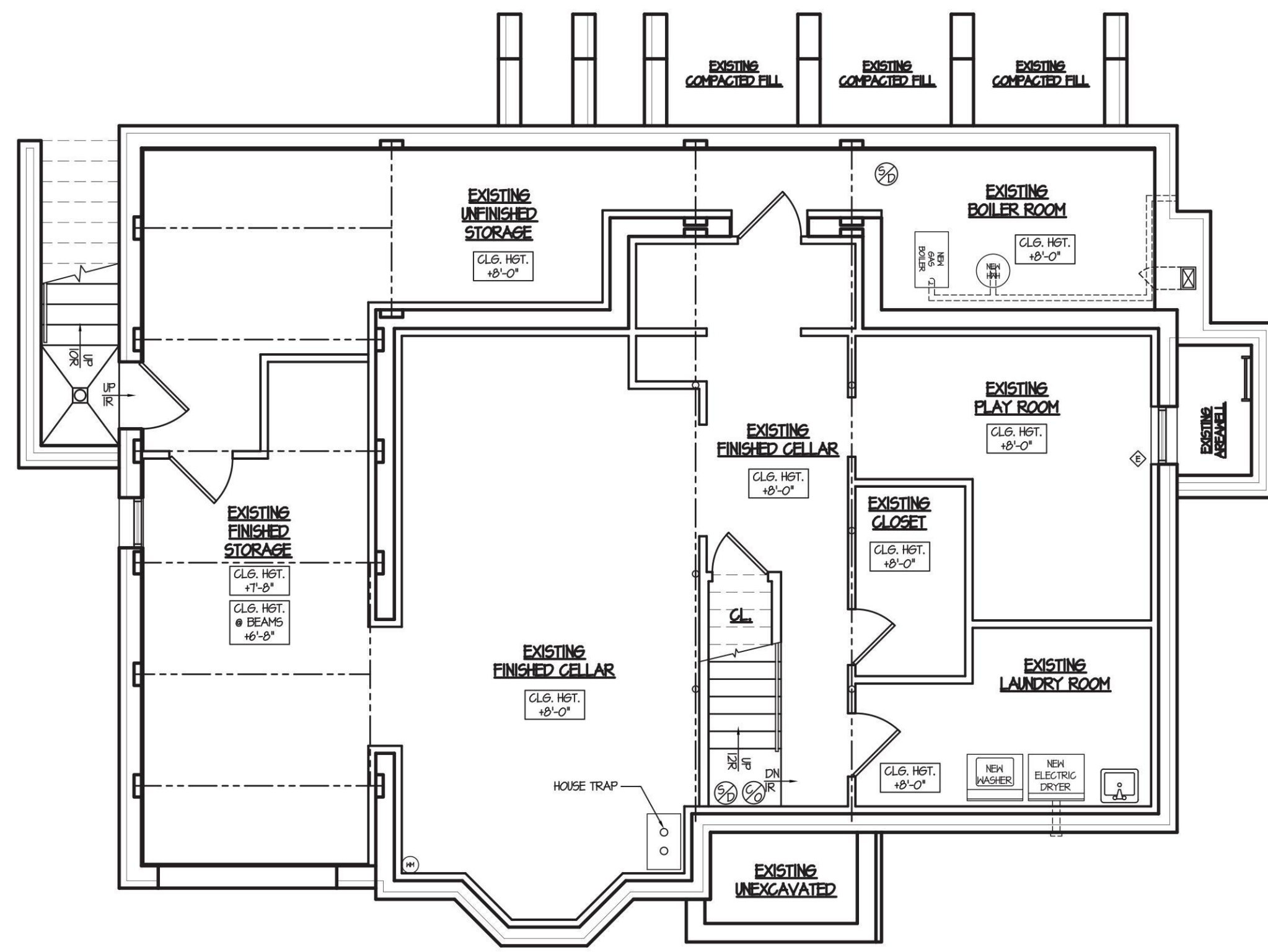


d.o.b. approval stamp

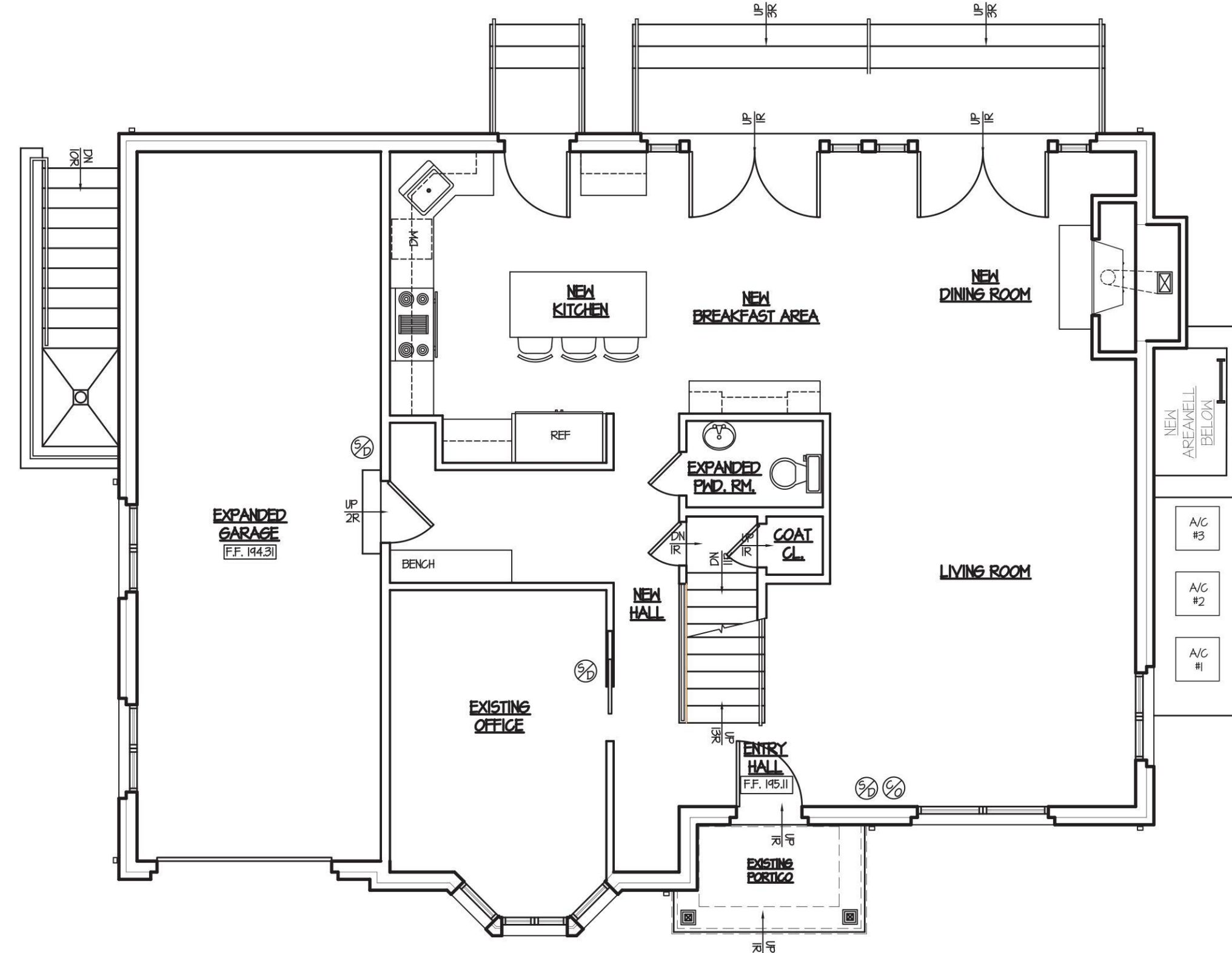
chg no.

A-1

b-scan:



**EXISTING CELLAR FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

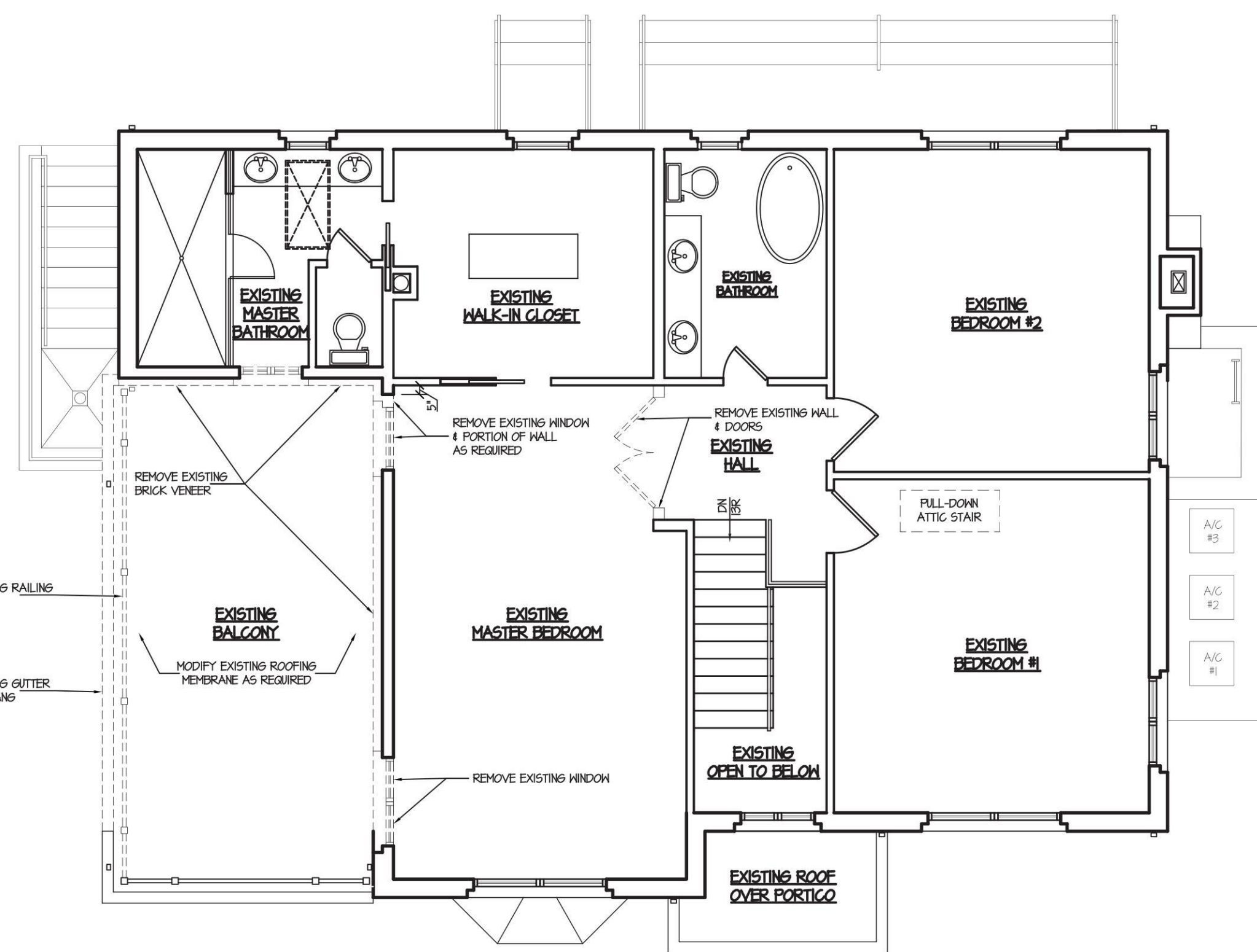


**EXISTING 1st FLOOR DEMOLITION PLAN**  
SCALE: 3/16" = 1'-0"

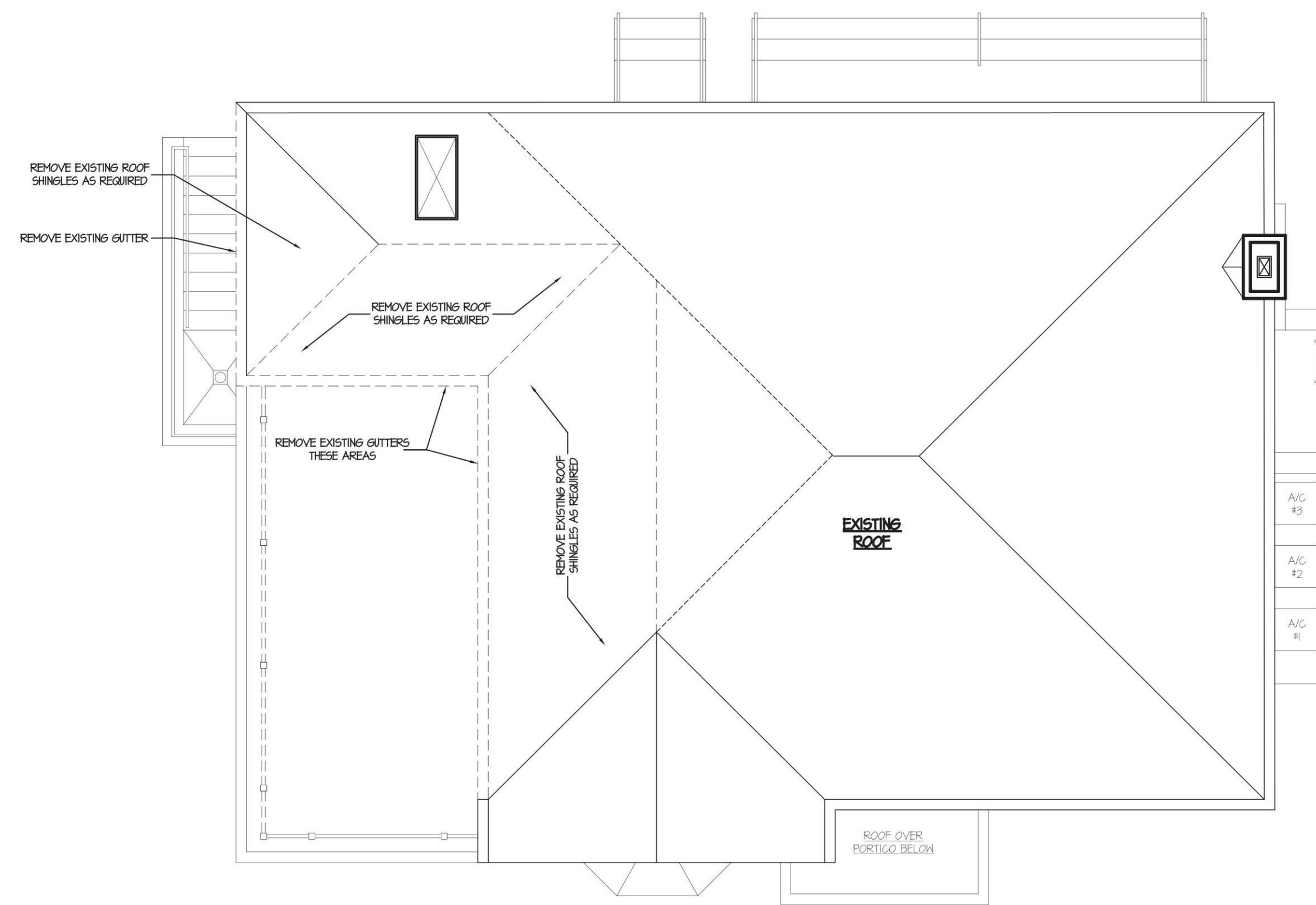
**DEMOLITION LEGEND:**

[Solid Line] EXISTING TO REMAIN

[Dashed Line] EXISTING TO BE DEMOLISHED



**2nd FLOOR DEMOLITION PLAN**  
SCALE: 3/16" = 1'-0"



**ROOF DEMOLITION PLAN**  
SCALE: 3/16" = 1'-0"

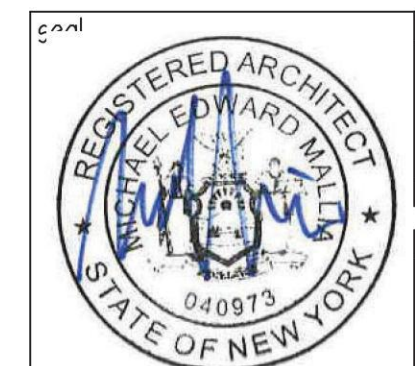
9/20/24 ISSUED FOR FILING  
rev date remarks

**PROPOSED ALTERATION FOR THE KATSHTIS RESIDENCE**  
18 HILLTOP DRIVE, MANHASSET, NY 11030

**DIPROPERZIO & MALLIA ARCHITECTS, LLP**  
499 JERICO TURNPIKE  
MINEOLA, NY 11501 (516) 877-7775

**EXISTING & DEMOLITION PLANS & LEGEND**

drawn by: GK file: 24-16  
checked by: MM scale: AS NOTED  
date: 9/17/24 page: 2 of 8

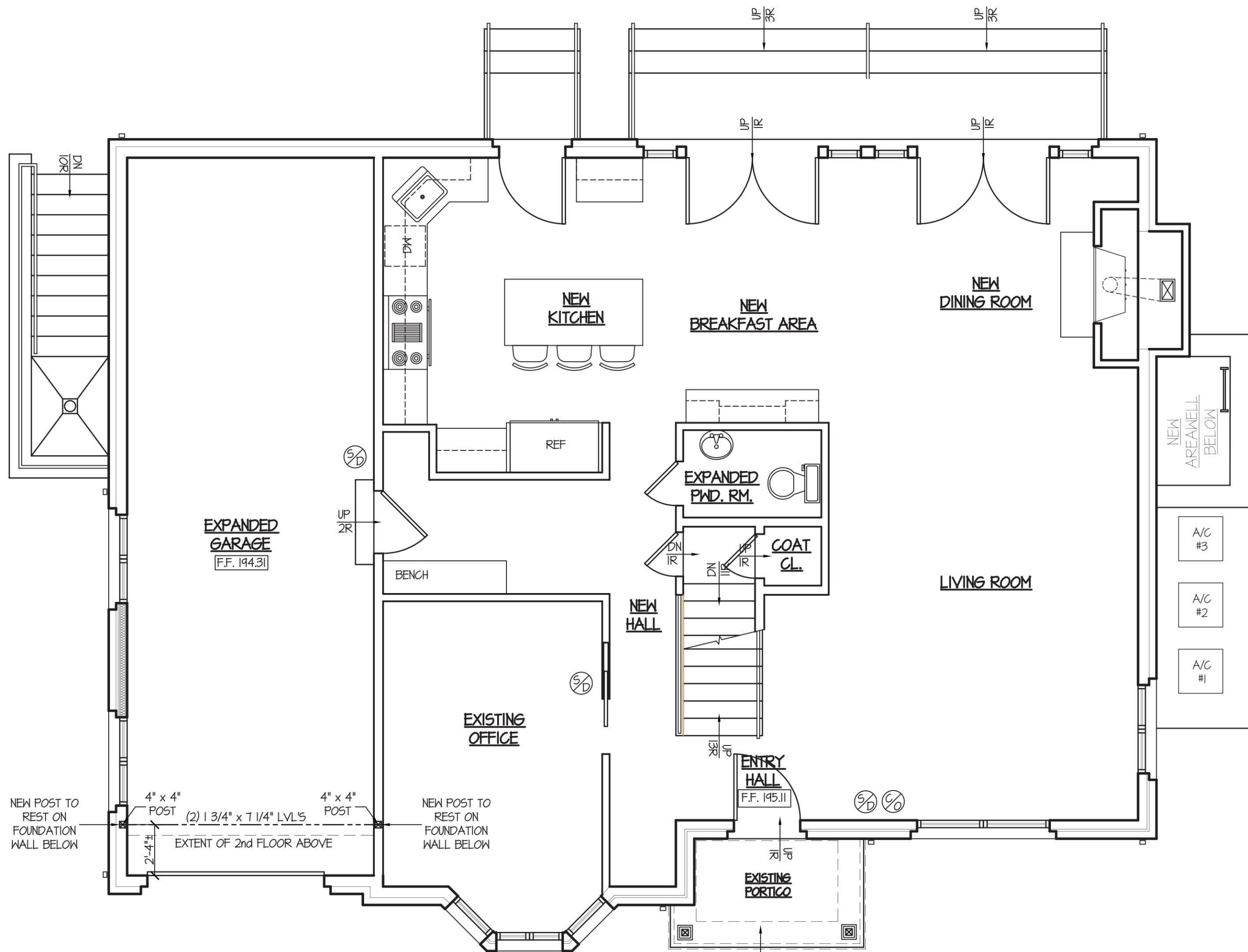


dob approval stamp

chng no.

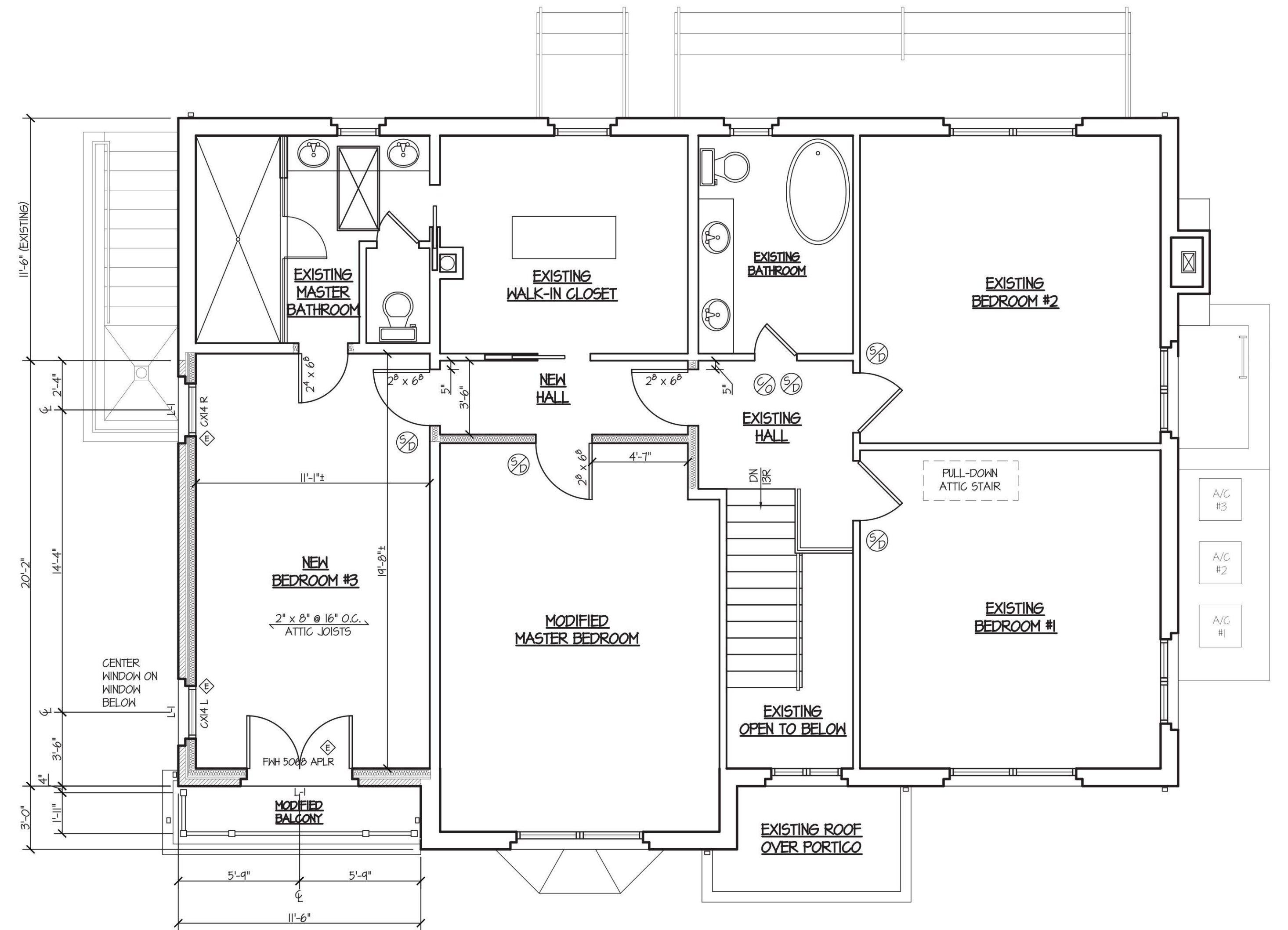
**A-2**

b-scan:



**EXISTING 1st FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**PROPOSED 2nd FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**CONSTRUCTION LEGEND:**

[Symbol]	EXISTING TO REMAIN	[Symbol]	1.5"x 4" LVL	WOOD GIRDER AS NOTED
[Symbol]	TYPICAL NEW EXTERIOR WALL NEW BRICK VENER, AIR SPACE, "TYVEK" HOUSEWRAP, 1" RIGID INSULATION 3/4" PLYWOOD SHEATHING, 2" x 4" STUDS @ 16" O.C., R-13 BATT INSULATION, 4 1/2" GYPSUM BOARD.	[Symbol]	H 2 x 3	STEEL GIRDER AS NOTED
[Symbol]	INTERIOR WALL - (FORMER EXTERIOR WALL) REMOVE EXISTING BRICK VENER & INSTALL NEW 1/2" GYPSUM BOARD OVER EXISTING WALL FRAMING AS REQUIRED	[Symbol]	[Symbol]	WOOD POST AS NOTED
[Symbol]	INTERIOR WALL - SOUND INSULATED 2" x 4" STUDS @ 16" O.C., BATT SOUND INSULATION, 4 1/2" GYPSUM BOARD (BOTH SIDES).	[Symbol]	[Symbol]	STEEL POST AS NOTED
		[Symbol]	[Symbol]	DENOTES EGRESS WINDOW
		[Symbol]	[Symbol]	NEW INTERCONNECTED HARDWIRED SMOKE DETECTOR W/ BATTERY BACKUP
		[Symbol]	[Symbol]	NEW INTERCONNECTED HARDWIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP

**DOOR & WINDOW HEADER NOTE:**

EXTERIOR DOORS & WINDOWS:  
HEADERS TO BE (2) 2" x 10" UNLESS OTHERWISE NOTED

INTERIOR DOORS:  
BEARING WALLS: HEADERS TO BE (2) 2" x 8" UNLESS OTHERWISE NOTED  
NON-BEARING PARTITIONS: HEADERS TO BE (2) 2" x 6" UNLESS OTHERWISE NOTED

**LOOSE LINTEL SCHEDULE**

MARK	SIZE			
	MASONRY THICKNESS	UNDER 4'-0" OPENING	4'-0" TO 8'-0" OPENING	8'-0" TO 12'-0" OPENING
LI	4"	IL - 4 x 3-1/2 x 5/16	IL - 4 x 3-1/2 x 3/8	IL - 6 x 3-1/2 x 1/2

NOTES: 1 - PROVIDE 6" BEARING AT EACH END.

REV	DATE	REMARKS
9/20/24	ISSUED FOR FILING	

**PROPOSED ALTERATION FOR THE KATSIHTIS RESIDENCE**  
18 HILLTOP DRIVE, MANHASSET, NY 11030

**DIPROPERZIO & MALLIA ARCHITECTS, LLP**  
499 JERICHO TURNPIKE  
MINEOLA, NY 11501 (516) 877-7775

**CONSTRUCTION PLANS & LEGEND**

drawn by:	GK	file:	24-16
checked by:	MM	scale:	AS NOTED
date:	9/17/24	pages:	3 of 31

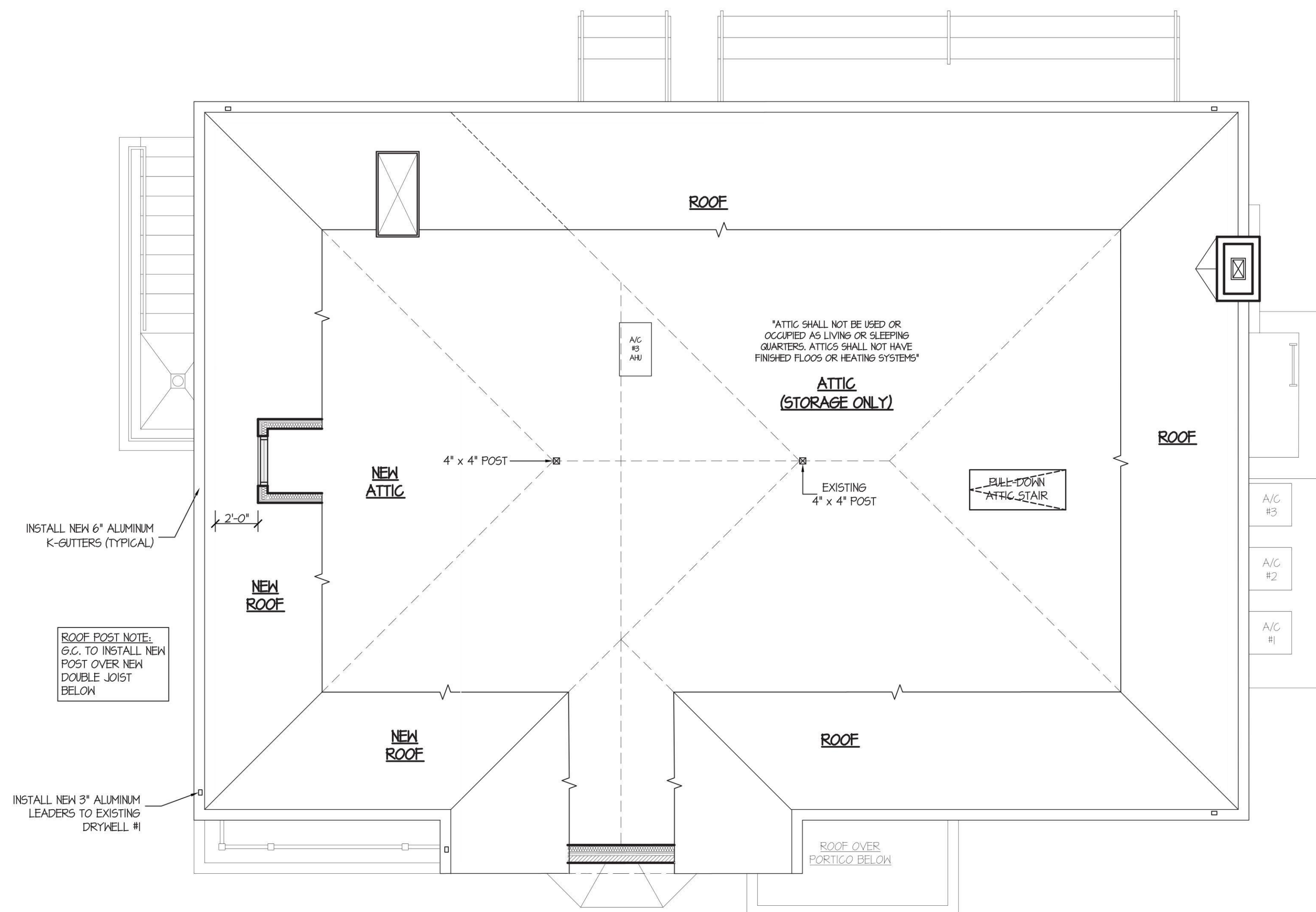


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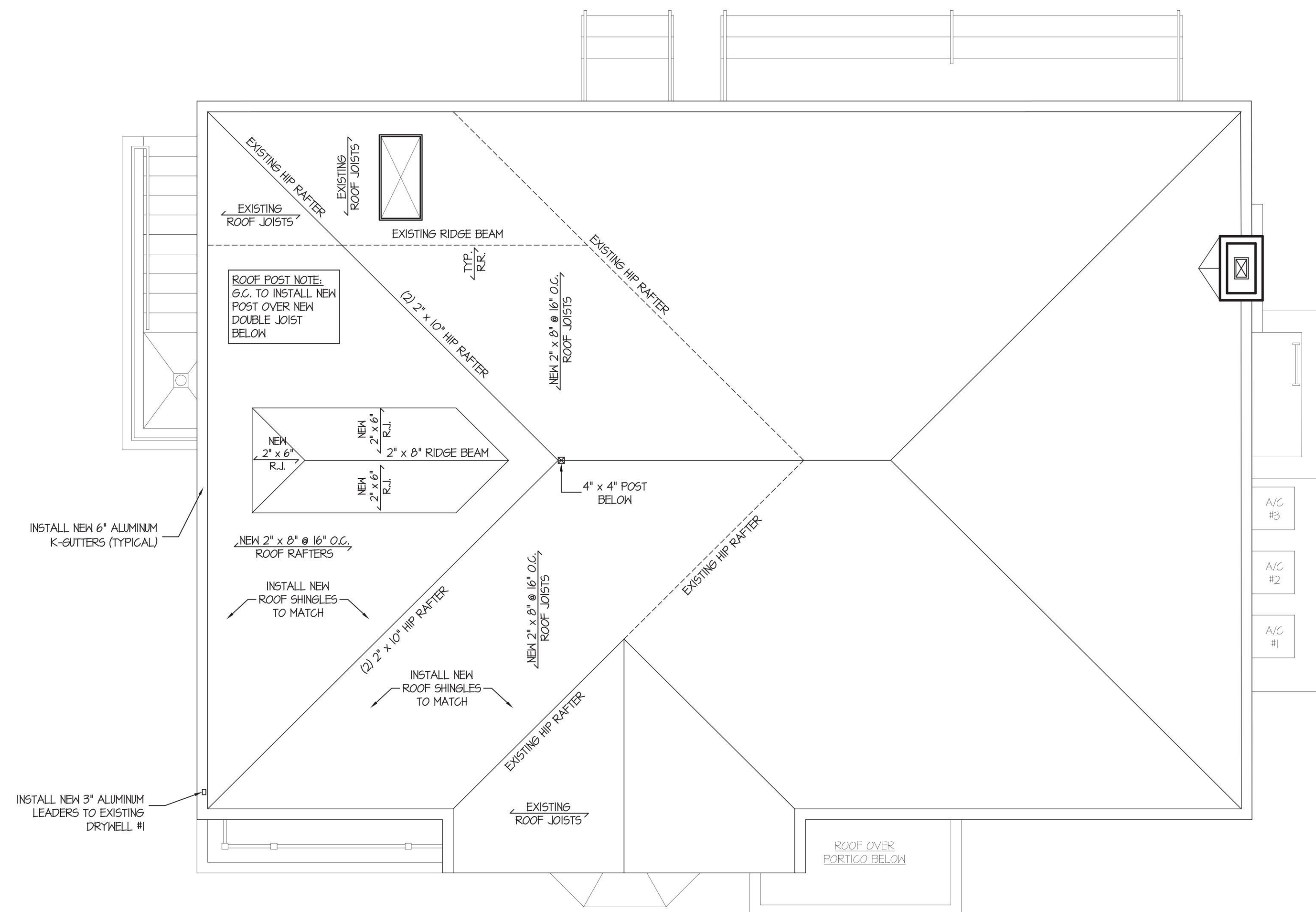
chg no.

**A-3**

b-scan:



**PROPOSED ATTIC PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**CONSTRUCTION LEGEND:**

- |  |   |  |   |
|--|---|--|---|
|  | EXISTING TO REMAIN  |  | WOOD GIRDER AS NOTED  |
|  | TYPICAL NEW EXTERIOR WALL:<br>NEW BRICK VENER, AIR SPACE, "TYVEK"<br>HOUSEWRAP, 1" RIGID INSULATION, 3/4" PLYWOOD<br>SHEATHING, 2" x 4" STUDS @ 16" O.C., R-13 BATT<br>INSULATION, 4 5/8" GYPSUM BOARD. |  | STEEL GIRDER AS NOTED   |
|  | INTERIOR WALL - (FORMER EXTERIOR WALL)<br>REMOVE EXISTING BRICK VENER &<br>INSTALL NEW 5/8" GYPSUM BOARD OVER<br>EXISTING WALL FRAMING AS REQUIRED  |  | WOOD POST AS NOTED  |
|  | INTERIOR WALL - SOUND INSULATED<br>2" x 4" STUDS @ 16" O.C., BATT SOUND<br>INSULATION, 4 5/8" GYPSUM BOARD (BOTH SIDES).  |  | STEEL POST AS NOTED   |
|  |   |  | DENOTES EGRESS WINDOW   |
|  |   |  | NEW INTERCONNECTED HARDWIRED<br>SMOKE DETECTOR W/ BATTERY BACKUP              |
|  |   |  | NEW INTERCONNECTED HARDWIRED<br>CARBON MONOXIDE DETECTOR W/<br>BATTERY BACKUP |

**DOOR & WINDOW HEADER NOTE:**

**EXTERIOR DOORS & WINDOWS:**  
HEADERS TO BE (2) 2" x 10" UNLESS OTHERWISE NOTED

**INTERIOR DOORS:**  
BEARING WALLS: HEADERS TO BE (2) 2" x 8" UNLESS OTHERWISE NOTED  
NON-BEARING PARTITIONS: HEADERS TO BE (2) 2" x 6" UNLESS OTHERWISE NOTED

**LOOSE LINTEL SCHEDULE**

MARK	SIZE			
	MASONRY THICKNESS	UNDER 4'-0" OPENING	4'-0" TO 8'-0" OPENING	8'-0" TO 12'-0" OPENING
LI	4"	IL - 4 x 3-1/2 x 5/16	IL - 4 x 3-1/2 x 3/8	IL - 6 x 3-1/2 x 1/2

NOTES: 1 - PROVIDE 6" BEARING AT EACH END.

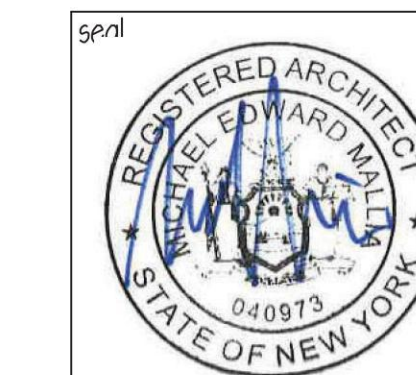
9/20/24 ISSUED FOR FILING  
rev date remarks

**PROPOSED ALTERATION  
FOR  
THE KATSIHTIS RESIDENCE**  
18 HILLTOP DRIVE, MANHASSET, NY 11030

**DIPROPERZIO & MALLIA  
ARCHITECTS, LLP**  
499 JERICHO TURNPIKE  
MINEOLA, NY 11501 (516) 877-7775

**CONSTRUCTION PLANS & LEGEND**

drawn by: GK file: 24-16  
checked by: MM scale: AS NOTED  
date: 9/17/24 page: 4 of 8



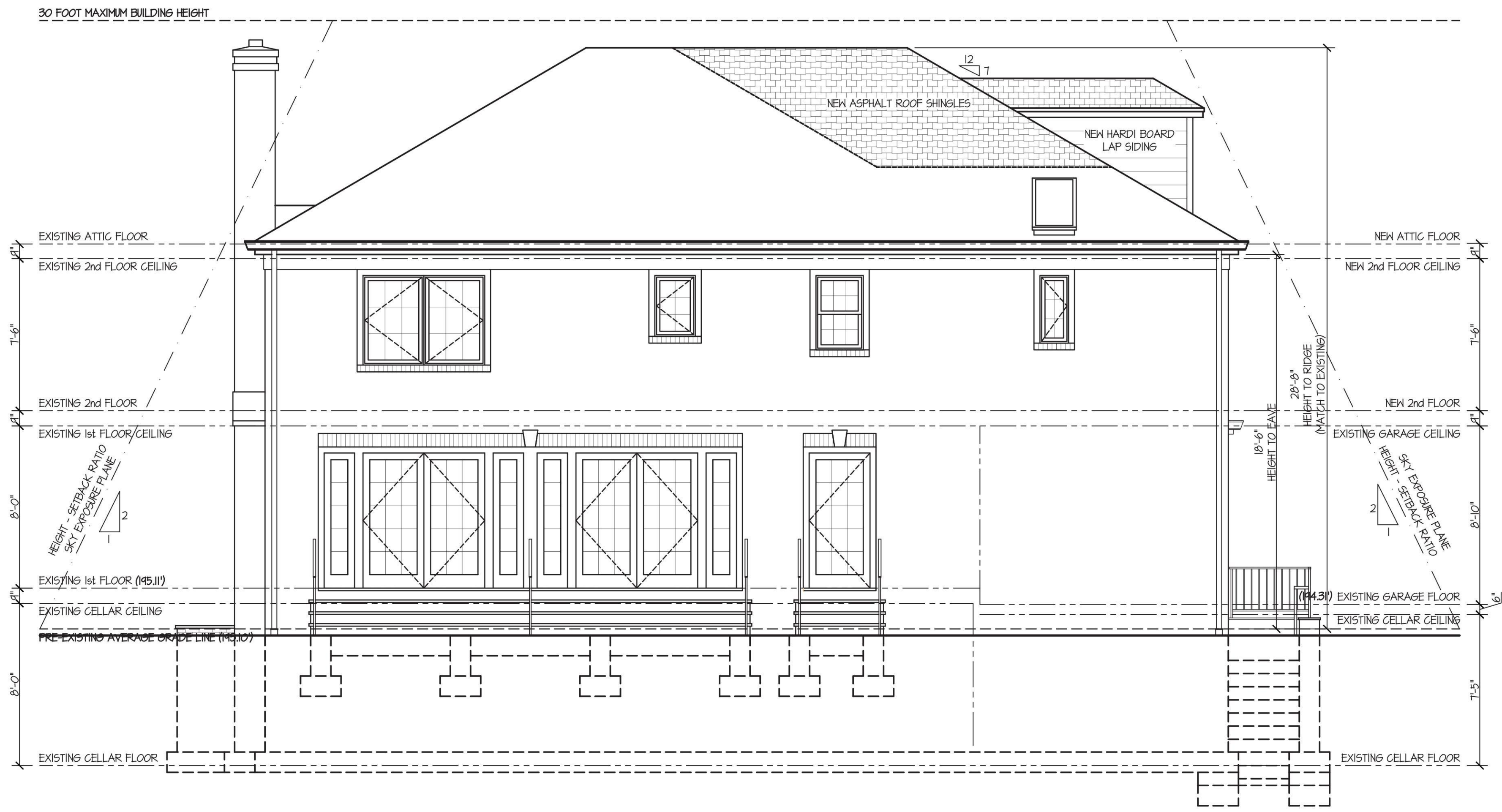
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chg. no.

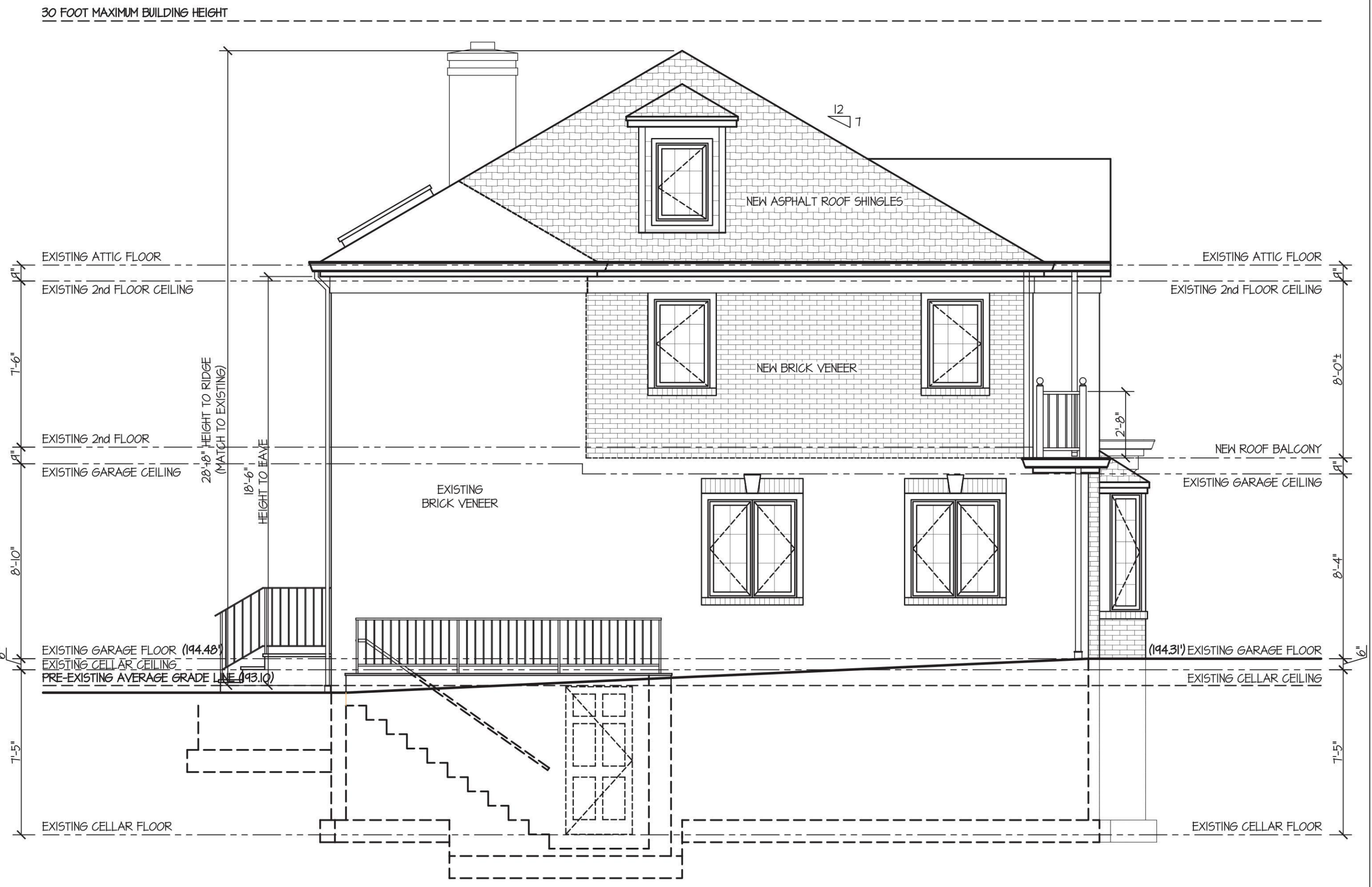
**A-4**

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**PROPOSED REAR (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"

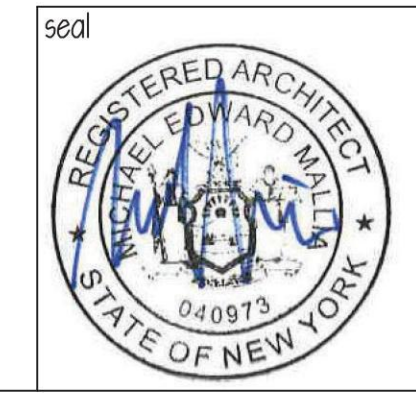


**PROPOSED SIDE (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"

rev	date	remarks
1	9/20/24	ISSUED FOR FILING

PROPOSED ALTERATION  
FOR  
THE KATSHTIS RESIDENCE  
18 HILLTOP DRIVE, MANHASSET, NY 11030

**DIPROPERZIO & MALLIA**  
ARCHITECTS, LLP  
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ELEVATIONS

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checked by: MM scale: AS NOTED  
date: 9/17/24 page: 6 of 8

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chg no.

**A-6**

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GENERAL NOTES:

- 1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE, FUEL GAS CODE OF NEW YORK STATE, MECHANICAL CODE OF NEW YORK STATE, PLUMBING CODE OF NEW YORK STATE, PROPERTY MAINTENANCE CODE OF NEW YORK STATE, ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE LATEST EDITIONS. ALL WORK SHALL COMPLY WITH THE FOLLOWING DESIGN CRITERIA:

Table with 12 columns: GROUND SNOW LOAD, WIND DESIGN (SPEED, TOPOGRAFC, SPECIAL WIND, HUR-DORNE), DESIGN CATEGORY, SUBJECT TO DAMAGE FROM (WEATHERING, TERMITES), WIND DESIGN, ICE-SHIELD, FLOOD HAZARDS, AIR FREEING, MEAN ANNUAL TEMP.

- 2. WHERE THE TERM "THE CODE" IS USED OR SECTIONS CITED IN THESE SPECIFICATIONS THE INTERNATIONAL RESIDENTIAL CODE (2015) WITH NEW YORK STATE 2016 UNIFORM CODE SUPPLEMENT IS IMPLIED.
3. THE GENERAL CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE AND PREMISES AND TO HAVE COMPARED SAME WITH THE DRAWINGS AND SPECIFICATIONS...
4. PRIOR TO THE START OF THE WORK THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE IF ANY EXISTING ELECTRICAL POWER LINES ARE LOCATED WITHIN 10 FEET OF THE WORK...
5. ALL WORK SPECIFIED HEREIN MUST BE INSTALLED IN FULL ACCORDANCE WITH THE REQUIREMENTS OF ALL LOCAL AND GOVERNMENTAL DEPARTMENTS...
6. ANY ITEMS OF WORK SPECIFIED HEREIN AND/OR SHOWN ON THE DRAWINGS WHICH CONFLICT WITH AFOREMENTIONED RULES, REGULATIONS, AND REQUIREMENT, SHALL BE REFERRED TO THE ARCHITECT FOR DECISION.
7. THE WORK SHALL NOT BE DEEMED TO HAVE REACHED A STATE OF COMPLETION UNTIL ALL FINAL CERTIFICATES HAVE BEEN DELIVERED.
8. EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR AND BE REQUIRED TO MAKE GOOD AT HIS OWN EXPENSE ANY AND ALL DAMAGES TO THE OWNERS OR NEIGHBORS PROPERTY...
9. EACH CONTRACTOR SHALL, AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS WORK...
10. UPON COMPLETION OF ALL WORK, THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS RESULTING FROM THE BUILDING OPERATION AND SHALL LEAVE THE ENTIRE SITE IN A NEAT, CLEAN AND ACCEPTABLE CONDITION...
11. THE CONTRACTORS SHALL GUARANTEE ALL WORK INSTALLED UNDER THE CONTRACTS FROM A PERIOD OF ONE (1) YEAR FROM DATE OF COMPLETION...
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FILE ALL REQUIRED INSPECTION REPORTS, CONCRETE CYLINDERS REPORTS, STEEL AND MASONRY AFFIDAVITS, MATERIAL TICKETS, ETC. AS MAY BE REQUIRED FOR FINAL ACCEPTANCE BY THE LOCAL MUNICIPALITY.
13. WHERE A DISCREPANCY MAY EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
14. THE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND AS SUCH REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE WORK FOR WHICH THEY ARE INTENDED IS EXECUTED OR NOT...
15. THE LATEST EDITION OF THE A.I.A. DOCUMENT A201 SHALL APPLY TO THIS PROJECT, WITH MODIFICATIONS IF LISTED UNDER THE SUPPLEMENTARY CONDITIONS, AND BECOME PART OF THE AGREEMENT.
16. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION INCLUDING JOB AND SITE SAFETY AND TO COMPLY WITH ALL APPLICABLE O.S.H.A. STANDARDS.
17. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AS MAY BE REQUIRED BY THE MUNICIPALITY HAVING JURISDICTION, ARRANGE FOR ALL REQUIRED INSPECTIONS, OBTAIN ALL NECESSARY SIGN-OFFS AND FINAL LETTER OF COMPLETION AND/OR CERTIFICATE OF OCCUPANCY AS MAY BE REQUIRED.
18. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO COMPLETION OF ANY WORK REQUIRING A CONTROLLED INSPECTION...
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A LICENSED LAND SURVEYOR TO CHECK AND VERIFY ALL LINES AND SETBACKS TO INSURE THAT ALL DIMENSIONS AND DISTANCES ARE CORRECT PRIOR TO THE START OF FRAMING...
20. THE SERVICES OF THE ARCHITECTS DO NOT EXTEND TO OR INCLUDE THE REVIEW OR SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE AND AS SUCH THE GENERAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THE MEANS AND METHODS OF CONSTRUCTION FOR JOB SAFETY ON THE JOB SITE...

DEMOLITION:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "BEFORE YOU DIG", 1-800-272-4480 OR 811, TO ARRANGE TO HAVE ALL EXISTING UNDERGROUND UTILITIES MARKED OUT AND IDENTIFIED...
2. THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND SHALL SHALL TAKE ALL USUAL AND PROPER PRECAUTIONS TO PREVENT ACCIDENTS OR INJURY TO ALL PERSONS, AND ANY DANGER TO PROPERTY ABOUT OR ADJACENT TO PREMISES WHERE WORK IS BEING PERFORMED...
3. THE CONTRACTOR SHALL INDEMNIFY AND "HOLD HARMLESS" BOTH THE OWNER AND ARCHITECT AGAINST ALL CLAIMS, SUITS, DAMAGES, AND JUDGEMENTS, INCLUDING COUNSEL FEES AND DISBURSEMENTS INCURRED IN DEFENSE OF ANY ACTION...
4. THE CONTRACTOR SHALL CAREFULLY STUDY ALL DRAWINGS TO FULLY DETERMINE THE EXTENT OF THE DEMOLITION WORK REQUIRED IN THE EXISTING BUILDING AND THE EFFECT OF SUCH WORK ON THE EXISTING CONSTRUCTION ELEMENTS AND SERVICES.
5. THE CONTRACTOR SHALL REMOVE ALL EXISTING FINISHED WOOD FLOORING AS DIRECTED BY THE OWNER.
6. THE CONTRACTOR SHALL REMOVE ALL EXISTING BRICK VENEER.
7. THE CONTRACTOR SHALL PROVIDE ALL PROTECTION AND SAFEGUARD BY GOOD CONSTRUCTION PRACTICE FROM THE START OF WORK UNTIL ITS COMPLETION AND ACCEPTANCE BY THE OWNER AND ARCHITECT.
8. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR MATERIALS, STRUCTURAL ELEMENTS, METHODS, TIMING, SEQUENCE SAFETY OF LIFE AND PROPERTY.
9. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING AS NECESSARY AND AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION...
10. THE CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING, BARRICADES, ETC. AS REQUIRED BY THE JOB CONDITIONS AND THE LOCAL AUTHORITIES.
11. THE CONTRACTOR SHALL REMOVE AND RELOCATE ALL EQUIPMENT AND FURNISHINGS AS REQUIRED BY JOB CONDITIONS AND AS DIRECTED BY THE ARCHITECT AND RECONNECT TO INSURE PROPER OPERATION.
12. ALL PLUMBING, GAS AND ELECTRICAL CONNECTIONS TO BE REMOVED SHALL BE SAFELY CAPPED BELOW THE FLOOR LEVEL.

- 13. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL NECESSARY PERMITS AND APPROVALS AS MAY BE REQUIRED BY THE LOCAL MUNICIPALITY AND UTILITY COMPANIES.

STRUCTURAL STEEL:

- 1. ALL STRUCTURAL STEEL SHALL CONFORM TO THE A.I.S.C. SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS LATEST EDITION, ASTM A-36.
2. ALL BEAMS SHALL HAVE FUL BEARING ON PLATES.
3. ALL STEEL BEAMS RESTING ON MASONRY SHALL HAVE STANDARD GOVERNMENT ANCHORS AND BEARING PLATES OF SIZES AS SHOWN.
4. LINTELS SHALL HAVE FULL 5" OF BEARING EACH END. PROVIDE BEARING PLATES AS INDICATED ON PLAN.
5. ALL STRUCTURAL STEEL, BOLTED AND WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE AND THE LATEST EDITIONS AND REVISIONS OF THE A.I.S.C. CODE FOR A-36 STEEL, AMERICAN WELDING SOCIETY CODE AND A.S.T.M. SPECIFICATIONS...
6. ALL STEEL SHALL BE DELIVERED WITH A SHOP COAT OF PAINT. SHOP PAINT SHALL BE AN APPROVED IRON OXIDE CONTAINING NOT LESS THAN 65% OF SESQUI OXIDE OR IRON OR A RED LEAD PIGMENT...
7. FIELD TOUCH-UP PAINT SHALL BE THE SAME AS THE SHOP PAINT SPECIFIED ABOVE.
8. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND ANY WELD SHALL BE CAPABLE OF FULFILLING ALL TESTING REQUIREMENTS ORDERED AT THE DISCRETION OF THE ARCHITECT OR ENGINEER.
9. ALL NECESSARY BEARING PLATES FOR REACTIONS OF BEAMS, COLUMNS, CONNECTION STIFFENERS AND GASKETS WHETHER CALLED FOR ON THE DRAWINGS OR NOT, SHALL BE PROVIDED.
10. THE STEEL WORK SHALL BE THOROUGHLY PLUMBED THROUGHOUT BEFORE PERMANENT CONNECTIONS ARE MADE.
11. ALL STEEL CONSTRUCTION SHALL BE ADEQUATELY BRACED AT ALL TIMES TO MAINTAIN POSITION AND ALIGNMENT AGAINST ALL WIND STRESSES AND ALL OTHER VIBRATIONS.
12. HIGH STRENGTH BOLTS SHALL BE INSTALLED BY MEANS OF CALIBRATED WRENCHES OR TURN-OF-THE-NUT METHOD IN ACCORDANCE WITH THE PROVISIONS IN THE SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS, LATEST EDITION.
13. ALL TRAP PITS SHALL HAVE CHECKERED STEEL PLATE COVER SET IN ANGLE IRON FRAMES FLUSH WITH FLOOR.
14. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND OBTAIN APPROVAL PRIOR TO FABRICATION AND ERECTION OF THE STEEL.

CARPENTRY:

- 1. ALL STRUCTURAL LUMBER SHALL BE WEST COAST DOUGLAS-FIR LARCH, NO. 1 OR BETTER GRADE F5=1400 PSI IN SIZES AS INDICATED ON PLANS...
2. WOOD BEAMS SHALL BE BRIDGED WITH 1" X 3" DIAGONAL WOOD OR METAL MEMBERS OR SOLID WOOD BRIDGINGS SPACED 8'-0" O.C. MAXIMUM.
3. WOOD BEAMS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R502.8 AND FIGURE R502.8 OF THE RESIDENTIAL CODE.
4. BEAMS SHALL BE DOUBLED UNDER ALL PARTITIONS WHICH ARE RUNNING PARALLEL TO SUCH BEAMS.
5. JOISTS SHALL BE SUPPORTED LATERALLY AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2" NOMINAL THICKNESS AND DEPTH EQUAL TO THE DEPTH OF THE JOISTS.
6. PRE-ENGINEERED WOOD MEMBERS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS...
7. A MINIMUM OF 2" SHALL BE MAINTAINED BETWEEN ALL WOOD JOISTS AND BEAMS ADJACENT TO CHIMNEYS...
8. ALL SILL PLATES SHALL BE MINIMUM 2" X 6" PRESSURE TREATED WOOD...
9. SILL PLATES SHALL BE SECURED TO FOUNDATION WITH 5/8" DIAMETER ANCHOR BOLTS SPACED A MAXIMUM OF 34 INCHES O.C. FROM EACH CORNER AND 45" O.C. FOR INTERIOR BOLTS.
10. FASTENERS, HANGERS AND NAILING FOR TREATED LUMBER SHALL BE FABRICATED OF MATERIALS APPROVED FOR USE WITH THE SPECIFIC TYPE OF TREATED LUMBER...
11. WHERE METAL CONNECTORS AND STRAPPING IS INDICATED ON THE PLANS THE DESIGN IS BASED UPON PRODUCTS MANUFACTURED BY SIMPSON STRONG-TIE SPECIFICALLY TO MEET THE STRUCTURAL CALCULATIONS...
12. ALL TAIL BEAMS SHALL REST ON APPROVED TYPE BRIDLE IRONS.
13. WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT THE CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS...
14. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE...
15. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10AND FIGURE R602.10(I) OF THE RESIDENTIAL CODE.
16. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH...
17. EXTERIOR SHEATHING SHALL BE MINIMUM 5/8" EXTERIOR GRADE PLYWOOD SHEATHING.
18. BUILDING FELT SHALL BE "TYVEK" INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
19. "ICE SHIELD" UNDERLAYMENT SHALL BE INSTALLED WITHIN 2'-0" OF THE EXTERIOR WALL SURFACES FOR ALL ASPHALT, WOOD, SLATE AND METAL SINGLE-SHAKE MATERIALS...
20. ALL PARTITIONS SHALL BE CONSTRUCTED OF 2" X 4" WOOD STUDS SPACED 16" O.C. WITH ONE LAYER OF 5/8" GYPSUM WALLBOARD...
21. THE CONTRACTOR SHALL PROVIDE ROOF VENTS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW...
22. PROVIDE ALL BLOCKING AND CUT OUTS AS REQUIRED FOR MEDICINE CABINETS, ACCESS DOORS AS REQUIRED, PLUMBING FIXTURES, H.V.A.C., ETC. VERIFY WITH ARCHITECT AND OWNER PRIOR TO START OF CARPENTRY WORK.
23. THE CONTRACTOR SHALL INSTALL 4'-0" WOOD BEAD BOARD MAINSCOT WITH DECORATIVE CAP IN THE FIRST FLOOR POWER ROOM.
24. THE CARPENTRY CONTRACTOR SHALL BE RESPONSIBLE TO THE LEVEL OF ALL FLOORS, SILLS, ETC. AND PLUMBING OF ALL WALLS, JAMBS, ETC.
25. ALL CONCEALED SPACES, PIPE SPACES AND FURRED OUT SPACES SHALL BE FIRESTOPPED TO FORM AN EFFECTIVE DRAFT BARRIER...
26. ALL VANITIES AND TOPS SHALL BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
27. ALL CLOSETS SHALL CONTAIN 1 1/2" DIAMETER CLOTHES POLE, WITH INTER-MEDIATE SUPPORTS AS NECESSARY, AND 1" X 12" PAINT GRADE PINE SHELF WITH INTER-MEDIATE SUPPORTS AS REQUIRED.
28. ALL EXTERIOR DOORS SHALL BE 1 3/4" SOLID RAISED PANEL OAK WITH HOLLOW METAL FRAMES.
29. ALL INTERIOR DOORS SHALL BE RAISED SIX PANEL SOLID STAIN GRAIN OAK 1 3/8" THICK WITH WOOD JAMBS AND CASINGS AS SELECTED BY THE OWNER.
30. ALL FINISH HARDWARE SHALL BE SUPPLIED AND INSTALLED BY THE CARPENTRY CONTRACTOR...
31. WHERE CERAMIC TILE IS NOT BEING INSTALLED THE CONTRACTOR SHALL INSTALL 3/4" OAK STRIP T&G FLOORING...
32. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT...
33. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH TWO OR MORE RISERS...
34. MASONRY: STANDARD MORTAR SPECIFICATIONS: PROVIDE PORTLAND CEMENT-LIME MORTAR TYPE "N" MORTAR...
35. FACE BRICK: ALL EXPOSED FACE BRICK, MORTAR AND BONDING SHALL BE AS SELECTED BY THE OWNER...
36. JOINTS SHALL BE UNIFORM 3/8" THICK, UNLESS SPECIFIED OTHERWISE...
37. FRACTIONAL UNITS MAY BE USED ONLY WHERE WHOLE UNITS CANNOT BE FITTED...
38. BUILT IN WORK INCLUDES SETTING ALL ANCHORS, EXPANSION JOINTS, LOOSE BEARING PLATES...
39. COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL TRADES...
40. NO MASONRY SHALL BE LAID IN FREEZING WEATHER...
41. ALL EXPOSED RETURN ARE TO BE MATCH AND CONTINUE FACE BOND.
42. THOROUGHLY CLEAN ALL MASONRY SURFACES...
43. INSULATION: BATT-TYPE INSULATION SHALL BE INSTALLED WITH OVERLAPPING INSIDE FOIL BACKED VAPOR-BARRIER COVERINGS...
44. DELIVER TO JOB SITE IN ORIGINAL PACKAGES, BEARING MANUFACTURERS NAME...
45. STUDS AND FURRING CHANNELS: 25-GAUGE COLD-ROLLED ELECTRO-GALVANIZED STEEL...
46. GYPSUM WALLBOARD: U.S. GYPSUM CO.'S FIRECODE OR REGULAR CALLED FOR...
47. SCREWS: SELF-DRILLING, CADMIUM-PLATED, 1 1/2" LENGTH.
48. CASING BEAD: STANDARD GALVANIZED STEEL OF SHAPES AND SIZES AS REQUIRED.
49. CORNER BEAD: STANDARD GALVANIZED STEEL, 1 INCH AND 1 1/4 INCH FLANGES.
50. STEEL MOLDING STRIP: STANDARD 20-GAUGE GALVANIZED STEEL...
51. JOINT TREATMENT: STANDARD GYPSUM WALLBOARD COMPOUNDS AND JOINT TAPES.
52. ACCESSORIES: JAMB AND OTHER CLIPS, SPLICE PLATES, ETC.
53. ADHESIVES: STANDARD LAMINATED ADHESIVES FOR GYPSUM WALLBOARD.

MASONRY:

- 1. STANDARD MORTAR SPECIFICATIONS: PROVIDE PORTLAND CEMENT-LIME MORTAR TYPE "N" MORTAR...
A. CEMENT (EITHER WHITE, OR GRAY NON-STAINING) SHALL CONFORM TO FEDERAL SPECIFICATIONS 95-CL&LB, TYPE II OR TYPE I.
B. LIME SHALL BE HYDRATED AND CONFORM TO THE REQUIREMENTS OF ASTM C-6-44 AND/OR FEDERAL SPECIFICATIONS 95-L-351, TYPE F.
C. SAND SHALL BE OF AN ACCEPTABLE COLOR AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-144-44 AND SHALL GRADE EVENLY AND UNIFORMLY BETWEEN THE FOLLOWING LIMITS:
A. SIEVE NO. 4 - 0%
B. SIEVE NO. 10 - 0% -1.0%
C. SIEVE NO. 100 - 45%-48%
2. ALL MASONRY WALLS SHALL BE LATERALLY SUPPORTED IN EITHER THE HORIZONTAL OR THE VERTICAL DIRECTION UNTIL FLOOR FRAMING IS IN PLACE...
3. MASONRY WALLS SHALL BE ANCHORED TO FLOOR AND ROOF SYSTEMS...
4. MASONRY TIES: WHERE HEADERS DO NOT PROVIDE EQUIVALENT WALL BOND, METAL TIES AS MANUFACTURED BY HOHMANN & BARNARD, INC. SHALL BE FURNISHED AS FOLLOWS...
5. FACE BRICK: ALL EXPOSED FACE BRICK, MORTAR AND BONDING SHALL BE AS SELECTED BY THE OWNER...
6. JOINTS SHALL BE UNIFORM 3/8" THICK, UNLESS SPECIFIED OTHERWISE...
7. FRACTIONAL UNITS MAY BE USED ONLY WHERE WHOLE UNITS CANNOT BE FITTED...
8. BUILT IN WORK INCLUDES SETTING ALL ANCHORS, EXPANSION JOINTS, LOOSE BEARING PLATES...
9. COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL TRADES...
10. NO MASONRY SHALL BE LAID IN FREEZING WEATHER...
11. ALL EXPOSED RETURN ARE TO BE MATCH AND CONTINUE FACE BOND.
12. THOROUGHLY CLEAN ALL MASONRY SURFACES...
13. INSULATION: BATT-TYPE INSULATION SHALL BE INSTALLED WITH OVERLAPPING INSIDE FOIL BACKED VAPOR-BARRIER COVERINGS...
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17. SCREWS: SELF-DRILLING, CADMIUM-PLATED, 1 1/2" LENGTH.
18. CASING BEAD: STANDARD GALVANIZED STEEL OF SHAPES AND SIZES AS REQUIRED.
19. CORNER BEAD: STANDARD GALVANIZED STEEL, 1 INCH AND 1 1/4 INCH FLANGES.
20. STEEL MOLDING STRIP: STANDARD 20-GAUGE GALVANIZED STEEL...
21. JOINT TREATMENT: STANDARD GYPSUM WALLBOARD COMPOUNDS AND JOINT TAPES.
22. ACCESSORIES: JAMB AND OTHER CLIPS, SPLICE PLATES, ETC.
23. ADHESIVES: STANDARD LAMINATED ADHESIVES FOR GYPSUM WALLBOARD.

Table with 3 columns: rev, date, remarks. Row 1: 9/20/24 ISSUED FOR FILING

PROPOSED ALTERATION FOR THE KATSIHTS RESIDENCE 78 HILLTOP DRIVE, MANHASSET, NY 11030

DIPROPERZIO & MALLIA ARCHITECTS, LLP 499 JERICHO TURNPIKE MINEOLA, NY 11501 (516) 877-7775



GENERAL NOTES

Table with 2 columns: checked by, date. Row 1: GK, 9/17/24

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11. FOLLOW MANUFACTURERS INSTRUCTIONS FOR FIRST CLASS WORKMANSHIP IN ALL RESPECTS COVERING INSTALLATION OF ALL STEEL FRAMING, AND GYPSUM WALLBOARD MATERIALS AND COMPONENTS, INCLUDING PREPARATION, LAYOUT, ALIGNMENT, USE OF POWER TOOLS, SEQUENCE OF ERECTION, TYPES AND SPACINGS OF FASTENERS, APPLICATIONS OF TAPS, JOINT COMPOUND, TAPING COMPOUND, AND FITTING AROUND MATERIALS AND ELECTRICAL ITEMS. SEAL AND TAPE ALL JOINTS, SCREW HOLES, NAIL HOLES. SUCCESSIVE APPLICATIONS (3) OF SPACKLING COMPOUND, WITH SANDING TO ACHIEVE A SMOOTH, LEVEL, TRUE SURFACE, WITHOUT WAVES, DIMPLES OR OTHER DEFECTS, READY FOR PAINTING.

12. GYPSUM WALLBOARD MATERIALS TO BE MOUNTED BY ADHESION TO FOAM BOARD INSULATION SHALL BE INSTALLED USING DOB GENERAL PURPOSE MASTIC NO. II IN STRICT ACCORD WITH MANUFACTURERS RECOMMENDATIONS FOR BEST RESULTS, INCLUDING THE USE OF MAXIMUM LENGTH GYPSUM PANELS.

#### PAINTING:

1. ALL SURFACES, EXCEPT WHERE WOOD PANELING, MASONRY, SIMULATED MASONRY CERAMIC TILE, ETC. ARE TO BE APPLIED, SHALL RECEIVE THREE (3) COATS OF BENJAMIN MOORE "REGAL" SEMI-GLOSS LATEX PAINT. COLORS AS SELECTED BY THE ARCHITECT.
2. ALL WOOD TRIM AND BEAM CASINGS SHALL RECEIVE WOOD STAIN AS MANUFACTURED BY CABOT IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. COLORS AS SELECTED.
3. PAINTING AND FINISHING TO BE APPLIED TO PROPERLY PREPARED SURFACES FREE OF DIRT, GREASE, FOREIGN SUBSTANCES, AND FREE OF SURFACE DEFECTS. ALL SURFACES FOR FINISH SHALL BE COMPLETELY DRY, WITH EACH SUCCEEDING COAT APPLIED AFTER THE PRECEEDING ONE HAS BEEN ALLOWED TO THOROUGHLY DRY AND CURE.
4. ALL ADJACENT WORK AND MATERIALS SHALL BE PROTECTED BY THE CONTRACTOR AGAINST SOILING AND DAMAGE DURING THE PAINTING OR FINISHING OPERATION AND HE SHALL THEREFORE BE SOLELY RESPONSIBLE FOR RESTORING ORIGINAL SURFACES IN ANY WAY ADVERSELY AFFECTED BY HIS WORK.
5. ALL MATERIALS SHALL BE DELIVERED TO THE PREMISES IN UNBROKEN ORIGINAL CONTAINERS BEARING MANUFACTURERS NAME AND SPECIFICATIONS. ALL MATERIALS SHALL BE STORED AND MIXED (AS REQUIRED) IN A "CONTROLLED" JOB SITE STORE ROOM DESIGNATED FOR SUCH PURPOSES. CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO ENSURE FIRE SAFETY IN CONFORMITY WITH CONTROLLING ORDINANCES AND OWNERS INSURANCE AGENT.
6. START OF WORK BY APPLICATOR WILL CONSTITUTE HIS ACCEPTANCE OF THE RECEIVING SURFACES AND SINCE THIS CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR THE QUALITY AND END RESULT OF HIS WORK, HE SHALL ADVISE THE ARCHITECT IN WRITING OF ANY CONDITIONS THAT WOULD IN HIS JUDGEMENT ADVERSELY AFFECT HIS WORK. HE SHALL NOT PROCEED UNTIL CONDITIONS HAVE BEEN RECTIFIED OR HE HAS BEEN DIRECTED BY THE ARCHITECT IN WRITING TO PROCEED.
7. PAINT AND STAIN SHALL BE PREDETERMINED ON THE BASIS OF APPROVED SAMPLES. ALL FINISHING, PAINTING, OR COATING SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT.
8. ALL RUBBISH, WASTE, OR SURPLUS MATERIAL SHALL BE REMOVED FROM TIME TO TIME, AND ALL WOODWORK, HARDWARE, FLOORS OR ADJACENT WORK SHALL BE CLEANED.
9. ALL GLASS, HARDWARE, CABINETS, PLUMBING FIXTURES, TILE, ETC. THROUGHOUT THE BUILDING SHALL HAVE ALL PAINT OR VARNISH SPOTS AND BRUSH MARKS REMOVED, AND UPON COMPLETION OF THE PAINTING WORK, ALL GLASS, HARDWARE, CABINETS, PLUMBING FIXTURES, TILE, ETC. THAT IS SCRATCHED OR DAMAGED BY THE PAINTERS WORK OR WHILE CLEANING OFF THE PAINT FROM THE GLASS SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. HARDWARE AND OTHER UNPAINTED METAL SURFACES SHALL BE CLEANED.

#### EXTERIOR WINDOWS AND GLASS DOORS:

1. ALL EXTERIOR WINDOWS AND GLASS DOORS SHALL BE DESIGNED TO RESIST THE DESIGN WIND LOADS SPECIFIED IN TABLE R301.2(4)B ADJUSTED FOR HEIGHT AND EXPOSURE PER TABLE R301.2(1). UNITS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AMERICAN STANDARDS A1188.2.
2. WINDOW AND GLASS DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED.
3. ALL SLEEPING ROOMS AND HABITABLE SPACES LOCATED IN BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MAXIMUM SILL HEIGHT OF 44 INCHES ABOVE THE FLOOR, MINIMUM 5.7 SQUARE FOOT NET AREA, MINIMUM 24 INCH CLEAR HEIGHT AND MINIMUM 20 INCH CLEAR WIDTH.
4. IN HIGH WIND BORNE DEBRIS AREAS WITHIN ONE MILE OF THE COASTAL MEAN HIGH WATER LINE, AS DETERMINED BY THE LOCAL MUNICIPALITY, THE CONTRACTOR SHALL FURNISH WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" AND MAXIMUM SPAN OF 8'-0" FOR EACH WINDOW. PROVIDE STAINLESS STEEL CLIPS FOR WINDOWS FASTENED IN ACCORDANCE WITH TABLE R301.2(1.2) OF THE CODE. EACH PANEL SHALL BE CLEARLY IDENTIFIED AND STORED ON SITE.
5. ALL GLAZING WITHIN HAZARDOUS AREAS SUCH AS DOORS, GLAZING ADJACENT TO DOORS, WINDOWS, GUARDS AND RAILINGS, MET SURFACES, BATH TUBS, STAIRS AND RAMPS ETC. SHALL BE TEMPERED GLASS AS PER R308.4 OF THE RESIDENTIAL CODE.

#### H.V.A.C.:

1. ALL SYSTEMS AND WORK SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTERS 12 THROUGH 23 OF THE RESIDENTIAL CODE OF NEW YORK STATE, ALL LOCAL RULES AND REGULATIONS AND AS SPECIFIED BY THE LATEST EDITION OF THE NATIONAL FIRE PROTECTION ASSOCIATION.
2. ALL MECHANICAL SYSTEMS, EQUIPMENT, APPLIANCES, ETC. MUST BE LISTED AND LABELED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS, LISTING/LABEL AND THE CODE.
3. ALL FUEL GAS SPACE HEATING APPLIANCES IN RESIDENTIAL BUILDINGS SHALL BE EQUIPPED WITH A FLAME SAFEGUARD DEVICE WHICH WILL SHUT OFF THE FUEL SUPPLY TO THE BURNER WHEN THE FLAME OR PILOT LIGHT IS EXTINGUISHED.
4. ALL KITCHEN EXHAUST DUCT SYSTEM SHALL BE INSTALLED AS PER THE LATEST EDITION OF THE NATIONAL FIRE PROTECTION ASSOCIATION PUBLICATION "VAPOR REMOVAL FROM COOKING EQUIPMENT".
5. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, AFFIDAVITS CERTIFICATES, ETC., AS REQUIRED BY THE LOCAL AUTHORITIES AND FIRE UNDERWRITERS AND PAY ALL FEES FOR SUCH.
6. ALL EQUIPMENT SHALL PERFORM IN ACCORDANCE WITH TABLE N103.1 OF THE CODE.
7. ALL HVAC PIPING SHALL BE INSULATED IN ACCORDANCE WITH TABLE N103.5.
8. DOMESTIC HOT WATER HEATING EQUIPMENT SHALL BE SUBJECT TO THE MINIMUM FEDERAL STANDARDS AS PER CHAPTER 28 AS APPLICABLE.
9. MAINTAIN CLEARANCES BETWEEN ALL EQUIPMENT AND COMBUSTIBLE CONSTRUCTION AS PER M1306 AND TABLE M1306.2.

#### ELECTRICAL:

1. PRIOR TO THE START OF THE WORK THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE IF ANY EXISTING ELECTRICAL POWER LINES ARE LOCATED WITHIN 10 FEET OF THE WORK, OR FURTHER IF JOB CONDITIONS WARRANT. IN THE EVENT THAT SUCH ELECTRICAL POWER LINES ARE LOCATED WHICH MAY CAUSE INJURY TO ANY OF THE WORKERS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LOCAL POWER COMPANY TO DE-ENERGIZE THE SERVICE UNTIL ALL WORK IS COMPLETED.
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH PART VIII OF THE RESIDENTIAL CODE OF NEW YORK STATE.
3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, AFFIDAVITS, CERTIFICATES, ETC. AND PAY ALL FEES AS REQUIRED BY THE LOCAL AUTHORITIES AND FIRE UNDERWRITERS OR AN ELECTRICAL INSPECTION AGENCY APPROVED BY THE LOCAL MUNICIPALITY.
4. THE MINIMUM LOAD FOR UNGROUNDED SERVICE CONDUCTORS AND SERVICE DEVICES THAT SERVE 100 PERCENT OF THE DWELLING UNIT LOAD SHALL BE COMPUTED IN ACCORDANCE WITH TABLE E3602.2.
5. WIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE E3601.2, ALLOWABLE APPLICATIONS FOR WIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE 3701.4, GENERAL INSTALLATION AND SUPPORT REQUIREMENTS FOR WIRING METHODS SHALL BE IN ACCORDANCE WITH TABLE E3601.2.
6. THE CONTRACTOR SHALL PROVIDE RECEPTACLES SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE.
7. ALL NEW FIXTURES SHALL BE AS SELECTED BY THE OWNER, FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
8. ALL CEILING FIXTURES SHALL BE SWITCHED WITH DIMMER SWITCHES. WHERE MULTIPLE SWITCHES MAY BE REQUIRED CONTRACTOR IS TO INSTALL "GANG" TYPE UNITS.
9. ALL BATH, TOILET, KITCHEN AND GARAGE OUTLETS SHALL BE GROUND-FAULT-INTERRUPTER PROTECTED DEVICES.
10. THE CONTRACTOR SHALL OBTAIN FIRE UNDERWRITERS OR OTHER ELECTRICAL INSPECTION AGENCY APPROVED BY THE LOCAL MUNICIPALITY UPON COMPLETION OF HIS WORK.

#### SMOKE DETECTION:

1. SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 314 OF THE CODE. UNITS SHALL BE HARDWIRED WITH BATTERY BACKUP. WHERE WORK IS BEING PERFORMED IN AN EXISTING SPACE WHERE ACCESS FOR WIRING IS NOT PRACTICAL BATTERY OPERATED UNITS MAY BE INSTALLED WITHOUT WIRING.
2. A MINIMUM OF ONE SMOKE DETECTOR SHALL BE INSTALLED FOR EACH STORY AND A MINIMUM OF ONE UNIT INSIDE AND OUTSIDE OF EACH BEDROOM SHALL BE INSTALLED.
3. WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED THE UNITS SHALL BE INTERCONNECTED.

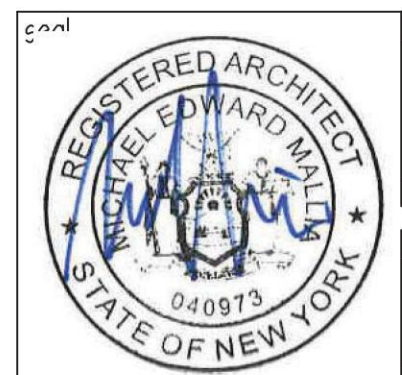
#### CARBON MONOXIDE DETECTION:

1. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R315 OF THE RESIDENTIAL CODE ON ANY LEVEL WHERE THERE FUEL-FIRED APPLIANCES AND EQUIPMENT IS INSTALLED AND ON ANY STORY CONTAINING A SLEEPING AREA.
2. WHERE MORE THAN ONE DETECTOR IS BEING INSTALLED THE UNITS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS WITHIN THE DWELLING UNIT.
3. ALL ALARMS SHALL BE LISTED AND LABELED AS COMPLYING WITH UL 2034 OR CAN/CSA 6.19 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THIS CODE.

	9/20/24	ISSUED FOR FILING
rev	date	remarks

**PROPOSED ALTERATION  
FOR  
THE KATSIHIS RESIDENCE  
18 HILLTOP DRIVE, MANHASSET, NY 11030**

**DIPROPERZIO & MALLIA  
ARCHITECTS, LLP**  
499 JERICHO TURNPIKE  
MINEOLA, NY 11501 (516) 877-7775



#### GENERAL NOTES

drawn by:	GK	file:	24-76
checked by:	MM	scale:	AS NOTED
date:	9/17/24	page:	8 of 8

dob. approval stamp

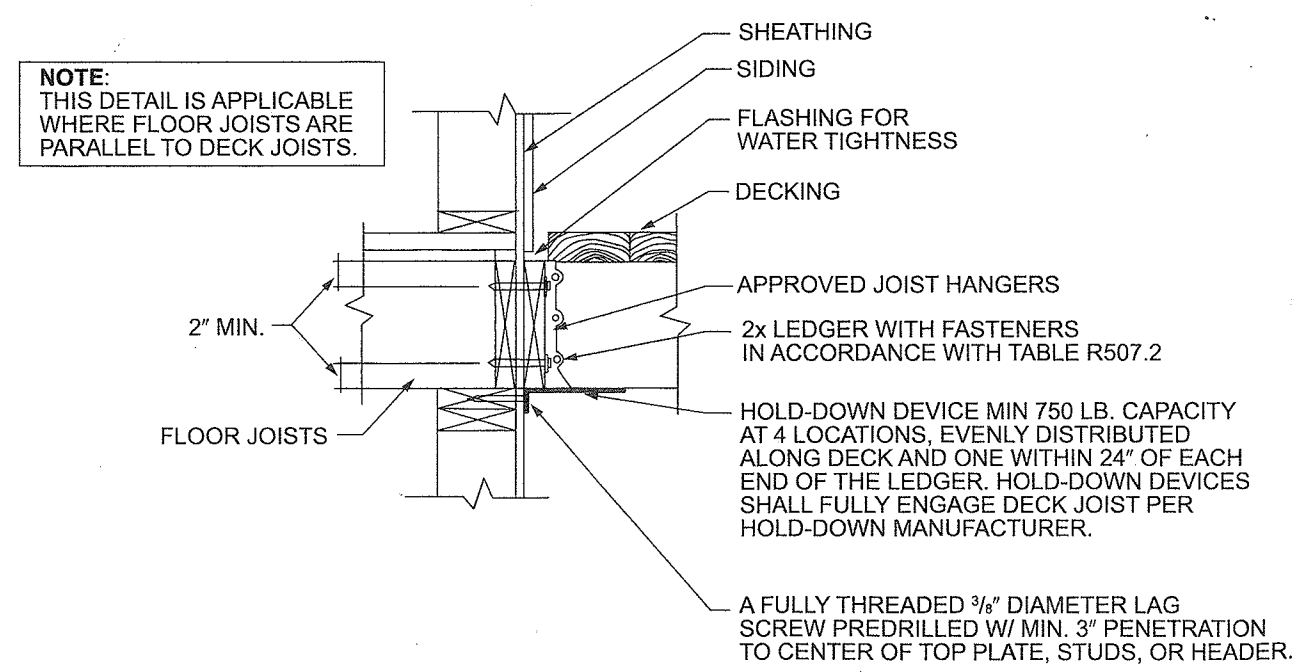
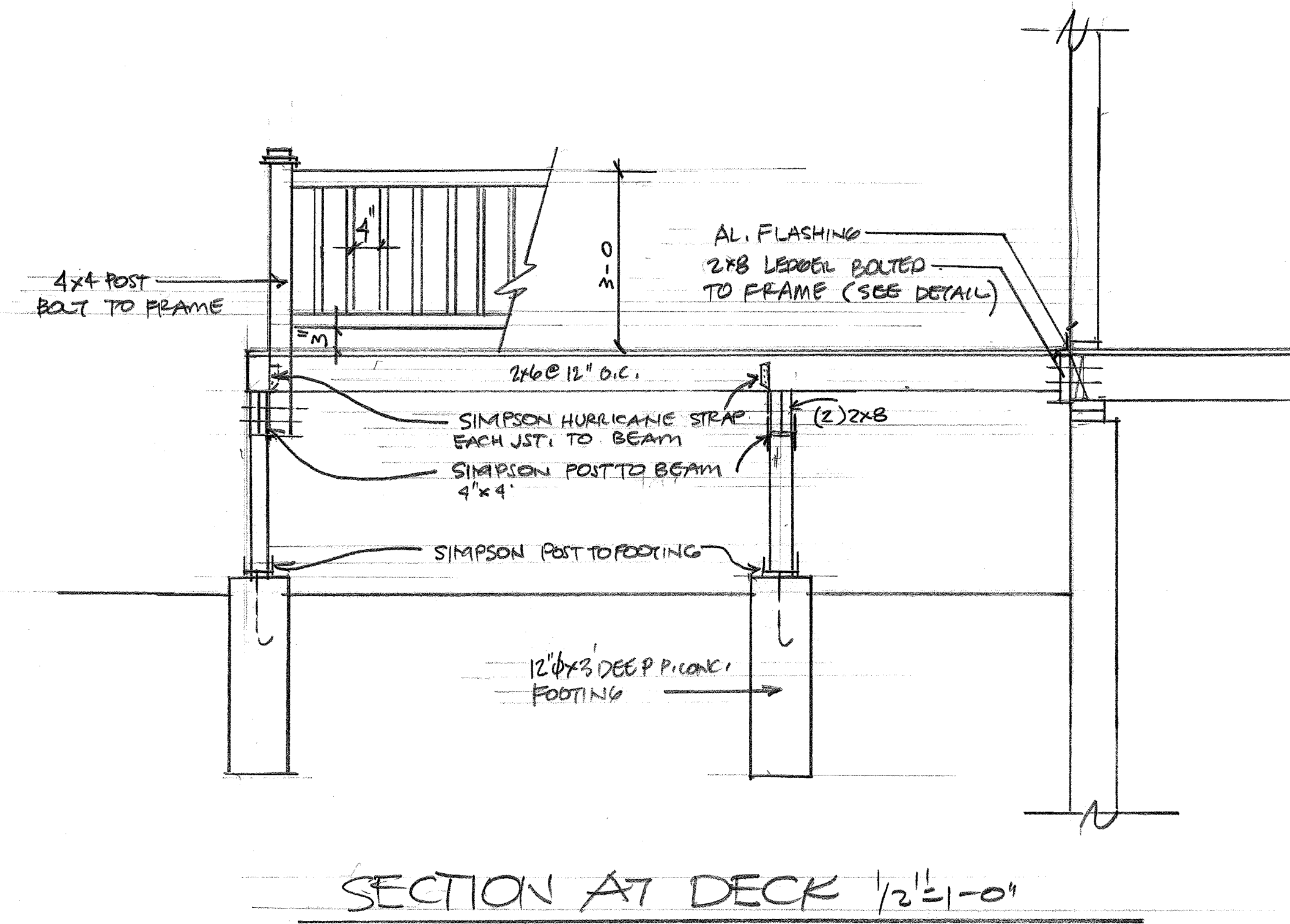
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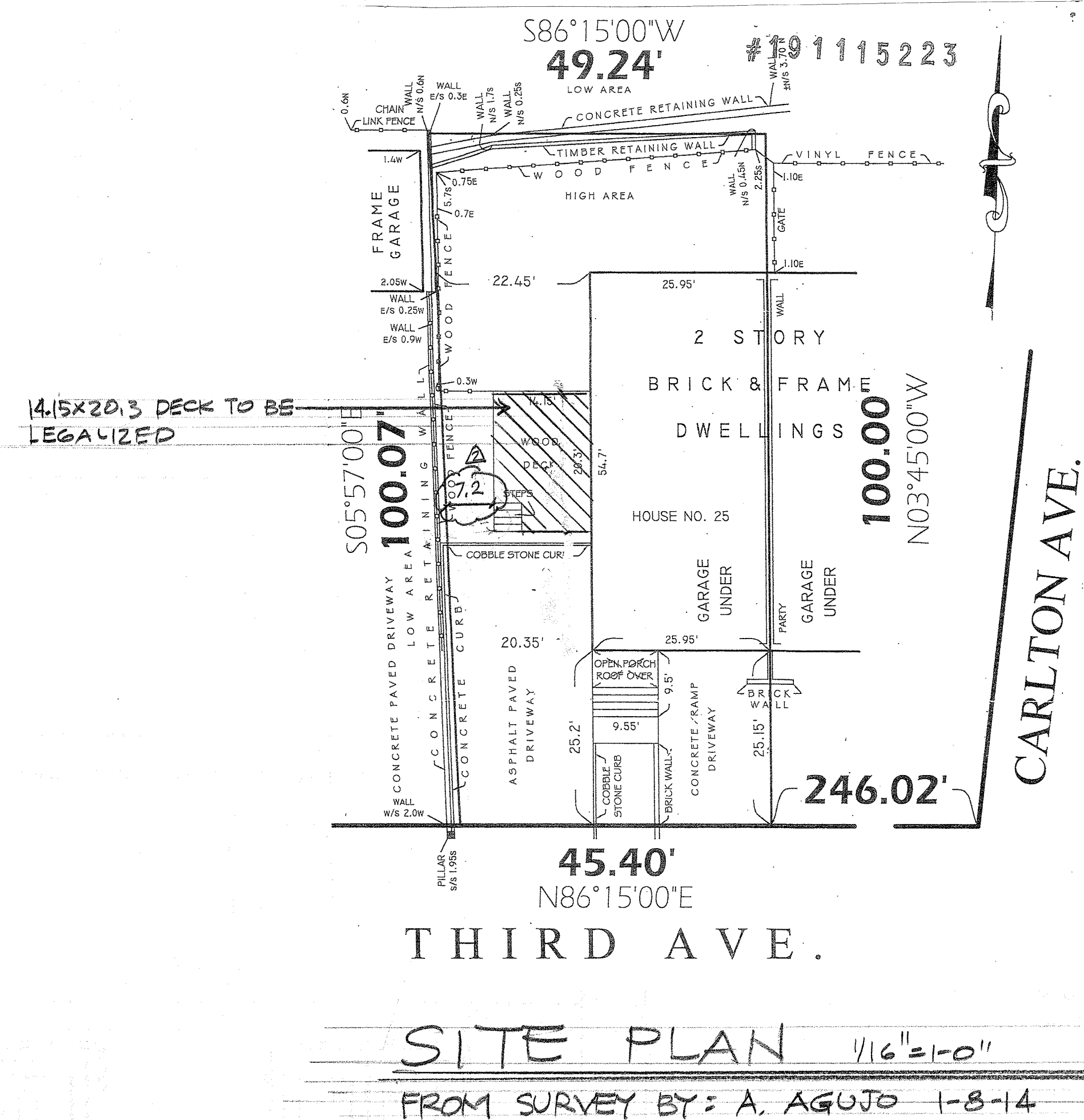
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For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

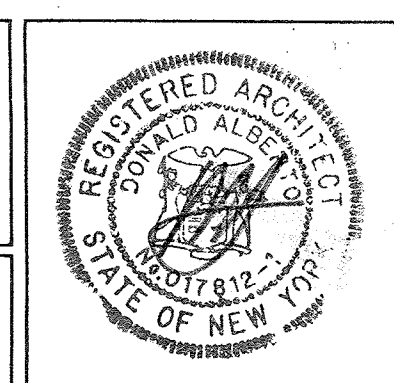


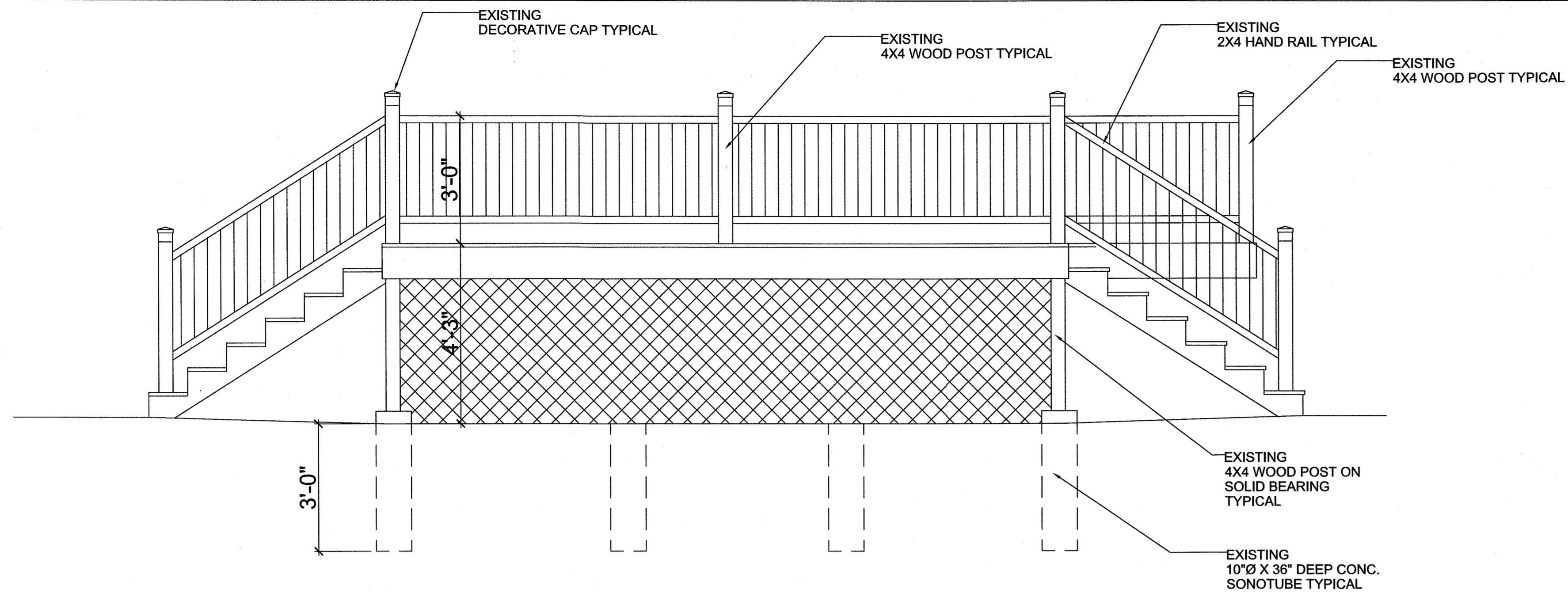
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drawing	SITE PLAN, SECTION	
number	own by	scale
A-1	DA	
job no.	date	
22-14	5-15-22	

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revisions  
12-21-22  
2-23-23

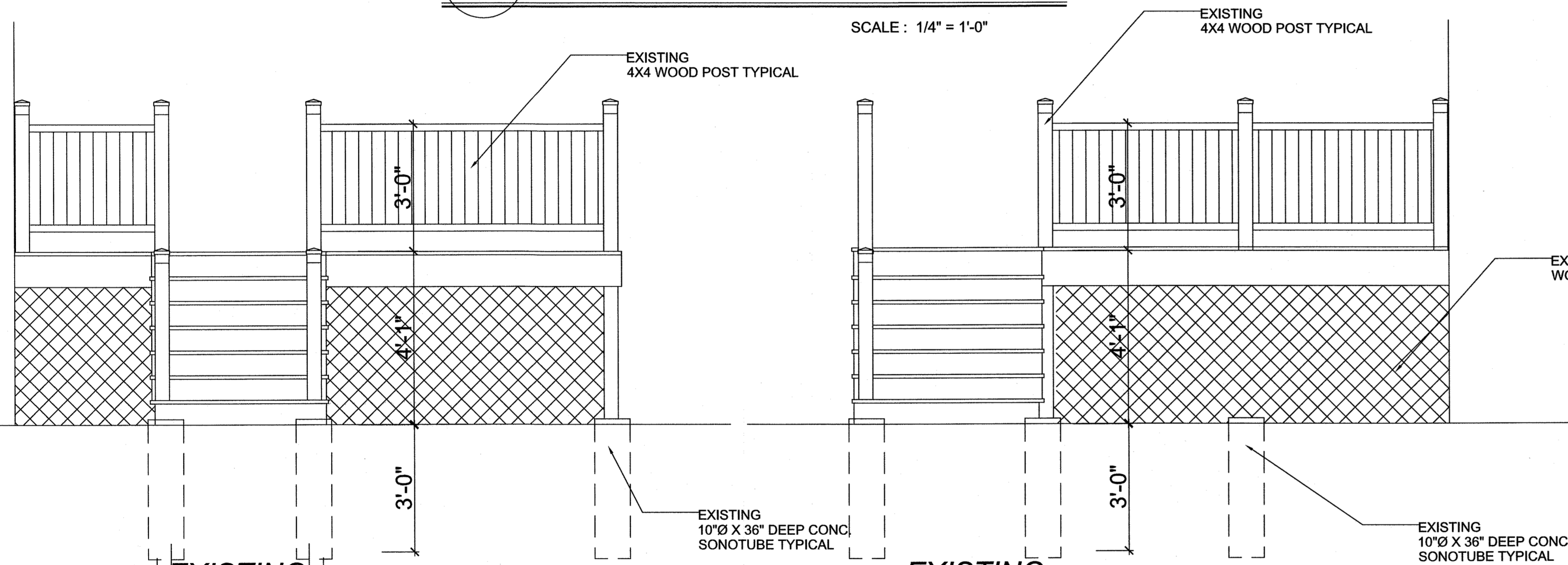
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**6** EXISTING LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

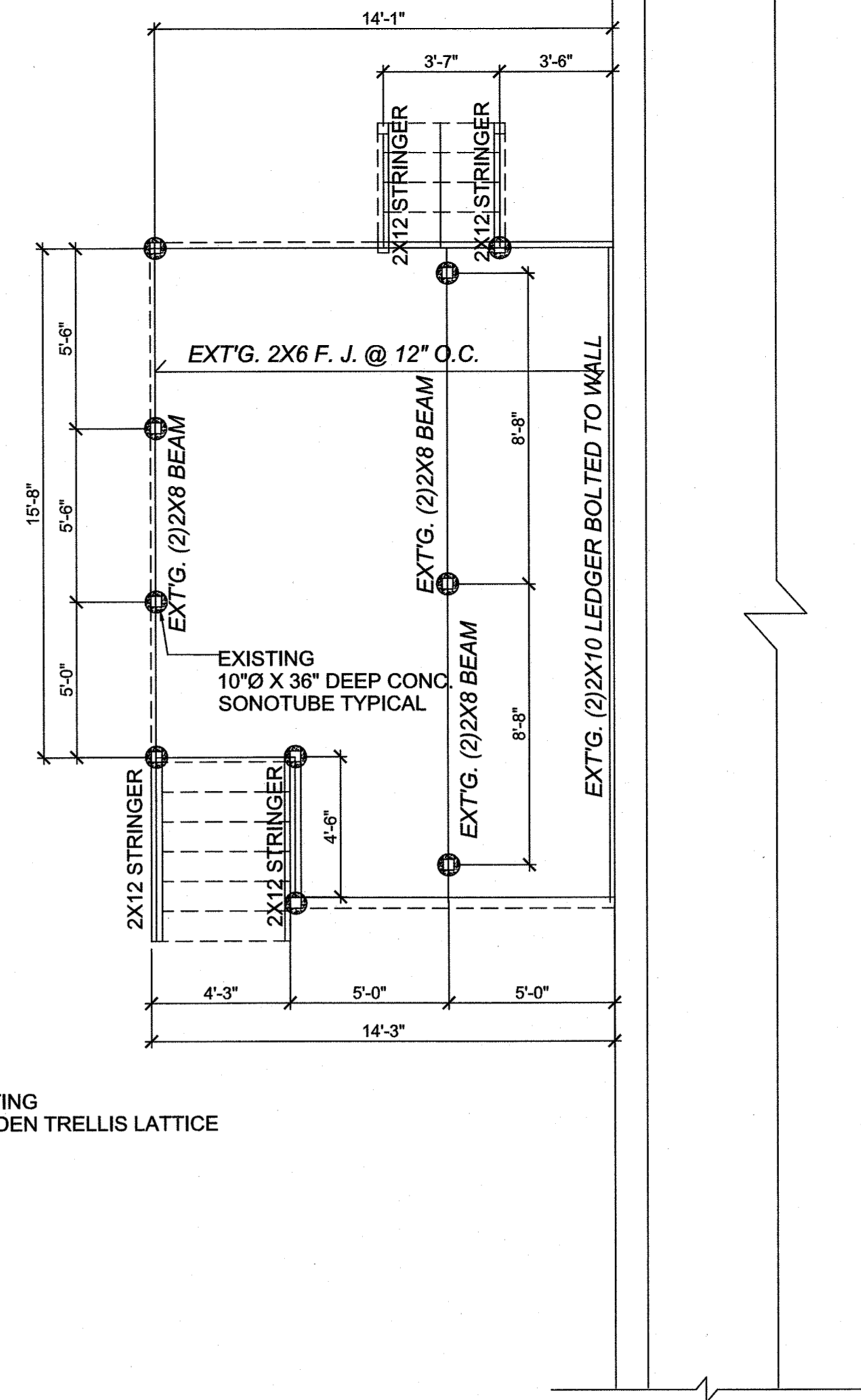


**5** EXISTING REAR ELEVATION

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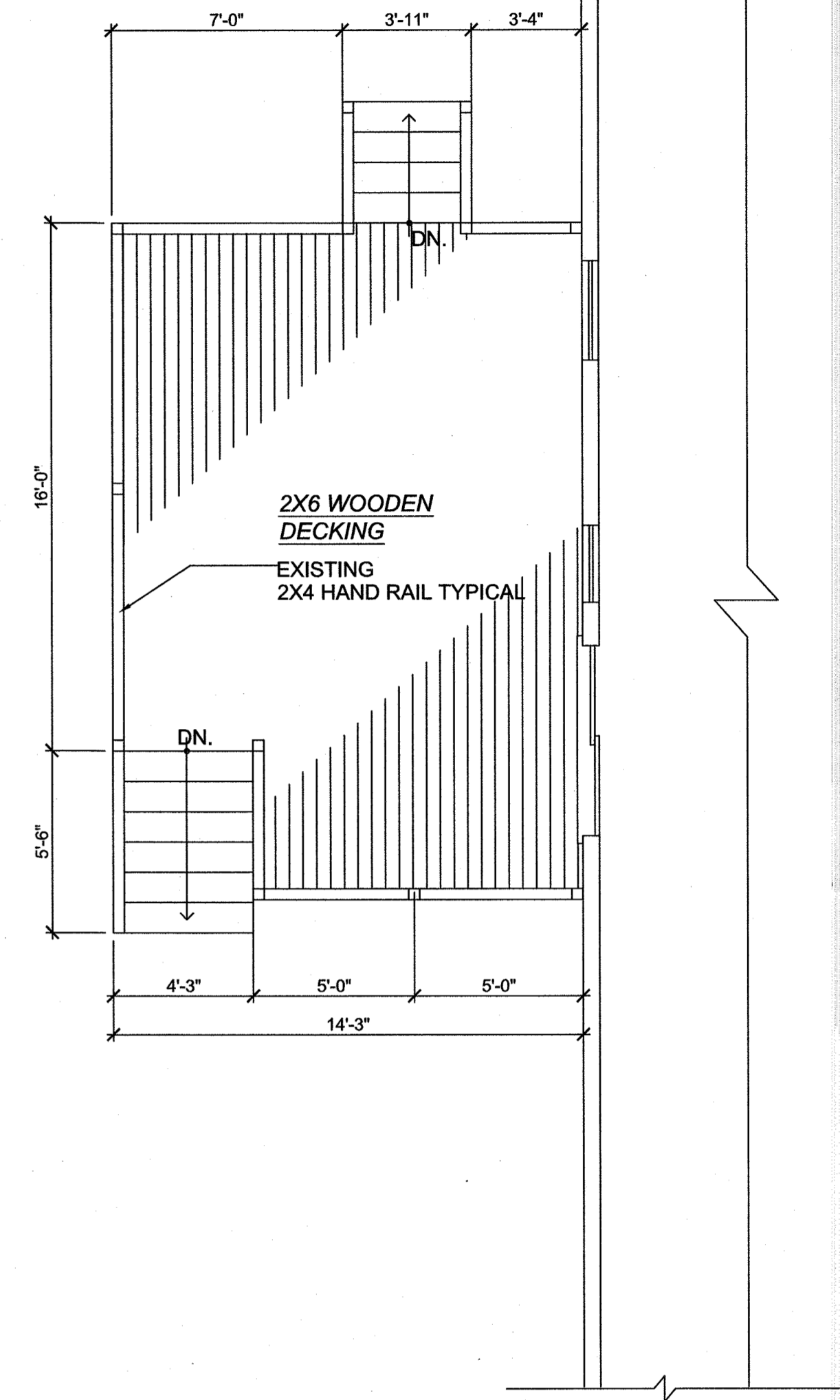
**4** EXISTING FRONT ELEVATION

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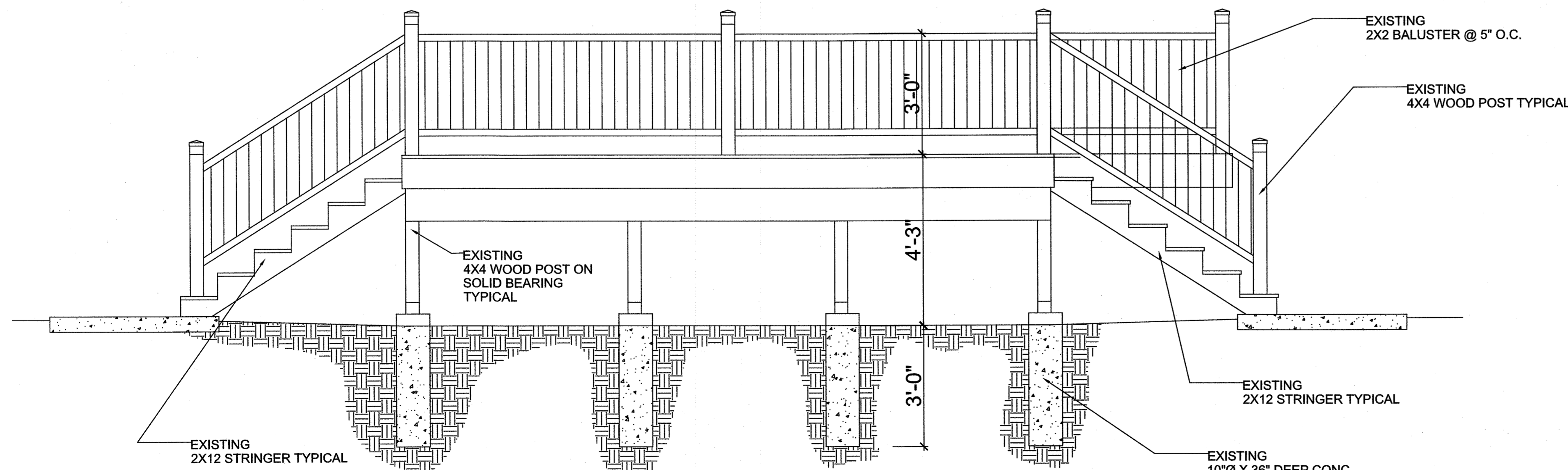
**1** EXISTING STRUCTURE WOODEN DECK PLAN

SCALE: 1/4" = 1'-0"



**2** EXISTING WOODEN DECK PLAN

SCALE: 1/4" = 1'-0"



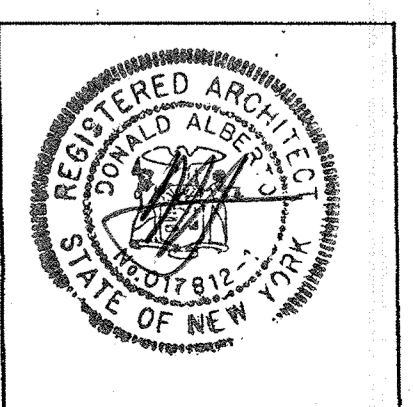
**3** EXISTING LONGITUDINAL SECTION

**LEGALIZATION OF AN EXISTING WOODEN DECK**

project	25 3rd AVENUE, GLEN COVE, N.Y. 11542		
drawing	EXISTING WOODEN DECK		
number	A-2	drawn by	JB
job no.	#22-14	scale	AS NOTED
		date	5 - 15 - 2022

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revisions  
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# #21624

**John F. Capobianco**  
 Architect - Interior Design - Planning - A.I.A.  
 199 Doughty Boulevard, Inwood, NY 10986  
 (616) 239-8775

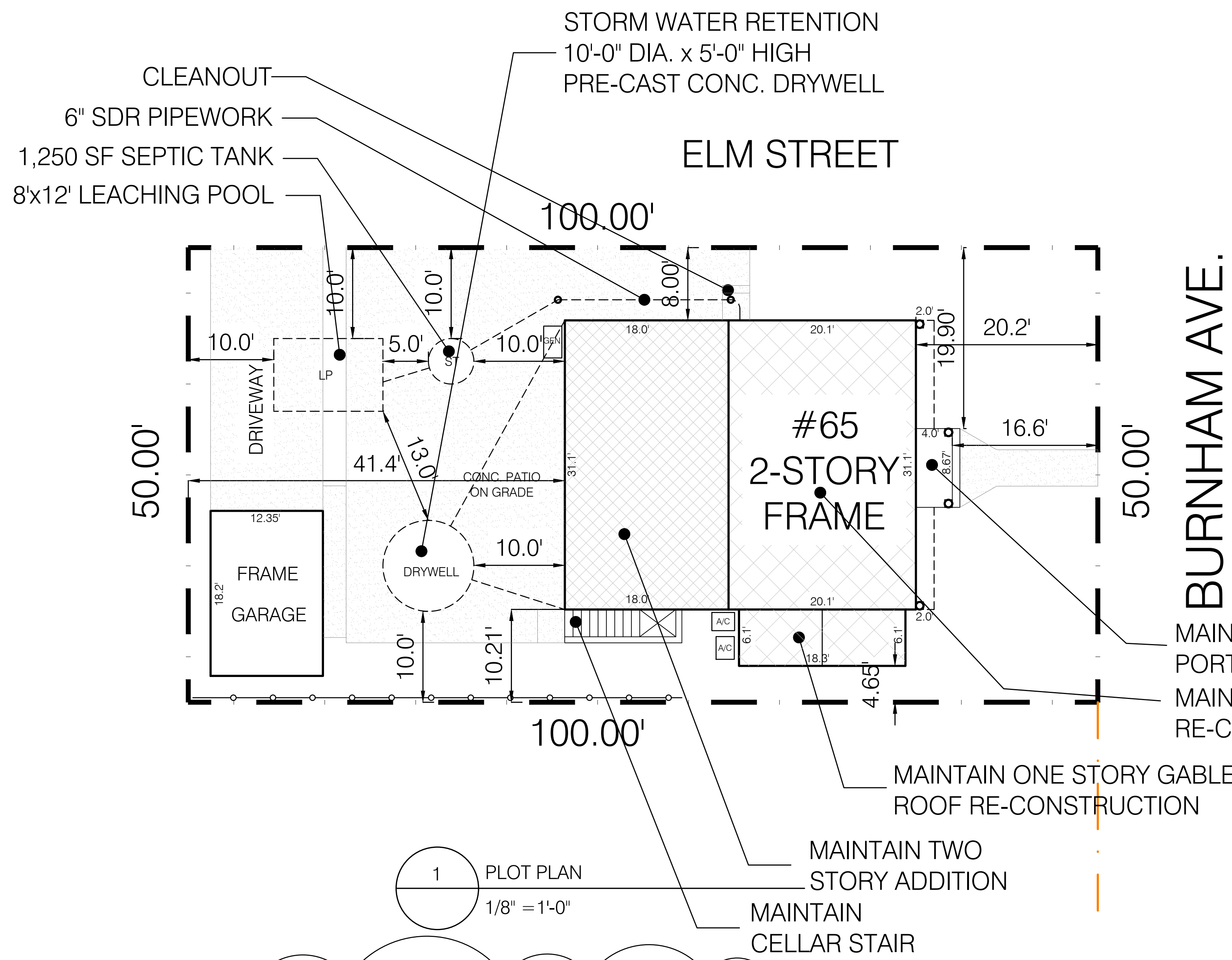
BY	REVISIONS	DATE
1	OBJECTIONS	8/6/24

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**GOMEZ RESIDENCE**  
 MAINTAIN 2 STY. ONE FAMILY RES. ON NEW & EXIST FOUND.  
 65 BURNHAM PLACE  
 ROSLYN HEIGHTS, NY



TITLE	
DATE	7-20-24
SCALE	AS NOTED
DRAWN BY	CHECKED BY
JOB #	DRAWING #
	1 OF



1 PLOT PLAN  
 1/8" = 1'-0"

**DRAINAGE CALCULATIONS: (FOR ALL IMPERVIOUS SURFACES)**  
 (DESIGN FOR 2.5" RAINFALL)

ROOF AREA=3,216.5 SF (SEE CALCULATIONS BELOW)  
 3,216.5 x 2.5/12= 670.1 CU. FT. REQUIRED

(1)10'-0" W x 5'-0" H DRYWELL PROVIDED = 342.05 CU. FT. < 670.1 CU. FT. **\*VARIANCE REQUIRED\***

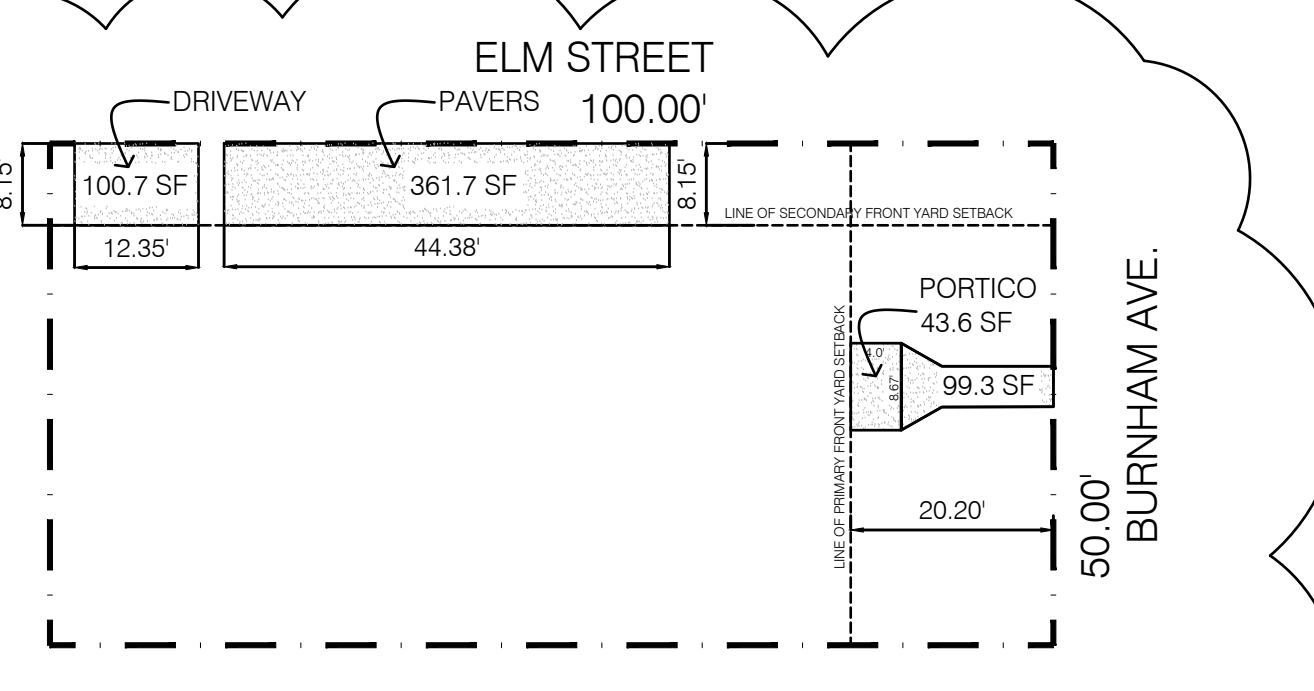
**IMPERVIOUS AREA CALCULATIONS:**  
 MAIN 2 STORY HOUSE=38.1' x 31.1'= 1,184.91 SF  
 ONE STORY SIDE ADDITION=6.1' x 18.3'=111.63 SF  
 PORTICO=8.67' x 4'= 34.68 SF  
 GARAGE= 18.2' x 12.35'= 224.8 SF  
 PAVER PATIO= 1,136.2 SF + 65 SF= 1,201.2 SF  
 PAVER WALK= 99.3 SF  
 PAVER DRIVEWAY= 360 SF

**TOTAL= 3,216.5 SF**

- HEADER SCHEDULE UNLESS OTHERWISE NOTED:**
1. WALL OPENINGS UP TO 36"= 2- 2 x 8
  2. WALL OPENINGS UP TO 36" TO 48"= 2- 2 x 10
  3. WALL OPENINGS UP TO 48" TO 72"= 2- 2 x 12
  4. WALL OPENINGS UP TO 72" TO 96"= 3 1/2" x 9 1/4" MICROLAM

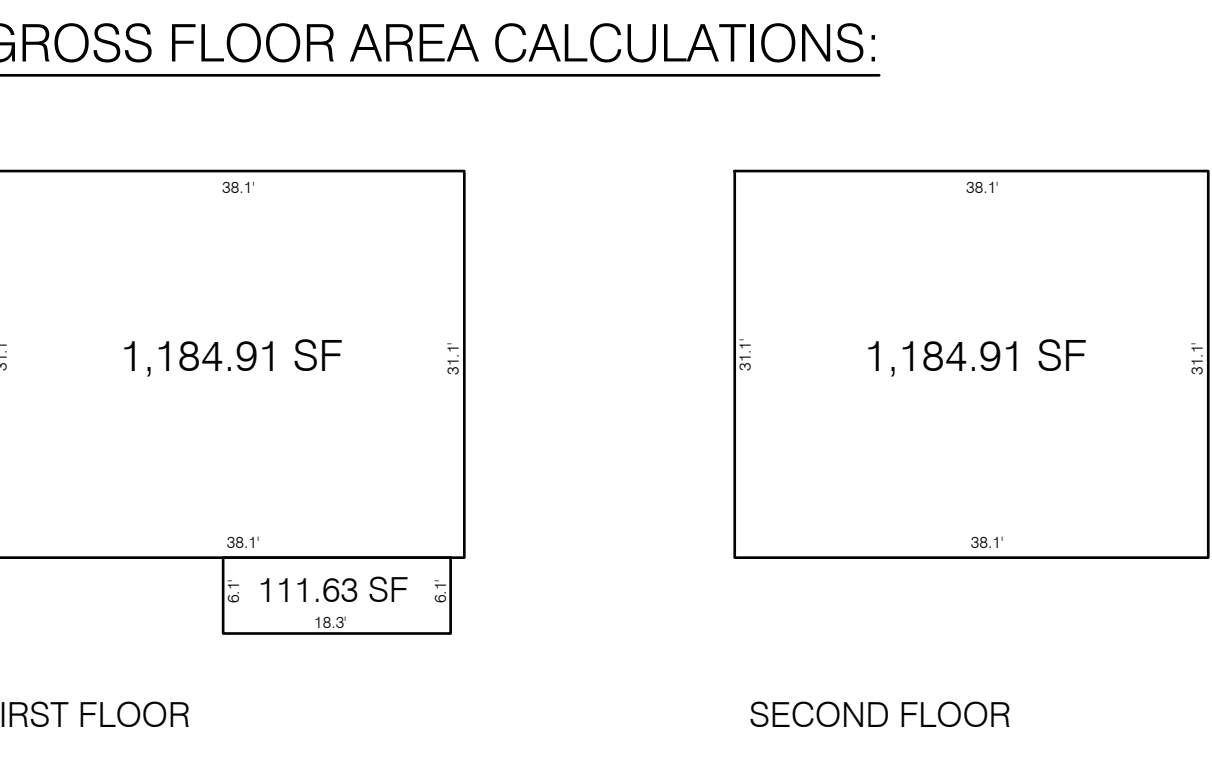
**CONSTRUCTION LEGEND:**

- EXISTING TO BE DEMOLISHED
- EXISTING WALL PARTITION
- NEW INTERIOR PARTITION. 2"x4" WOOD STUDS (KD DOUG. FIR #2 MIN-SIZE AS NOTED ON PLANS.) @ 16" O.C. ENCLOSED BY 5/8" GYPSUM BOARD EACH SIDE
- NEW EXTERIOR WALL. 2"x4" STUDS (KD DOUG. FIR #2 MIN-SIZE AS NOTED ON PLANS.) @ 16" O.C. WITH BATT INSULATION. ENCLOSED BY 5/8" GYPSUM BOARD INTERIOR, AND 3/4" D.F. PLYWOOD SHEATHING AND 1" RIGID INSULATION AND SIDING EXTERIOR
- 12" P.C CONCRETE FOUNDATION WALL ON 12" X 24" P.C. CONCRETE FOOTING. (MIN 3 FT. BELOW GRADE) 3,500 P.S.I. MIN. 28 DAY CURING PERIOD PRIOR TO SUPERIMPOSED DEAD LOADS ARE INSTALLED.



**PRIMARY FRONT YARD PAVING CALCULATIONS:**  
 FRONT PORTICO= 43.6 SF  
 PAVER WALK ON BURNHAM AVE.=99.3 SF  
 TOTAL= 142.9 SF

**SECONDARY FRONT YARD PAVING CALCULATIONS:**  
 FRONT PAVERS ON ELM STREET= 361.7 SF  
 PAVER DRIVEWAY= 100.7 SF  
 TOTAL= 462.4 SF



CODE INFORMATION	INDEX
APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS, * CONSTRUCTION CRITERIA OF THE OWNER, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE OWNER'S CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE OWNER'S CONTRACTOR(S). APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:  2020 NEW YORK STATE RESIDENTIAL CODE  LOCAL TOWN OF NORTH HEMPSTEAD	COVER SHEET C-1 GENERAL NOTES C-2 AIR SEALANT DETAILS C-3 HURRICANE DETAILS C-4 FOUNDATION PLAN A-1 FIRST FLOOR PLAN SECOND FLOOR PLAN ELEVATIONS A-2 ROOF PLAN, SECTION, PLUMBING A-3 RISER, SKY EXPOSURE PLANE

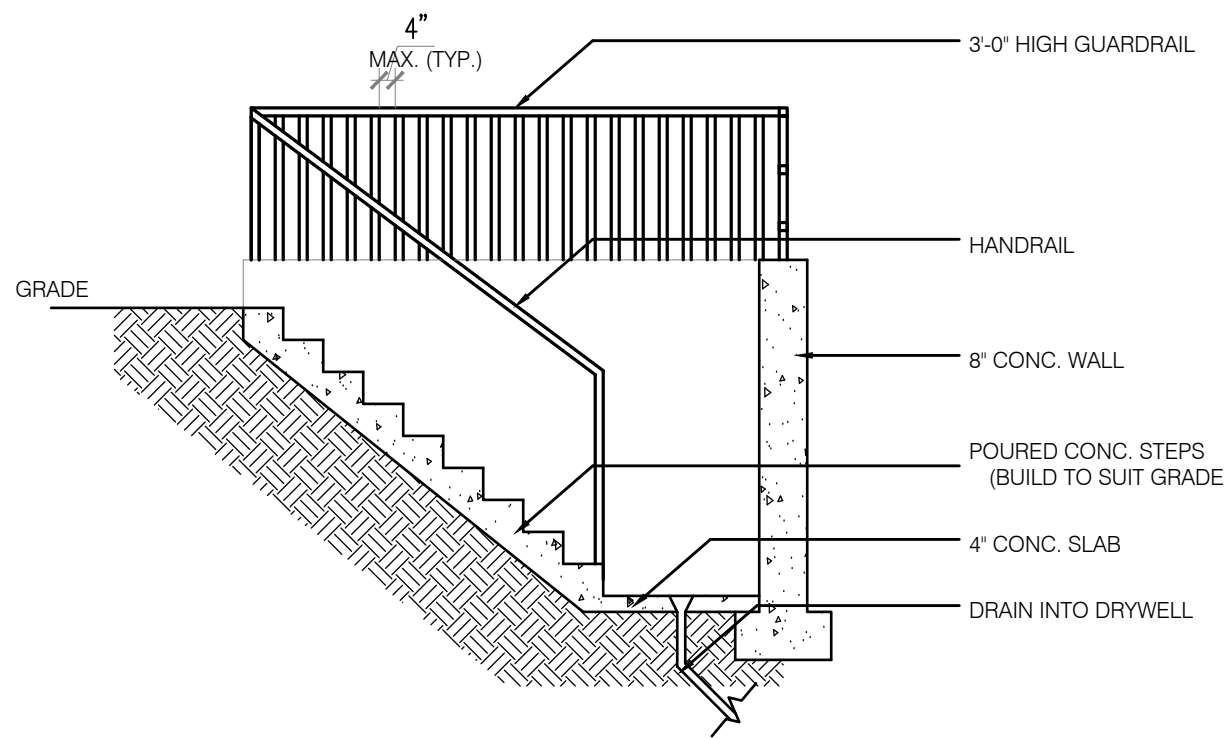
ELECTRICAL LEGEND:			
75 CFM EXHAUST FAN VENTED DIRECTLY TO EXTERIOR	4 WAY SWITCH	84" HIGH LAMP POST	
75 CFM EXHAUST FAN VENTED DIRECTLY TO EXTERIOR WITH LIGHT	SMOKE DETECTOR HARD WIRED & INTERCONNECTED.	18" HIGH PATH LIGHTS	
PENDANT LIGHTING	CARBON MONOXIDE DETECTOR HARD WIRED & INTERCONNECTED.	SPOT LIGHTS	
RECESSED LIGHTING FIXTURE	EXIT SIGN UNIVERSAL MOUNT	GARDEN SPOT LIGHTS	
120 VOLT OUTLET	EXIT SIGN CEILING MOUNT	2X4 FLUORESCENT LIGHT	
240 VOLT OUTLET	EXIT SIGN RECESS CEILING MOUNT	2X2 FLUORESCENT LIGHT	
DISTANCE ABOVE FINISHED FLOOR	SURFACE MOUNTED EMERGENCY LIGHT	JUNCTION BOX	
GROUND FAULT INTERRUPT OUTLET	CEILING HEIGHT	60 AMP SERVICE WITH DIRECT DISCONNECT	
120 VOLT OUTLET TO SWITCH	GAS METER	COAX	
SWITCH	WATER METER	TELEPHONE	
3 WAY SWITCH	ELECTRIC METER	TELEPHONE /RJ45 (ETHERNET) COMBO	
	WALL PENDANT	RJ45 (ETHERNET)	
		SHUTOFF VALVE	

ABBREVIATIONS			
ANGLE	COL. CONC.	COLUMN CONCRETE CONSTRUCTION	FL. FLUR. FLOOR.
AT CHANNEL	CONSTR. CONTR. CONT.	CONSTRUCTION CONTINUOUS	F.F. FLOOR FINISH
DIAMETER OR ROUND PERPENDICULAR	CONSTR. CONT.	CONSTRUCTION CONTINUOUS	FND. FOUNDATION
NUMBER OR ROUND	CTL. JT. C.T.	CONTROL JOINT CERAMIC TILE	FT. FEET
ADJ. ADJACENT	DBL. DEMO.	DOUBLE HUNG DEMOLITION	FTG. FOOTING
ABOVE FINISHED FLOOR	D.H. DIA.	DOUBLE HUNG DIAMETER	G. GAS
ALUM. ALUMINUM	DIA. DIM.	DIAMETER DIMENSION	GA. GAUGE
ANCH. ANCHOR	DN. DOWN	DOWN	GALV. GALVANIZED
AS SELECTED BY OWNER	DWG. DRAWING	DRAWING	GEN. GEN. GENERAL CONTRACTOR
AVERAGE BOARD	EA. EACH	EACH	GL. GLASS
BLDG. BUILDING	EA. EACH	ELECTRIC ELEVATION	GWB. GYPSUM WALL BOARD
BLK. CONCRETE BLOCK	EL. ELEV.	ELEVATION	GYP. BD. GYPSUM BOARD
BRG. BEARING	EL. ELEV.	ELEVATION	H.B. HOSE BIBB
B.V. BLOCK VENT	EQIP. EQUIP.	EQUIPMENT	H.C. HOLLOW CORE
CAB. CABINET	EXIST. EXIST.	EXISTING	HDR. HEADER
CATH. CATHEDRAL	EXP. EXP.	EXPANSION	H.M. HOLLOW METAL
C.F. CAST IRON	EXP. JT. EXP. JOINT	EXPANSION JOINT	H.M.U. HOLLOW MASONRY UNIT
C.I. CEILING JOIST	EXT. EXT.	EXTERIOR	HR. HORIZONTAL
C.L. CENTER LINE	F.D. FIN. FINISH	FLOOR DRAIN FINISH	HT. HEIGHT
CLOS. CLOSET	FIN. FIN.	FINISH	HW. HOT WATER
CLR. CLEAR	F.D. FIN. FINISH	FLOOR DRAIN FINISH	INS. INSULATION
C.M.U. CONC. MASONRY UNIT	F.J. FIN. FINISH	FLOOR JOIST	J.B. JUNCTION BOX
C.O. CLEAN OUT	F.J. FIN. FINISH	FLOOR JOIST	LAV. LAVATORY
			LIN. LINEN
			LVL. LAMINATED VENEER LUMBER









**EXTERIOR STAIR DETAIL**

SCALE = 1/4" = 1'-0"

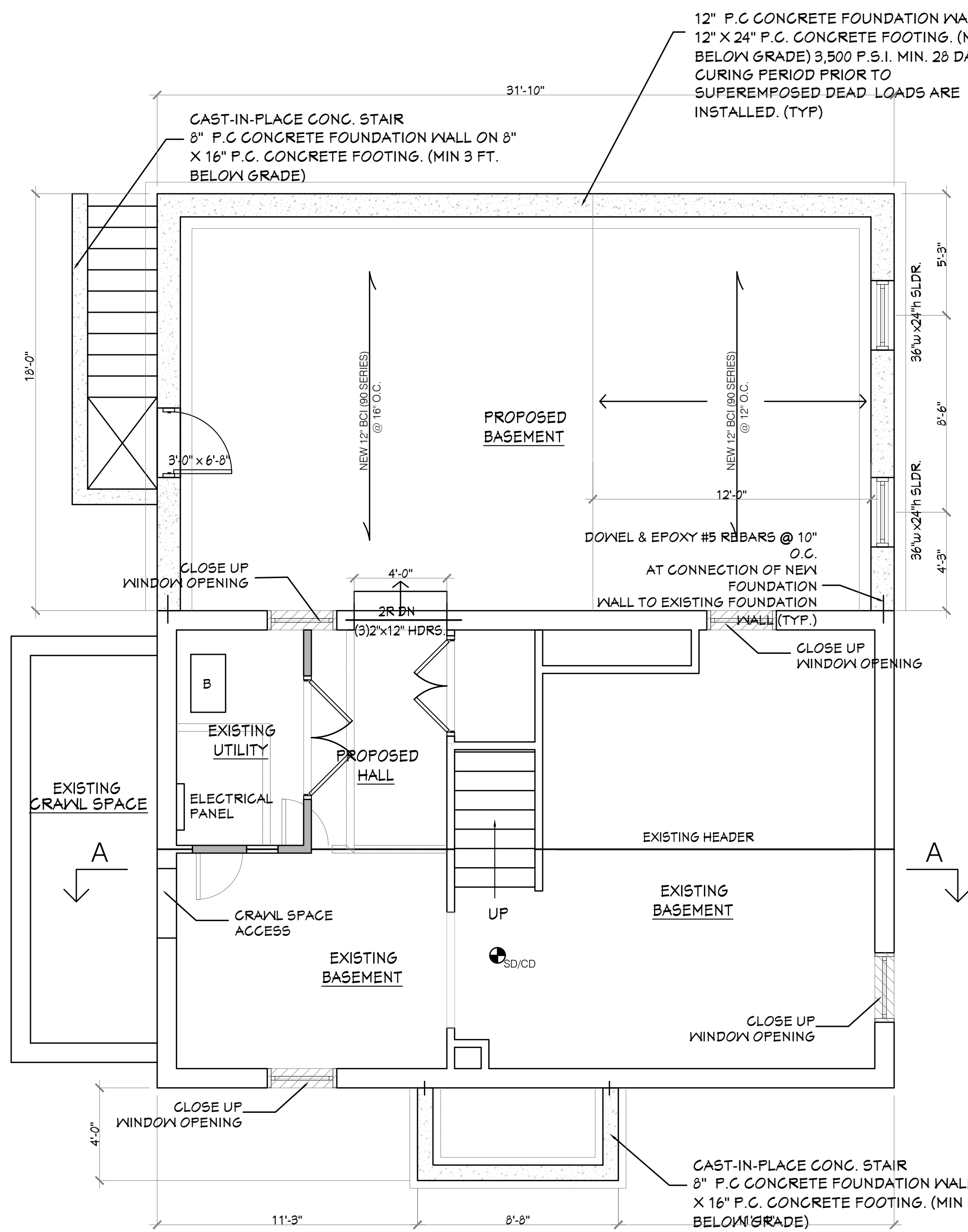
**CONSTRUCTION LEGEND:**

- EXISTING TO BE DEMOLISHED
- EXISTING WALL PARTITION
- NEW INTERIOR PARTITION, 2"x4" WOOD STUDS (KD DOUG. FIR #2 MIN-SIZE AS NOTED ON PLANS.) @ 16" O.C. ENCLOSED BY 5/8" GYPSUM BOARD INTERIOR, AND 3/4" D.F. PLYWOOD SHEATHING AND 1" RIGID INSULATION AND SIDING EXTERIOR
- NEW EXTERIOR WALL, 2"x4" STUDS (KD DOUG. FIR #2 MIN-SIZE AS NOTED ON PLANS.) @ 16" O.C. WITH BATT INSULATION, ENCLOSED BY 5/8" GYPSUM BOARD INTERIOR, AND 3/4" D.F. PLYWOOD SHEATHING AND 1" RIGID INSULATION AND SIDING EXTERIOR
- 12" P.C. CONCRETE FOUNDATION WALL ON 12" X 24" P.C. CONCRETE FOOTING, (MIN 3 FT. BELOW GRADE) 3,500 P.S.I. MIN. 28 DAY CURING PERIOD PRIOR TO SUPERIMPOSED DEAD LOADS ARE INSTALLED.

**HEADER SCHEDULE**  
UNLESS OTHERWISE NOTED:

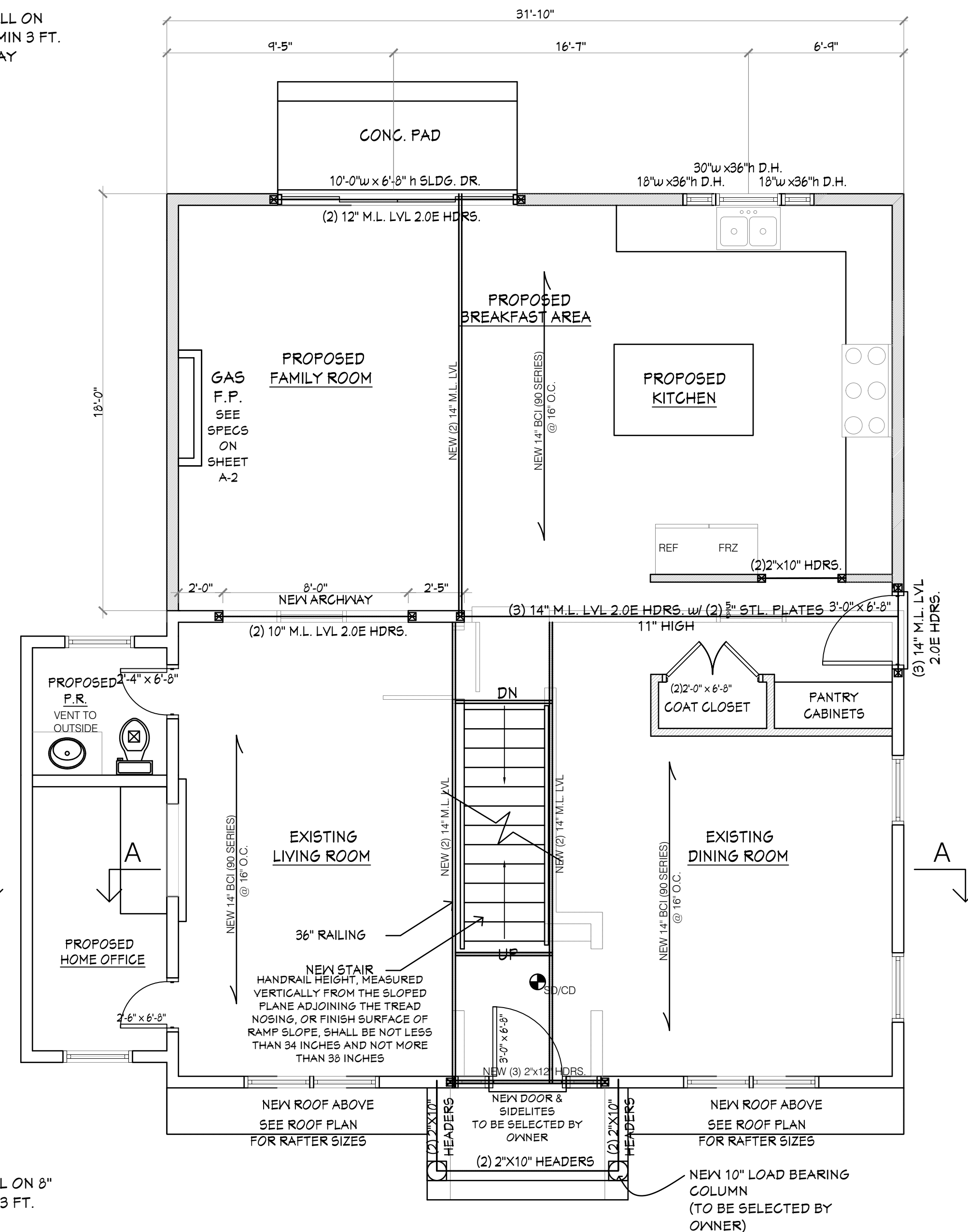
1. WALL OPENINGS UP TO 36" = 2- 2 x 8
2. WALL OPENINGS UP TO 36" TO 48" = 2- 2 x 10
3. WALL OPENINGS UP TO 48" TO 72" = 2- 2 x 12
4. WALL OPENINGS UP TO 72" TO 96" = 3 1/2" x 9 1/4" MICROLAM

**NOTE:**  
ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE NOT LESS THAN 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE NOT LESS THAN OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. A LUMINAIRE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING AND A RECEPTACLE OUTLET SHALL BE INSTALLED AT OR NEAR THE APPLIANCE LOCATION IN ACCORDANCE WITH CHAPTER 39. EXPOSED LAMPS SHALL BE PROTECTED FROM DAMAGE BY LOCATION OR LAMP GUARDS.



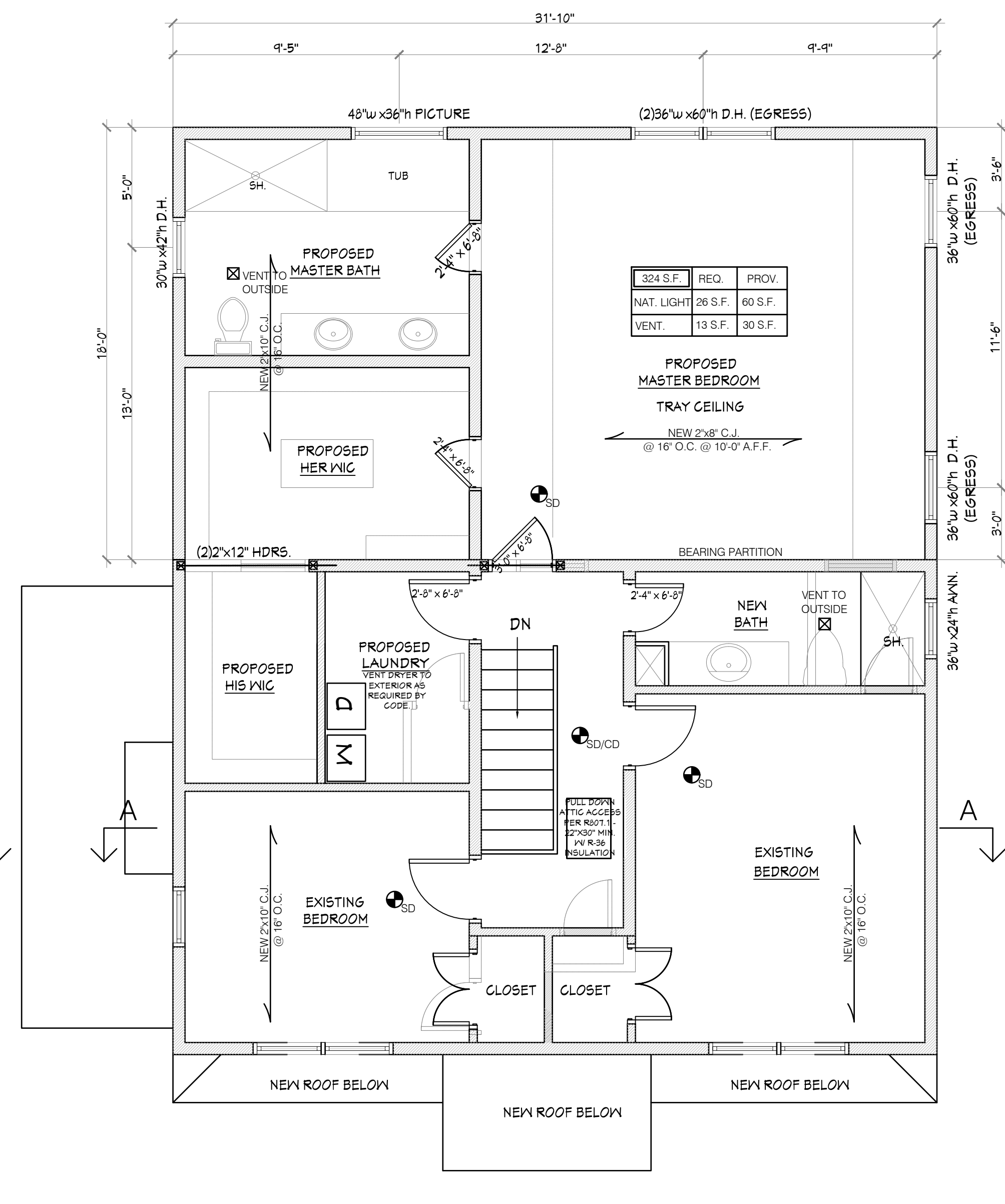
**BASEMENT FLOOR PLAN**

SCALE = 1/4" = 1'-0"



**FIRST FLOOR PLAN**

SCALE = 1/4" = 1'-0"



**SECOND FLOOR PLAN**

SCALE = 1/4" = 1'-0"

BY	REVISIONS	DATE
1	OBJECTIONS	8/6/24

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**GOMEZ RESIDENCE**  
MAINTAIN 2 STY. ONE FAMILY RES. ON NEW & EXIST FOUND.  
65 BURNHAM PLACE  
ROSLYN HEIGHTS, NY



TITLE  
FLOOR PLANS

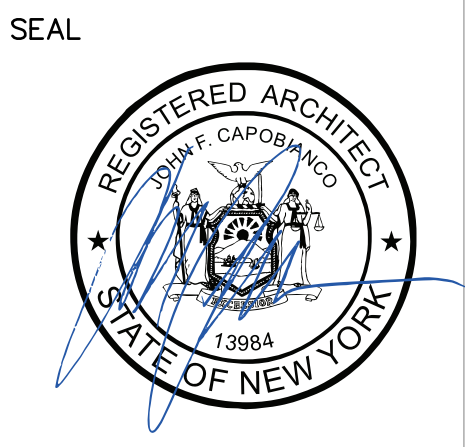
DATE	7-20-24	SCALE	AS NOTED
DRAWN BY		CHECKED BY	
JOB #		DRAWING #	A-1 OF



BY	REVISIONS	DATE
1	OBJECTIONS	8/6/24

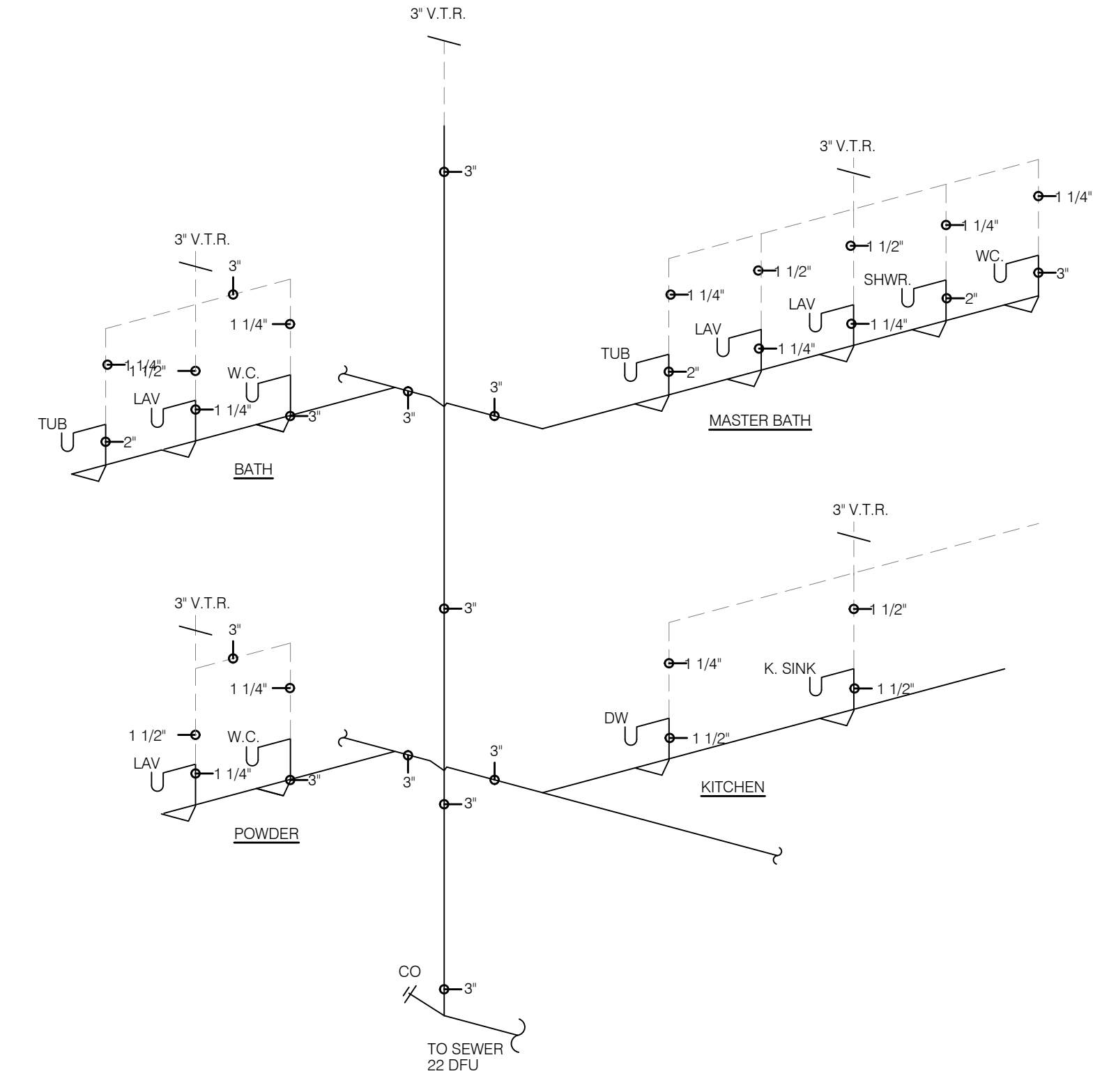
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**GOMEZ RESIDENCE**  
 MAINTAIN 2 STY. ONE FAMILY RES. ON NEW & EXIST FOUND.  
 65 BURNHAM PLACE  
 ROSLYN HEIGHTS, NY

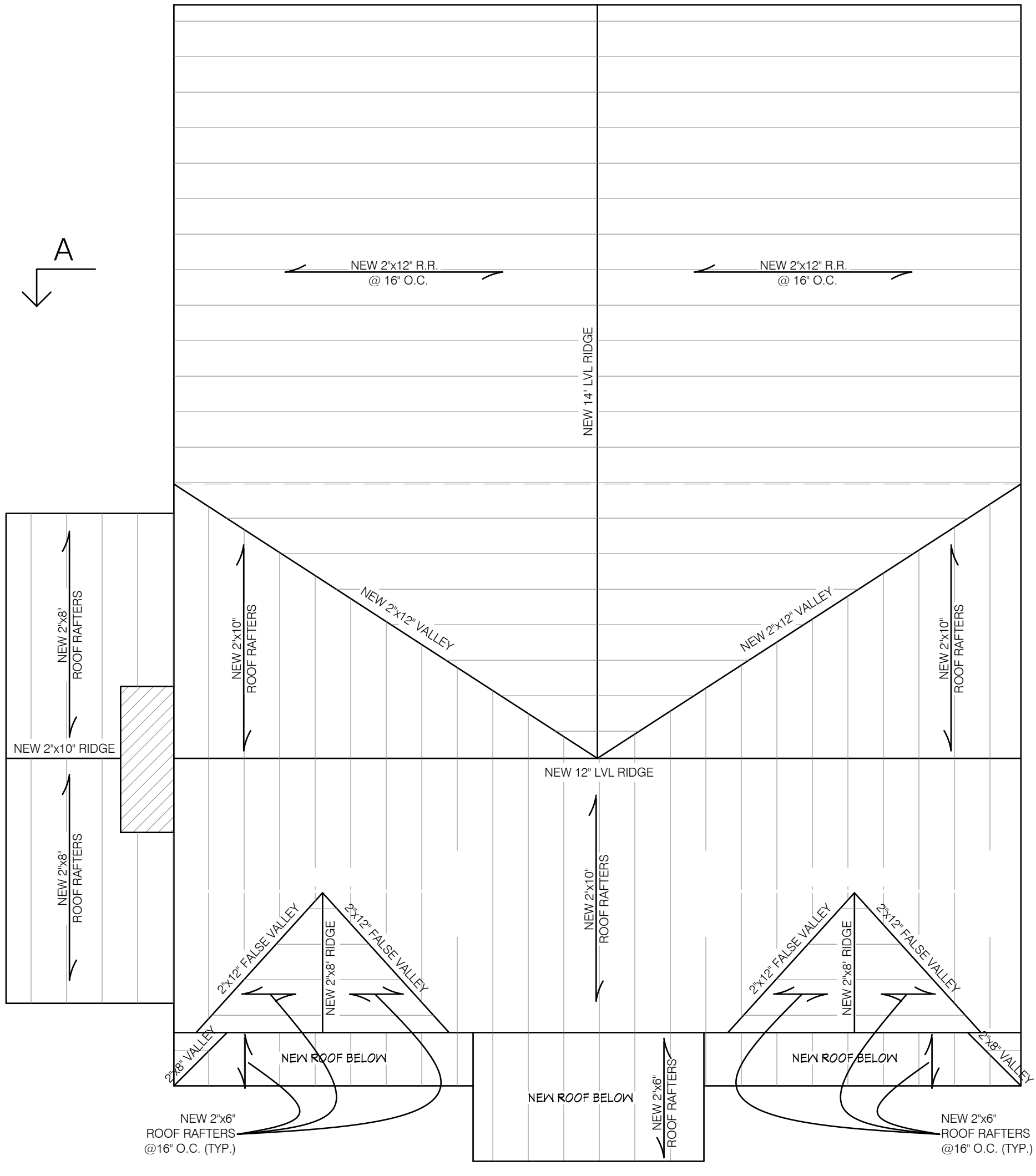


TITLE: ROOF PLAN SECTION

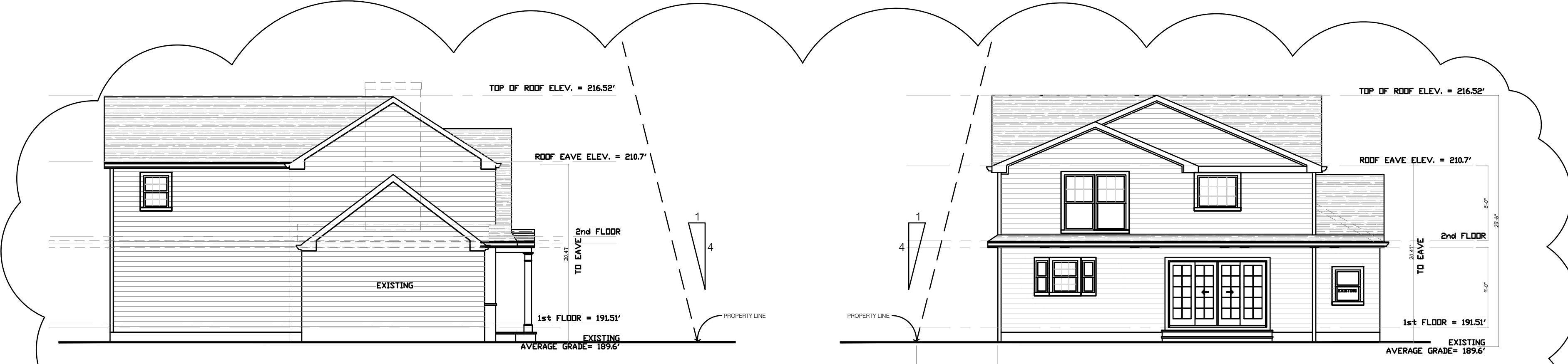
DATE	7-20-24	SCALE	AS NOTED
DRAWN BY		CHECKED BY	
JOB #		DRAWING #	A-2 OF



**PLUMBING RISER DIAGRAM**  
 SCALE=NTS



**ROOF PLAN**  
 SCALE= 1/4" = 1'-0"

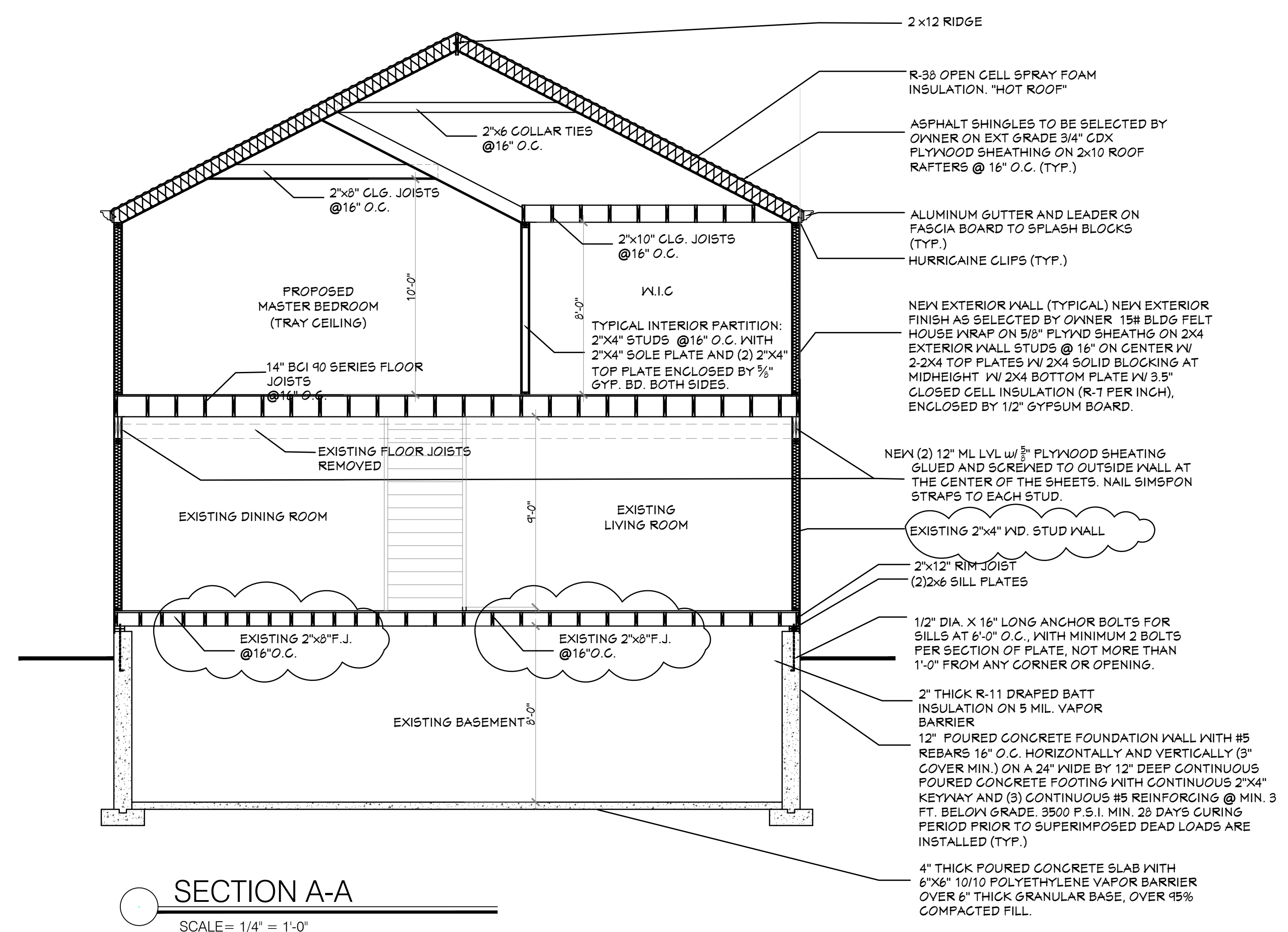


FRONT YARD SKY EXPOSURE PLANE - BURNHAM AVENUE

FRONT YARD SKY EXPOSURE PLANE - ELM STREET



SIDE YARD SKY EXPOSURE PLANE

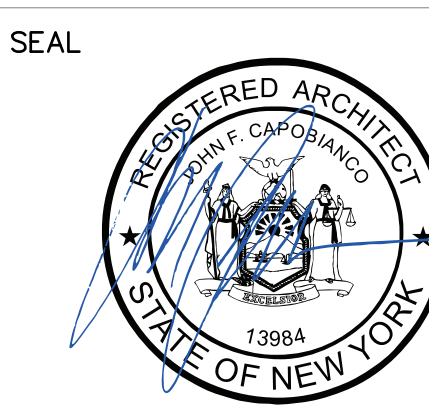


**SECTION A-A**  
 SCALE= 1/4" = 1'-0"

BY	REVISIONS	DATE
1	OBJECTIONS	8/6/24

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**GOMEZ RESIDENCE**  
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 65 BURNHAM PLACE  
 ROSLYN HEIGHTS, NY



TITLE  
 ELEVATIONS

DATE	7-20-24	SCALE	AS NOTED
DRAWN BY		CHECKED BY	
JOB #		DRAWING #	A-3 OF

NEW ROOF AS SELECTED BY OWNER TO MATCH EXISTING 500# ARCHITECTURAL ROOF SHINGLE ON 15# BUILDING FELT HOUSE WRAP ON 5/8" PLYWOOD SHEATHING ON 2X10 ROOF RAFTERS @ 16" OC W/ 1" SOLID BLOCKING AT MIDSPAN PROVIDE R-38 OPEN CELL SPRAY FOAM INSULATION. PROVIDE REGD HURRICANE CLIPS ON ALL FRAMING CS16 MTL STRAPS FASTEN MIN 8" ON TO STUD WRAP AND FASTEN TO BOTH EXPOSED SIDES OF ALL RAFTERS, END JOISTS @ EXT WALL TYPICAL

PROVIDE ICE BARRIER CONSISTING OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MOD BITUMEN SHEET THAT EXTENDS FROM EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF BUILDING

PROVIDE REQUIRED CONTINUOUS ROOF RIDGE VENTS, SOFFIT VENTS AND, ATTIC VENTS, ACCORDINGLY PROVIDE REQUIRED CONTINUOUS GUTTERS & LEADERS (TYP) PROVIDE REGD PTD. 1/2" PLYWD SOFFIT & VENT

EXTERIOR WALL (TYPICAL) NEW EXTERIOR FINISH TO MATCH EXISTING AS SELECTED BY OWNER 15# BLDG FELT HOUSE WRAP ON 5/8" PLYWD SHEATHG ON 2X4 EXTERIOR WALL STUDS @ 16" ON CENTER W/ 2-2X4 TOP PLATES W/ 2X4 SOLID BLOCKING AT MIDHEIGHT W/ 2X4 BOTTOM PLATE W/ 3.5" CLOSED CELL INSULATION (R-1 PER INCH), ENCLOSED BY 1/2" GYPSUM BOARD.

NEW ROOF AS SELECTED BY OWNER TO MATCH EXISTING 500# ARCHITECTURAL ROOF SHINGLE ON 15# BUILDING FELT HOUSE WRAP ON 5/8" PLYWOOD SHEATHING ON 2X10 ROOF RAFTERS @ 16" OC W/ 1" SOLID BLOCKING AT MIDSPAN PROVIDE R-38 OPEN CELL SPRAY FOAM INSULATION. PROVIDE REGD HURRICANE CLIPS ON ALL FRAMING CS16 MTL STRAPS FASTEN MIN 8" ON TO STUD WRAP AND FASTEN TO BOTH EXPOSED SIDES OF ALL RAFTERS, END JOISTS @ EXT WALL TYPICAL

PROVIDE ICE BARRIER CONSISTING OF AT LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MOD BITUMEN SHEET THAT EXTENDS FROM EAVES EDGE TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF BUILDING

PROVIDE REQUIRED CONTINUOUS ROOF RIDGE VENTS, SOFFIT VENTS AND, ATTIC VENTS, ACCORDINGLY (TYP) PROVIDE REQUIRED CONTINUOUS GUTTERS & LEADERS (TYP) PROVIDE REGD PTD. 1/2" PLYWD SOFFIT & VENT

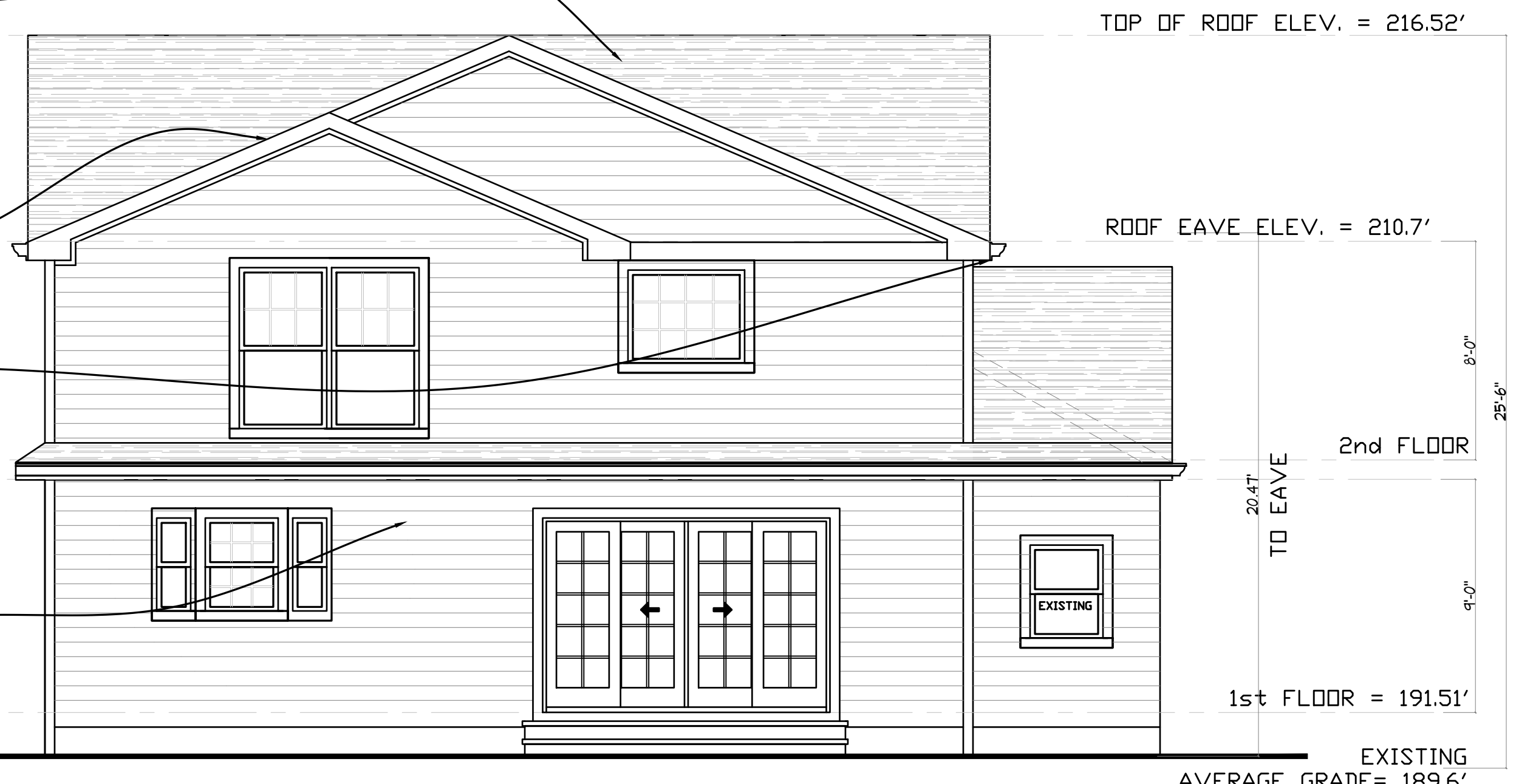
EXTERIOR WALL (TYPICAL) NEW EXTERIOR FINISH TO MATCH EXISTING AS SELECTED BY OWNER 15# BLDG FELT HOUSE WRAP ON 5/8" PLYWD SHEATHG ON 2X4 EXTERIOR WALL STUDS @ 16" ON CENTER W/ 2-2X4 TOP PLATES W/ 2X4 SOLID BLOCKING AT MIDHEIGHT W/ 2X4 BOTTOM PLATE W/ 3.5" CLOSED CELL INSULATION (R-1 PER INCH), ENCLOSED BY 1/2" GYPSUM BOARD.

CULTURED STONE VENEER (TO BE SELECTED BY OWNER)



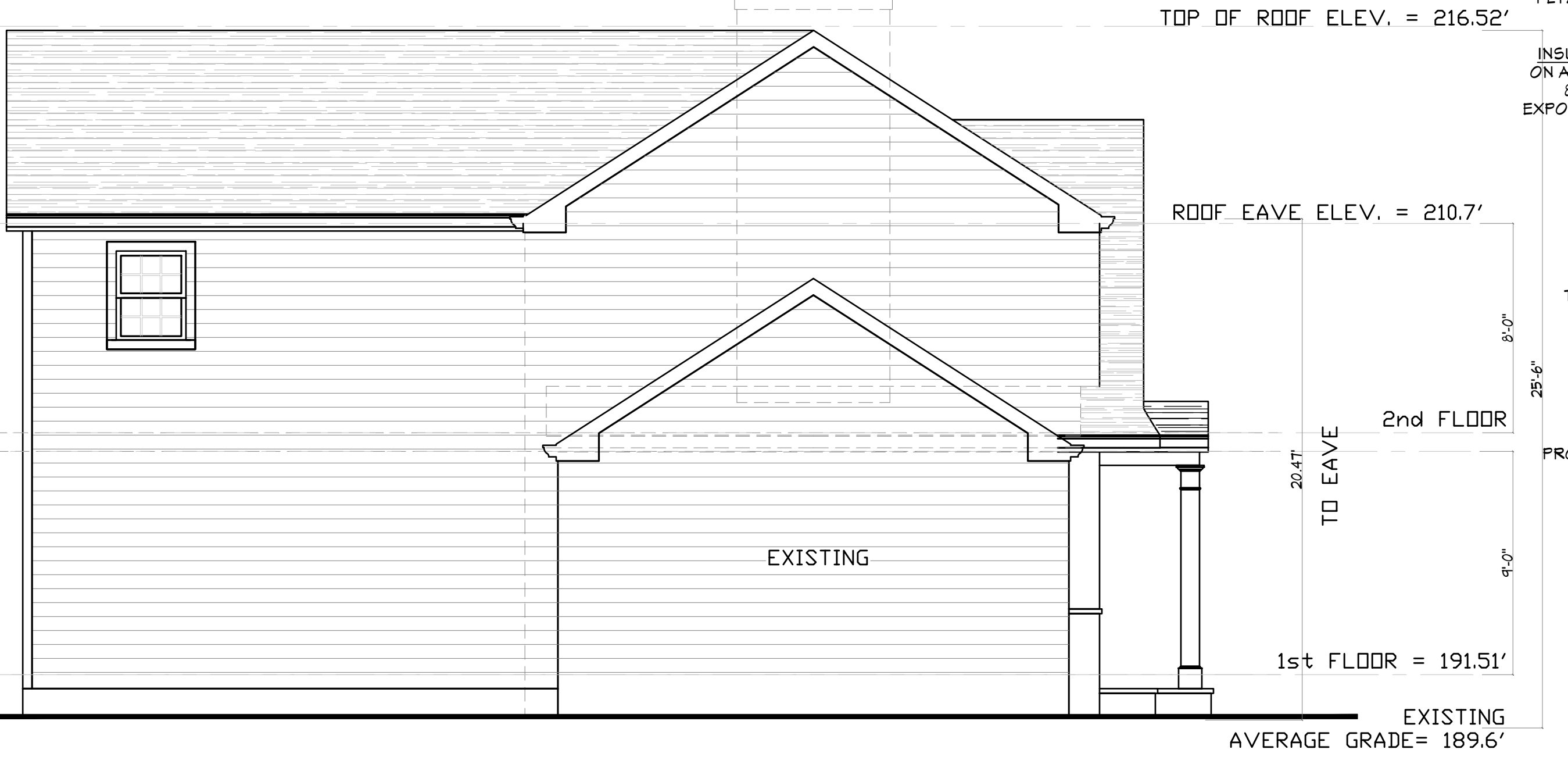
RIGHT SIDE ELEVATION

SCALE = 1/4" = 1'-0"



REAR ELEVATION

SCALE = 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE = 1/4" = 1'-0"



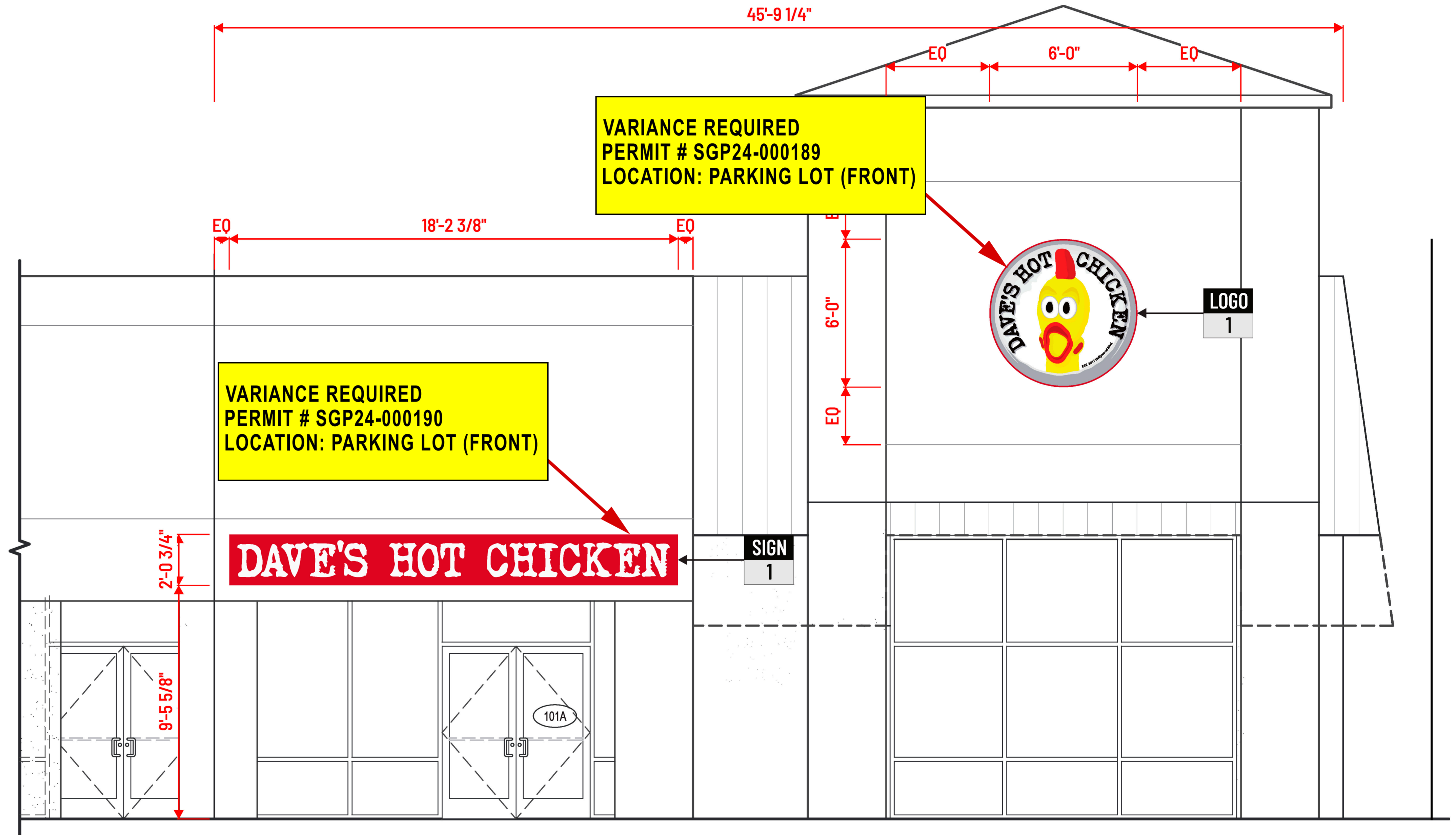
FRONT ELEVATION

SCALE = 1/4" = 1'-0"

SIGN SCOPE

**SIGN 1** FACE & HALO LIT CHANNEL LETTERS ON BACKER PANEL

**LOGO 1** FACE & HALO LIT CHANNEL LOGO



SCALE: 3/16" = 1'-0"

TOTAL FRONTAGE: 45'-9 1/4"  
 PROPOSED SIGN SQ.FT: SIGN 1: 26.02 SQ. FT  
 LOGO 1: 28.27 SQ. FT

 <p>9736 ETON AVENUE                  CHATSWORTH, CA 91311                  t 818.787.0477                  f 818.477.5123                  www.visiblegraphics.com</p>	<p>PROJECT NAME:  <b>DAVE'S HOT CHICKEN</b>                  Carle Place, NY</p> <p>PROJECT ADDRESS:                  207 Glen Cove Road,                  Carle Place, NY 11514</p>	<p>DATE: 05.23.2024                  PAGE SIZE: 17 X 11                  SR ACCT MNGR: DAVE MAHN                  COORDINATOR: MARY DEL RIO                  DESIGNER: JT</p>		<p>CLIENT APPROVAL</p> <p>COPY · COLORS · SIZES                  VISIBLE GRAPHICS does NOT provide primary electrical power to sign locations - responsibility of others.</p>	<p>LANDLORD APPROVAL</p>	<p>This design is an exclusive property of VISIBLE GRAPHICS and cannot be reproduced in whole or in part, without prior written approval.</p> <p>JOB NUMBER  <b>13671R</b></p>	<p>SHEET  <b>3</b></p>
				<p>Client Signature _____ Date _____</p>	<p>Landlord Signature _____ Date _____</p>		

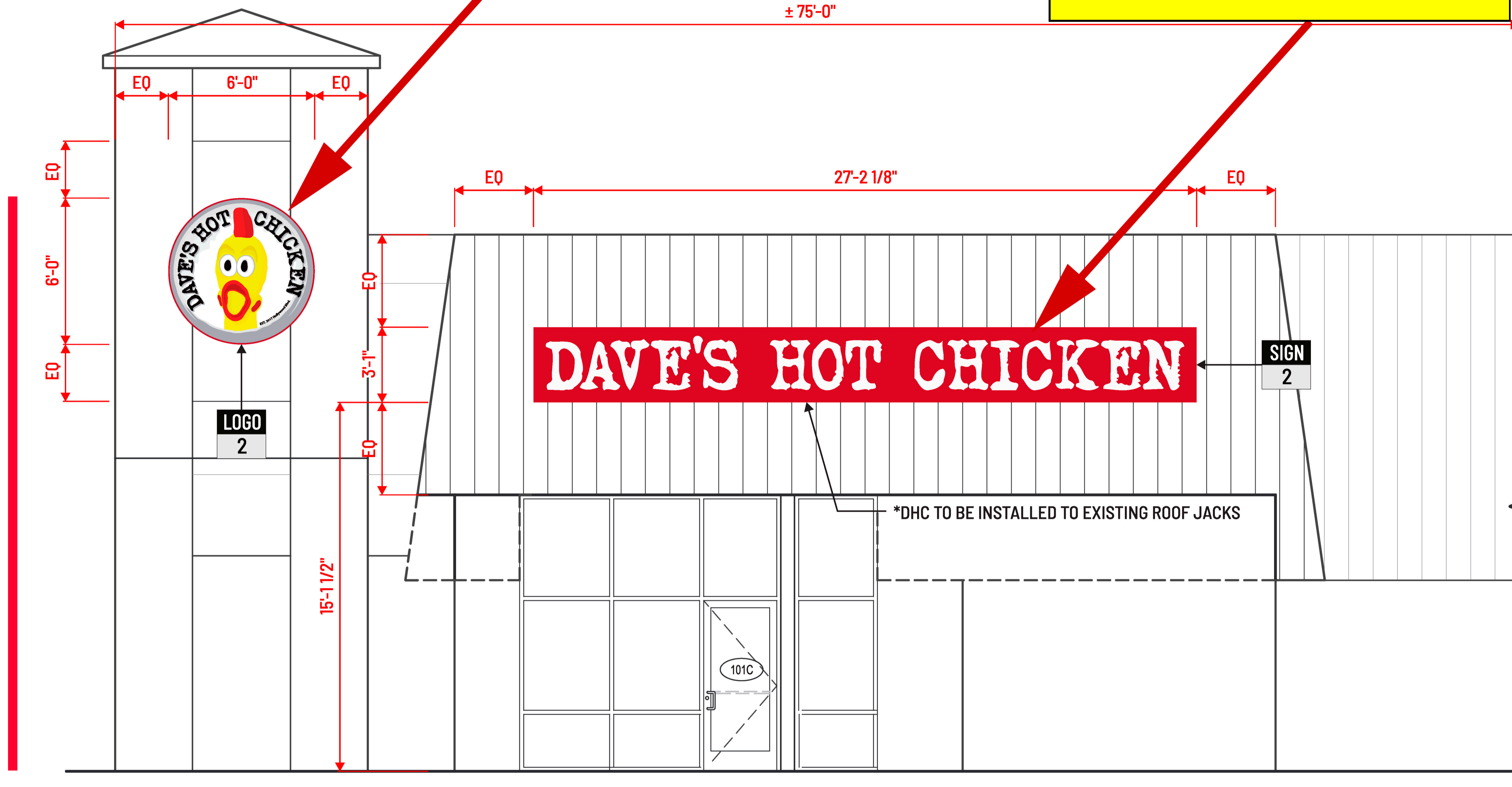
SIGN SCOPE

**SIGN 2** FACE & HALO LIT CHANNEL LETTERS ON BACKER PANEL

**LOGO 2** FACE & HALO LIT CHANNEL LOGO

**VARIANCE REQUIRED  
PERMIT # SGP24-000188  
LOCATION: GLEN COVE RD.**

**NO VARIANCE REQUIRED  
WILL BE APPROVED  
AS PER SIGN INSPECTOR**



SCALE: 3/16" = 1'-0"

TOTAL FRONTAGE: ± 75'-0"  
PROPOSED SIGN SQ.FT: 28.27 SQ. FT.

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PROJECT NAME:  
**DAVE'S HOT CHICKEN**  
Carle Place, NY  
PROJECT ADDRESS  
207 Glen Cove Road,  
Carle Place, NY 11514

DATE: 05.23.2024  
PAGE SIZE: 17 X 11  
SR ACCT MNGR: DAVE MAHN  
COORDINATOR: MARY DEL RIO  
DESIGNER: JT



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Client Signature \_\_\_\_\_ Date \_\_\_\_\_

LANDLORD APPROVAL  
Landlord Signature \_\_\_\_\_ Date \_\_\_\_\_

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JOB NUMBER  
**13671R**

SHEET  
**4**



**DAVE'S HOT CHICKEN**

## JOB INFO

Dave's Hot Chicken  
Carle Place, NY

207 Glen Cove Road,  
Carle Place, NY 11514

JOB#: 13671R

DATE SUBMITTED: 05.23.2024

DATE REVISED: 00.00.2024

## CONTACT INFO

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Jeannette Diaz, Project Coordinator

Phone: 818.787.0477 Ext 1090

Email: [Jeannette@visiblegraphics.com](mailto:Jeannette@visiblegraphics.com)



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A NATIONAL SIGN COMPANY

9736 Eton Ave.

Chatsworth, CA 91311

T: 818.787.0477 F: 818.787.0415

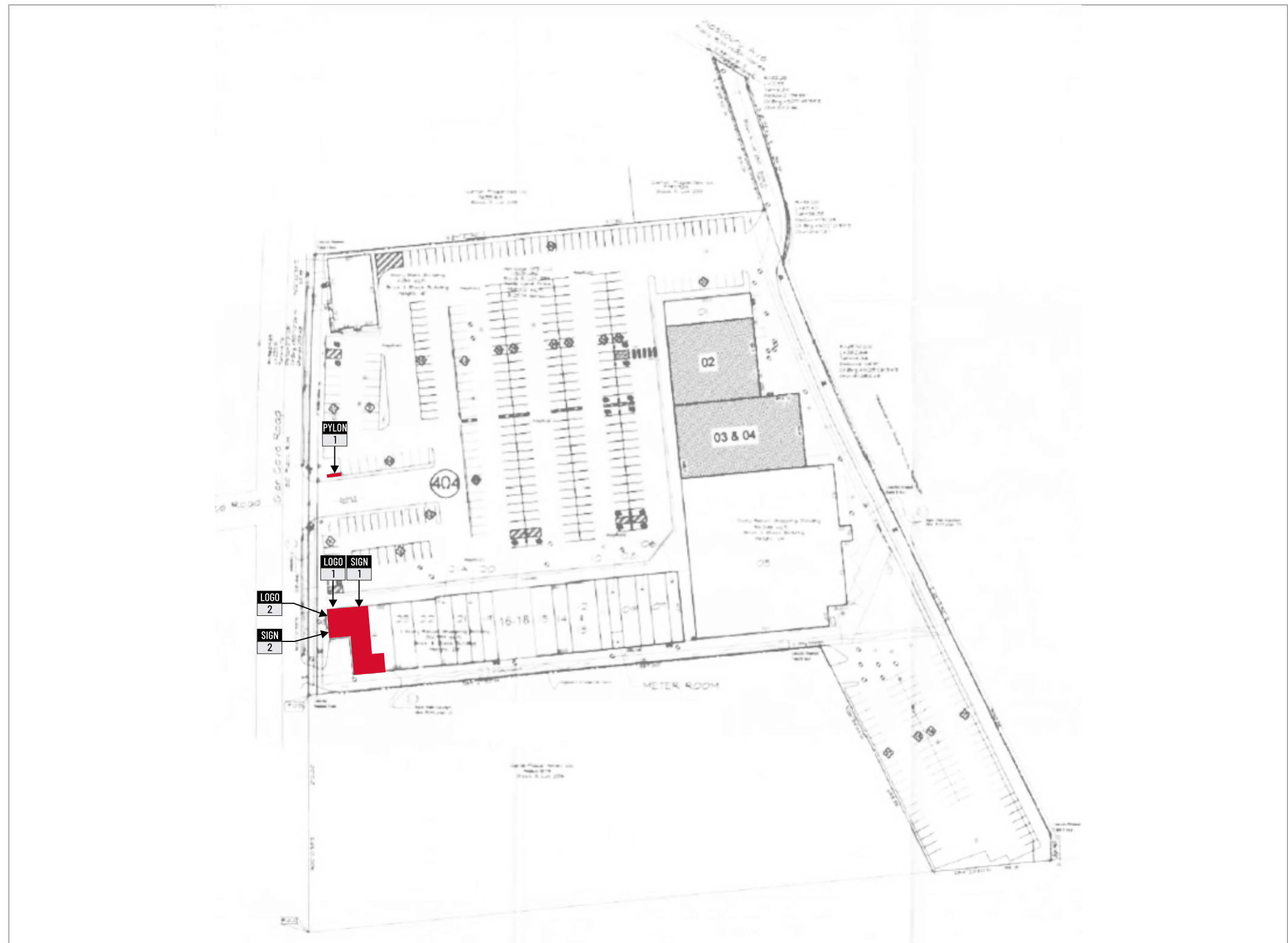
[www.visiblegraphics.com](http://www.visiblegraphics.com)

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## SIGN SCOPE

- SIGN 1** FACE & HALO LIT CHANNEL LETTERS ON BACKER PANEL
  - SIGN 2** FACE & HALO LIT CHANNEL LETTERS ON BACKER PANEL
  - LOGO 1** **LOGO 2** FACE & HALO LIT CHANNEL LOGO
  - PYLON 1** D/F PYLON REPLACEMENT FACES
- 
- LED 1** CORNICE RED LED ILLUMINATION BY OTHERS (NOT SHOWN ON SITE PLAN)



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 Carle Place, NY  
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 207 Glen Cove Road,  
 Carle Place, NY 11514

DATE: 05.23.2024  
 PAGE SIZE: 17 X 11  
 SR ACCT MNGR: DAVE MAHN  
 COORDINATOR: MARY DEL RIO  
 DESIGNER: JT



CLIENT APPROVAL  
 COPY · COLORS · SIZES  
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Client Signature \_\_\_\_\_ Date \_\_\_\_\_

LANDLORD APPROVAL

Landlord Signature \_\_\_\_\_ Date \_\_\_\_\_

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**13671R**

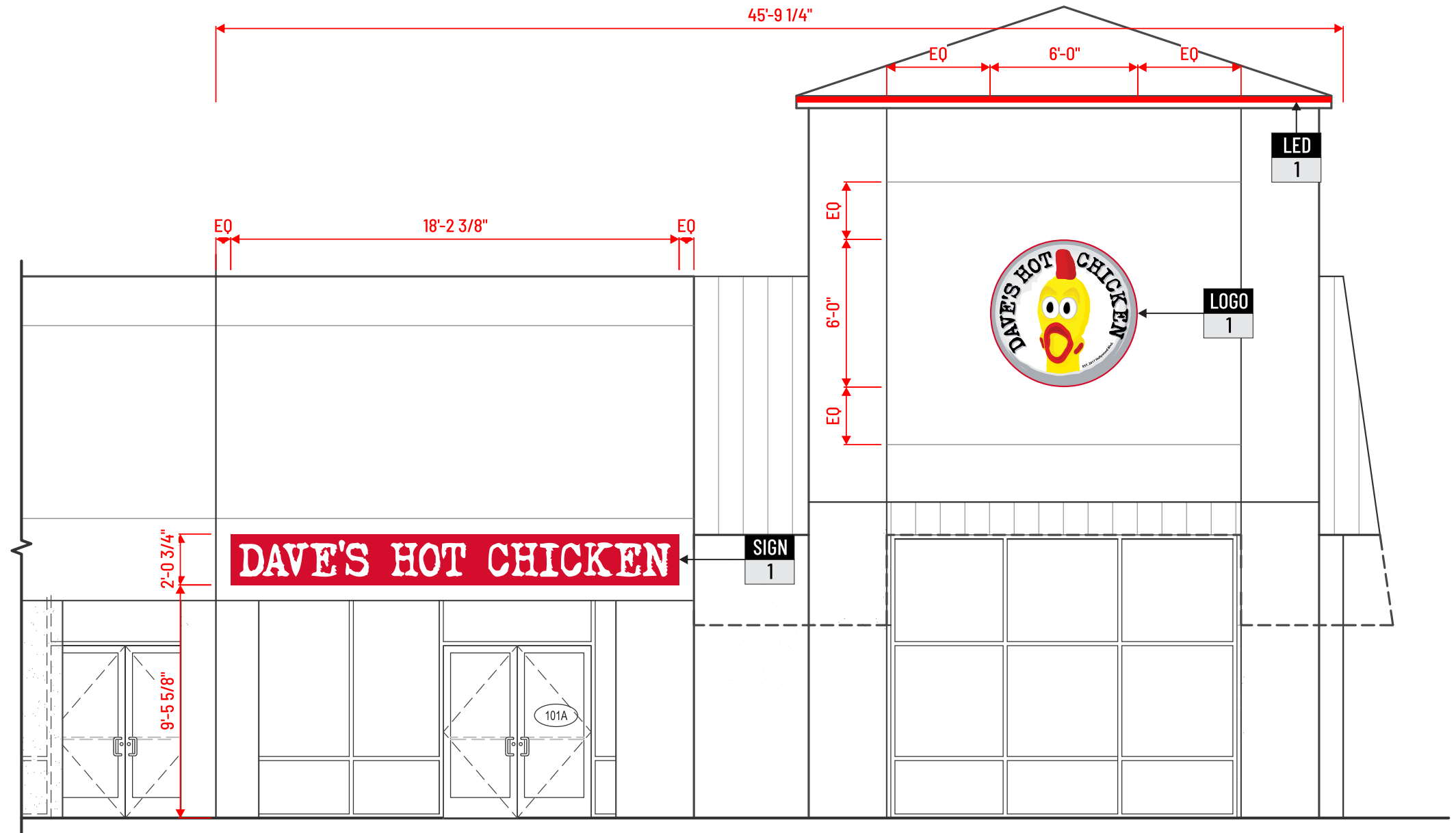
SHEET  
**2**

SIGN SCOPE

**SIGN 1** FACE & HALO LIT CHANNEL LETTERS ON BACKER PANEL

**LOGO 1** FACE & HALO LIT CHANNEL LOGO

**LED 1** CORNICE RED LED ILLUMINATION BY OTHERS



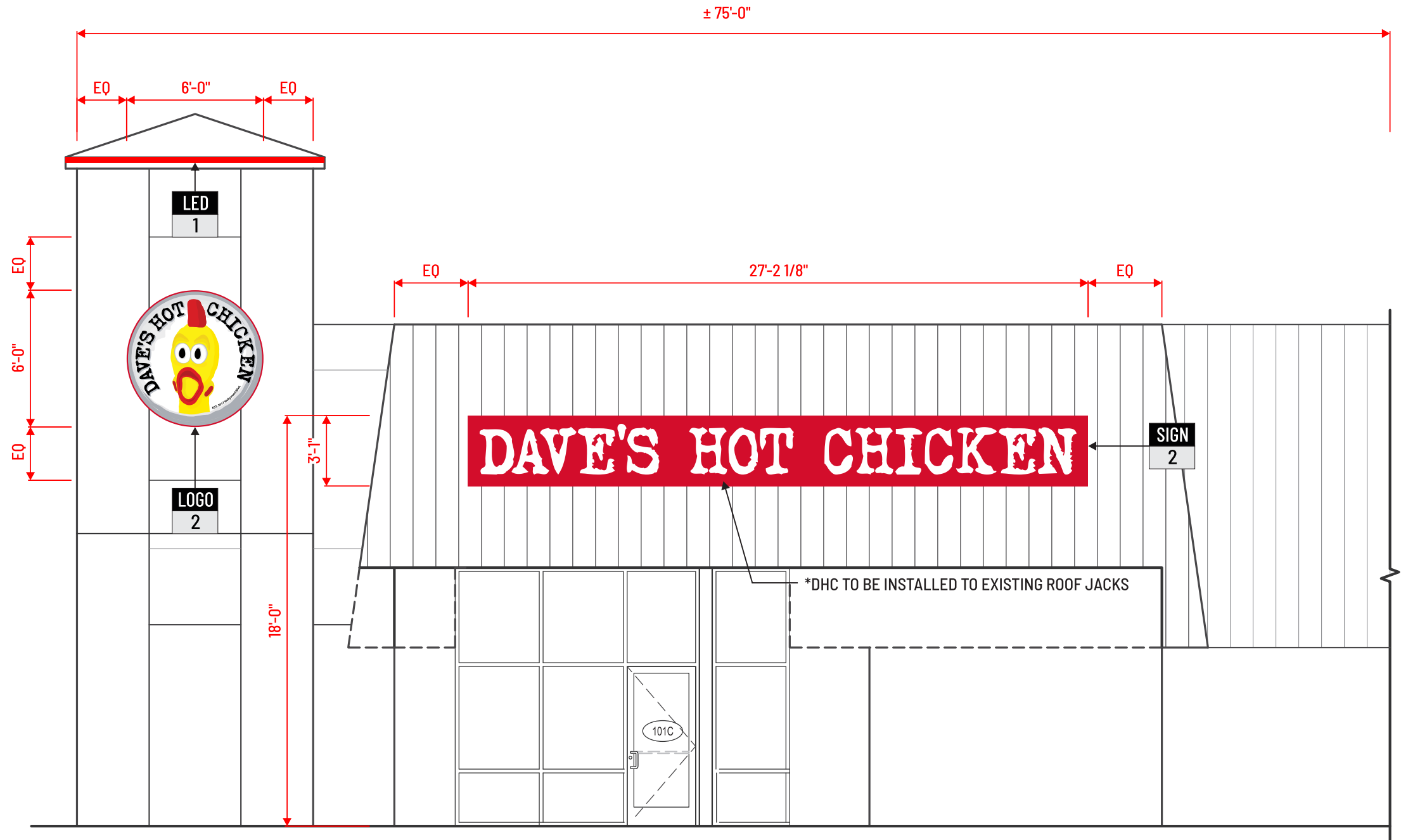
SCALE: 3/16" = 1'-0"

TOTAL FRONTAGE: 45'-9 1/4"  
 PROPOSED SIGN SQ.FT: SIGN 1: 26.02 SQ. FT  
 LOGO 1: 28.27 SQ. FT

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	Client Signature _____ Date _____	Landlord Signature _____ Date _____					

SIGN SCOPE

- SIGN 2** FACE & HALO LIT CHANNEL LETTERS ON BACKER PANEL
- LOGO 2** FACE & HALO LIT CHANNEL LOGO
- LED 1** CORNICE RED LED ILLUMINATION BY OTHERS



SCALE: 3/16" = 1'-0"

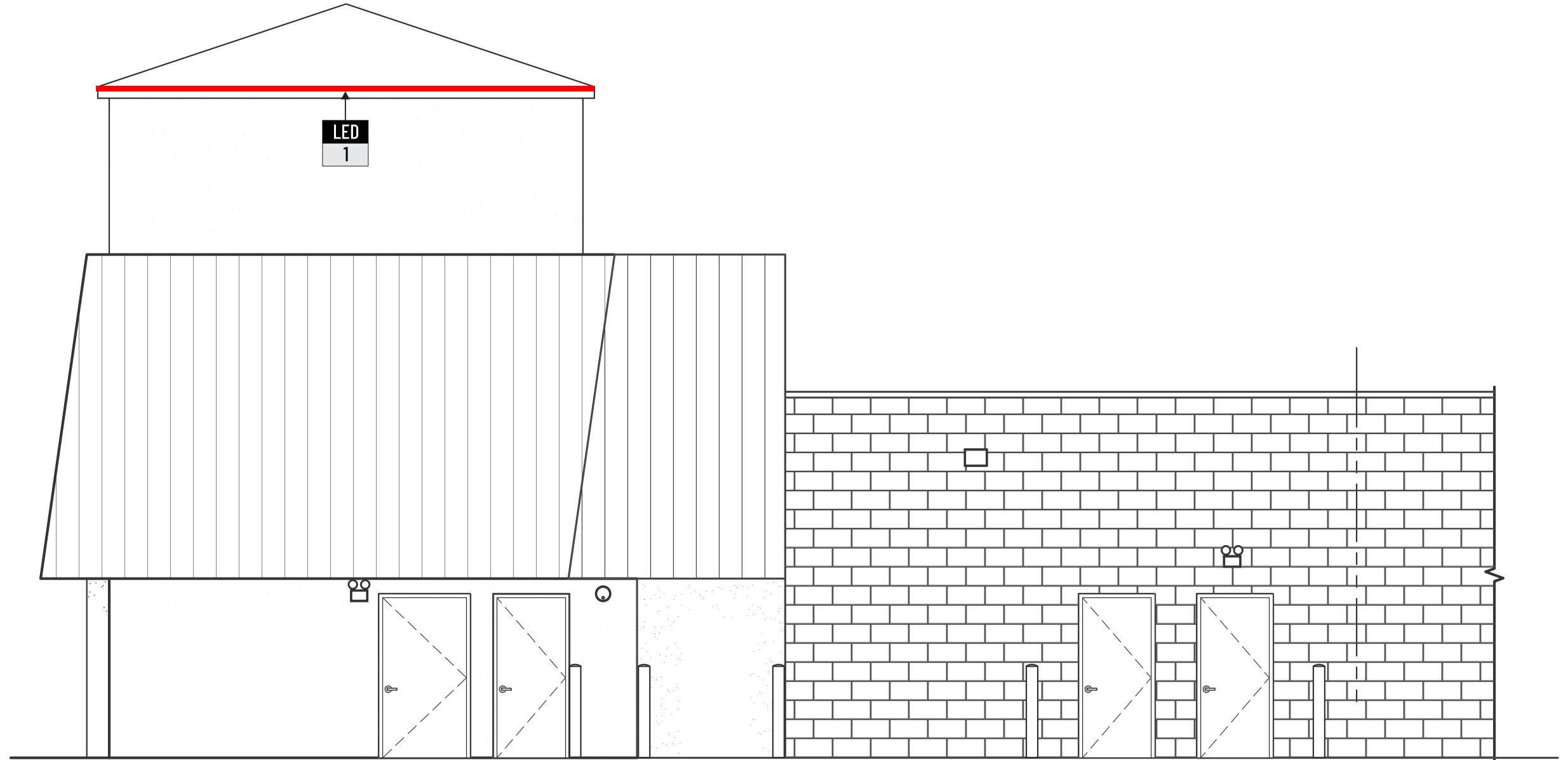
TOTAL FRONTAGE: ± 75'-0"  
 PROPOSED SIGN SQ.FT: 28.27 SQ. FT.

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	File Name: ****							



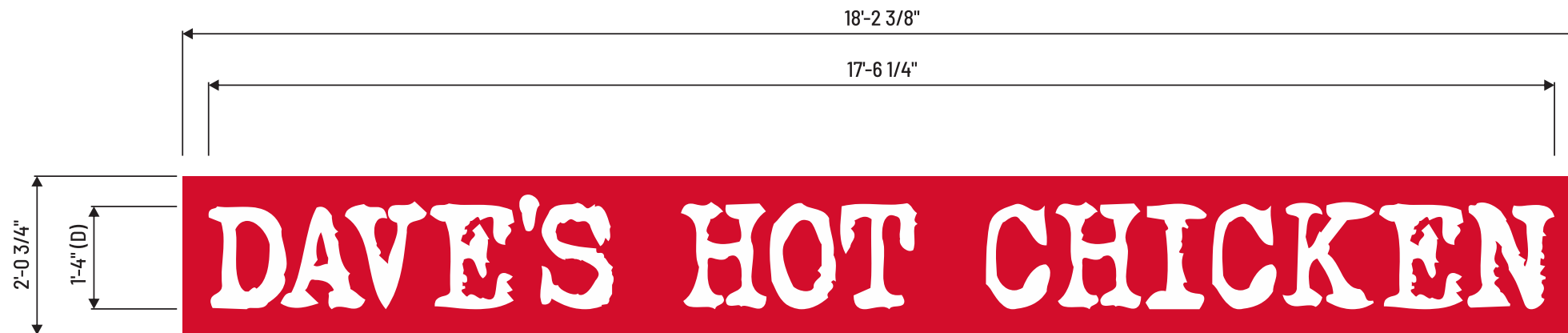
SIGN SCOPE

**LED 1** CORNICE RED LED ILLUMINATION BY OTHERS



SCALE: 3/16" = 1'-0"

 <p>9736 ETON AVENUE CHATSWORTH, CA 91311 t 818.787.0477 f 818.477.5123 www.visiblegraphics.com</p>	<p>PROJECT NAME: <b>DAVE'S HOT CHICKEN</b> Carle Place, NY PROJECT ADDRESS 207 Glen Cove Road, Carle Place, NY 11514</p>	<p>DATE: 05.23.2024 PAGE SIZE: 17 X 11 SR ACCT MNGR: DAVE MAHN COORDINATOR: MARY DEL RIO DESIGNER: JT</p>		<p>CLIENT APPROVAL COPY · COLORS · SIZES VISIBLE GRAPHICS does NOT provide primary electrical power to sign locations - responsibility of others.</p>	<p>LANDLORD APPROVAL</p>	<p>This design is an exclusive property of VISIBLE GRAPHICS and cannot be reproduced in whole or in part, without prior written approval. JOB NUMBER <b>13671R</b></p>	<p>SHEET <b>5</b></p>
	<p>Client Signature _____ Date _____</p>	<p>Landlord Signature _____ Date _____</p>					



**FRONT VIEW**  
SCALE: 1/2" = 1'-0"

**COLOR KEY**

WHITE

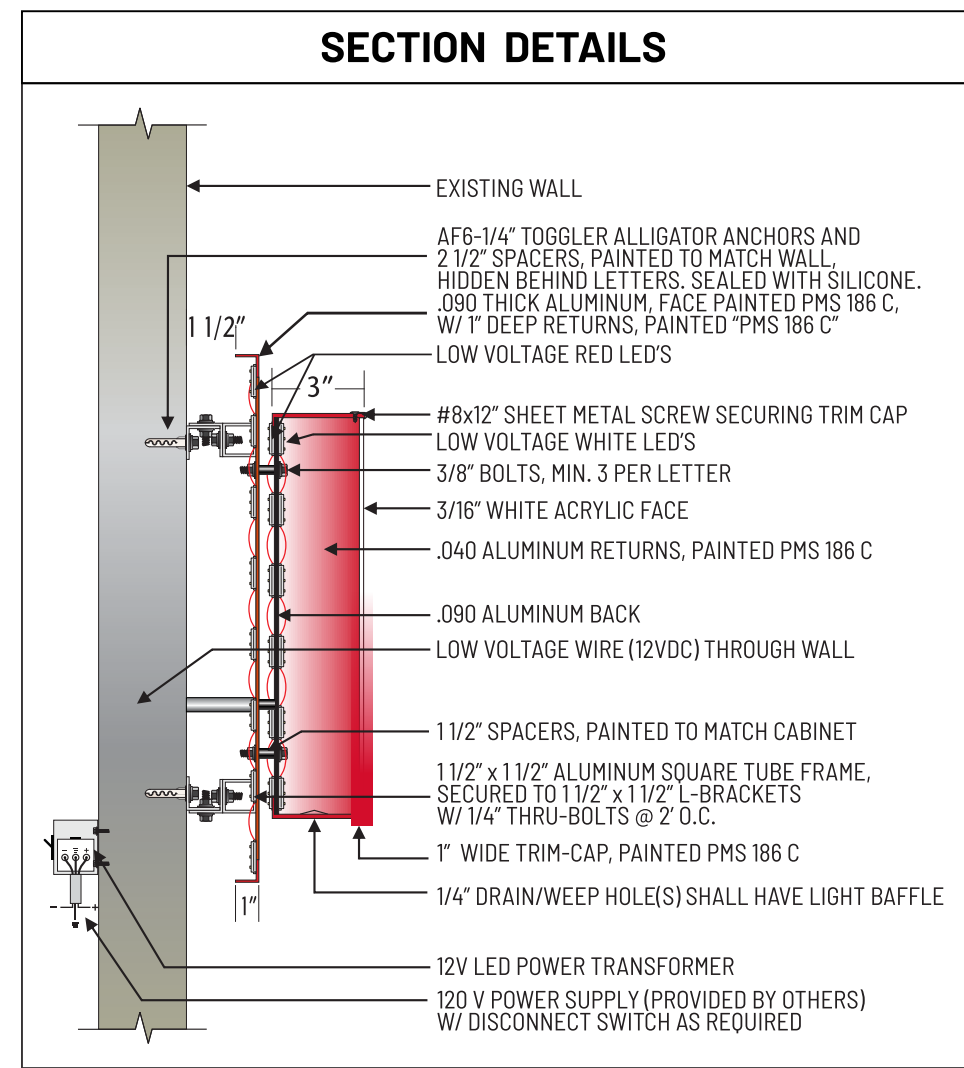
PMS 186 C

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

**SIGN SPECS**

<b>BODY</b>	3" DEEP ALUMINUM FABRICATED CHANNEL LETTERS CONSTRUCTED OF .040 ALUMINUM RETURNS, 1 1/2" PINNED OFF
<b>BACKER</b>	.090 THICK ALUMINUM, FACE PAINTED PMS 186 C, W/ 1" DEEP RETURNS, PAINTED "PMS 186 C"
<b>FACES</b>	3/16" WHITE ACRYLIC FACES W/ VINYL OVERLAY
<b>ILLUMINATION</b>	WHITE LEDS, RED LEDS FOR HALO
<b>SQ.FT.</b>	26.02 SQ. FT.

\*ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS



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DATE: 05.23.2024  
PAGE SIZE: 17 X 11  
SR ACCT MNGR: DAVE MAHN  
COORDINATOR: MARY DEL RIO  
DESIGNER: JT



CLIENT APPROVAL  
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Client Signature \_\_\_\_\_ Date \_\_\_\_\_

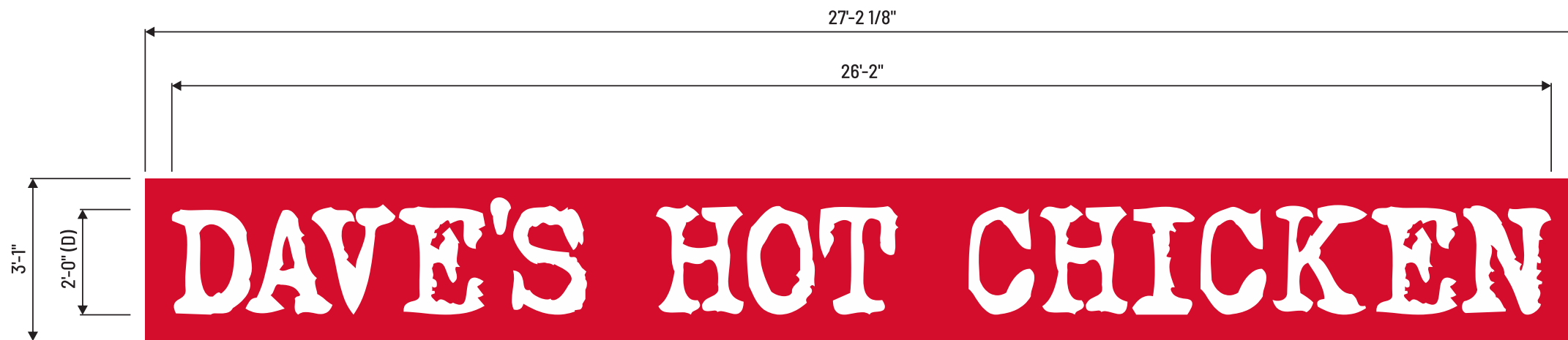
LANDLORD APPROVAL

Landlord Signature \_\_\_\_\_ Date \_\_\_\_\_

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JOB NUMBER  
**13671R**

SHEET  
**6**



**FRONT VIEW**

SCALE: 3/8" = 1'-0"

**COLOR KEY**

WHITE

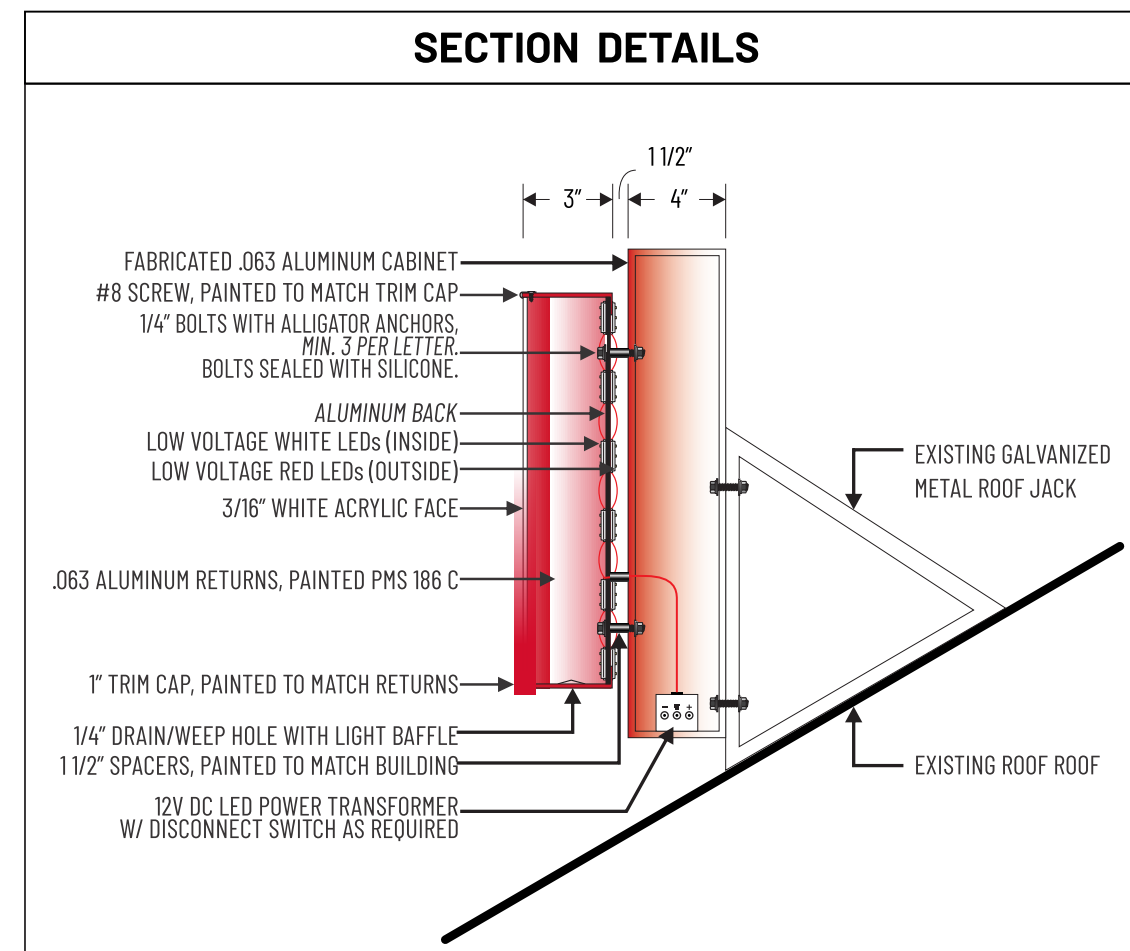
PMS 186 C

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

**SIGN SPECS**

<b>BODY</b>	3" DEEP ALUMINUM FABRICATED CHANNEL LETTERS CONSTRUCTED OF .040 ALUMINUM RETURNS, 1 1/2" PINNED OFF
<b>BACKER</b>	CUSTOM FABRICATED BACKER PANEL WIREWAY HOUSING POWER SUPPLY PAINTED PMS 186C
<b>FACES</b>	3/16" WHITE ACRYLIC FACES W/ VINYL OVERLAY
<b>ILLUMINATION</b>	WHITE LEDs, RED LEDs FOR HALO
<b>SQ.FT.</b>	58.45 SQ. FT.

\*ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS



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**PROJECT NAME:**  
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Carle Place, NY

**PROJECT ADDRESS:**  
207 Glen Cove Road,  
Carle Place, NY 11514

**DATE:** 05.23.2024  
**PAGE SIZE:** 17 X 11  
**SR ACCT MNGR:** DAVE MAHN  
**COORDINATOR:** MARY DEL RIO  
**DESIGNER:** JT

**CLIENT APPROVAL**  
COPY · COLORS · SIZES  
VISIBLE GRAPHICS does NOT provide primary electrical power to sign locations - responsibility of others.

Client Signature \_\_\_\_\_ Date \_\_\_\_\_

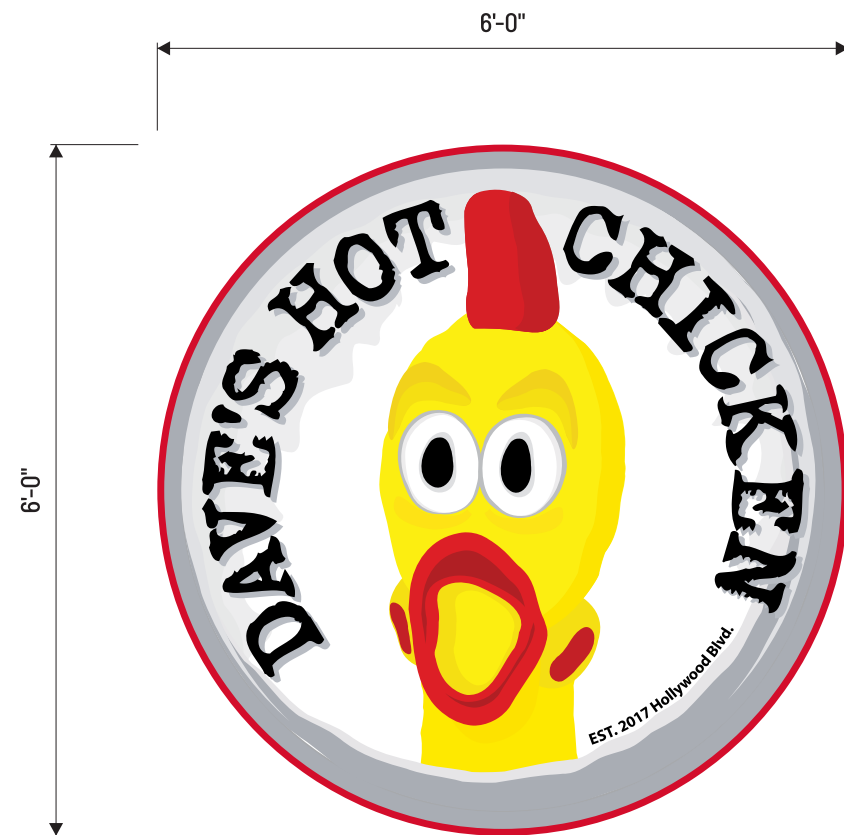
**LANDLORD APPROVAL**

Landlord Signature \_\_\_\_\_ Date \_\_\_\_\_

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**JOB NUMBER**  
**13671R**

**SHEET**  
**7**



**FRONT VIEW**

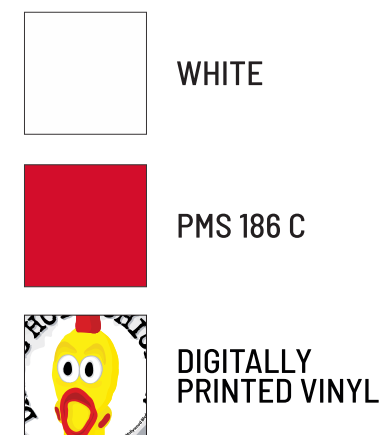
SCALE: 1/2" = 1'-0"

**SIGN SPECS**

<b>BODY</b>	3" DEEP ALUMINUM FABRICATED CHANNEL LOGO CONSTRUCTED OF .063 ALUMINUM RETURNS, 1 1/2" PINNED OFF
<b>FACES</b>	3/16" WHITE ACRYLIC FACES W/ VINYL OVERLAY
<b>ILLUMINATION</b>	6500K DAYLIGHT WHITE LEDs, RED LEDs FOR HALO
<b>SQ.FT.</b>	28.27 SQ. FT.

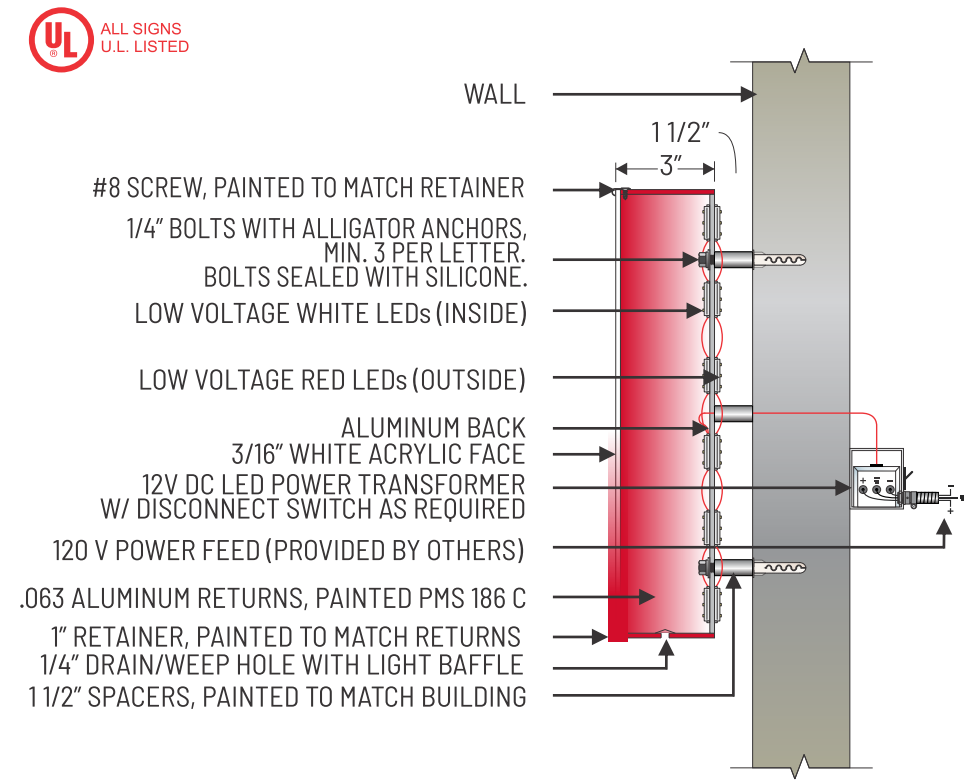
\*ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS

**COLOR KEY**



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

**SECTION DETAILS**



**VISIBLE GRAPHICS SIGN COMPANY**  
 9736 ETON AVENUE  
 CHATSWORTH, CA 91311  
 t 818.787.0477  
 f 818.477.5123  
 www.visiblegraphics.com

**PROJECT NAME:**  
**DAVE'S HOT CHICKEN**  
 Carle Place, NY  
**PROJECT ADDRESS:**  
 207 Glen Cove Road,  
 Carle Place, NY 11514

**DATE:** 05.23.2024  
**PAGE SIZE:** 17 X 11  
**SR ACCT MNGR:** DAVE MAHN  
**COORDINATOR:** MARY DEL RIO  
**DESIGNER:** JT



**CLIENT APPROVAL**  
 COPY · COLORS · SIZES  
 VISIBLE GRAPHICS does NOT provide primary electrical power to sign locations - responsibility of others.

Client Signature \_\_\_\_\_ Date \_\_\_\_\_

**LANDLORD APPROVAL**

Landlord Signature \_\_\_\_\_ Date \_\_\_\_\_

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**JOB NUMBER**  
**13671R**

**SHEET**  
**8**

SIGN  
1

DAVE'S HOT CHICKEN

SIGN  
2

DAVE'S HOT CHICKEN



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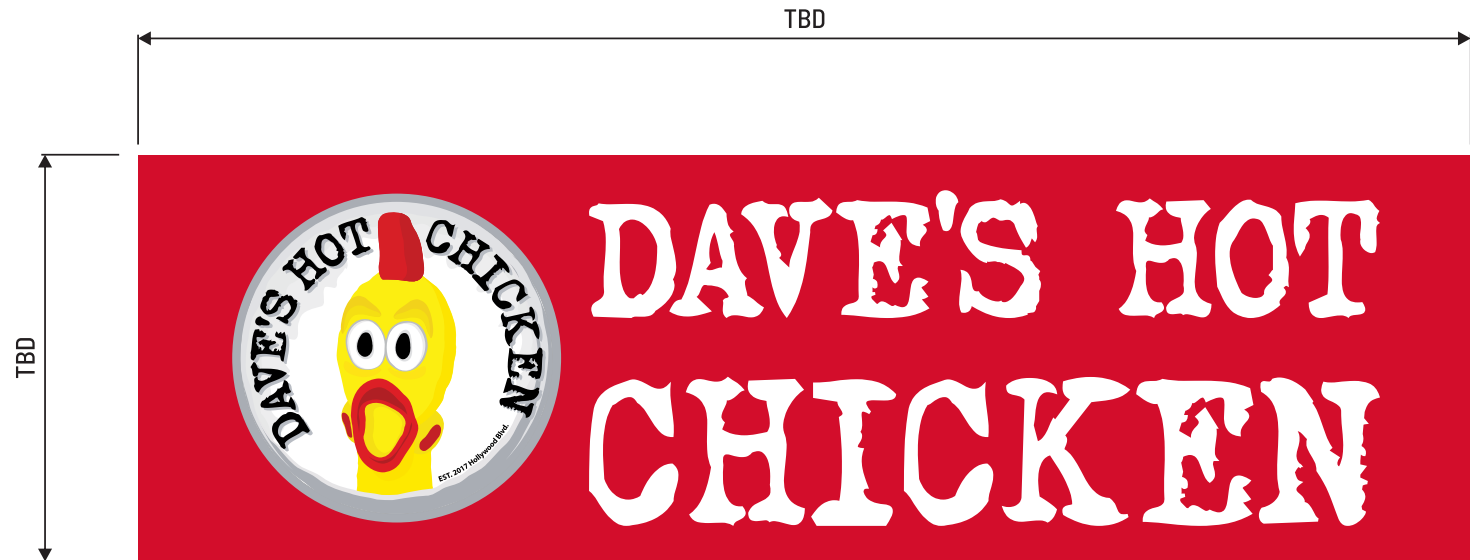


CLIENT APPROVAL  
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VISIBLE GRAPHICS does NOT provide primary electrical  
power to sign locations - responsibility of others.  
\_\_\_\_\_  
Client Signature Date

LANDLORD APPROVAL  
\_\_\_\_\_  
Landlord Signature Date

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JOB NUMBER  
**13671R**

SHEET  
**9**



FRONT VIEW  
SCALE: 1:10

**COLOR KEY**

	WHITE
	PMS 186 C
	DIGITALLY PRINTED VINYL

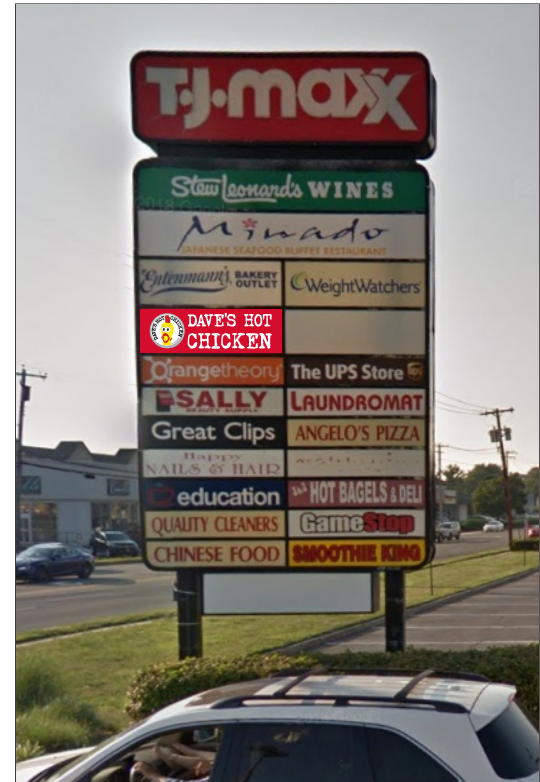
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.



EXISTING



PROPOSED



 9736 ETON AVENUE  
CHATSWORTH, CA 91311  
t 818.787.0477  
f 818.477.5123  
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PROJECT NAME:  
**DAVE'S HOT CHICKEN**  
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DESIGNER: JT



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\_\_\_\_\_  
Client Signature Date

LANDLORD APPROVAL  
\_\_\_\_\_  
Landlord Signature Date

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JOB NUMBER  
**13671R**

SHEET  
**10**


# TESLA SUPERCHARGER CARLE PLACE, NY - 209 GLEN COVE RD #21626

## 12 SUPERCHARGERS

### APN: 2289-10-N-00-0238-0

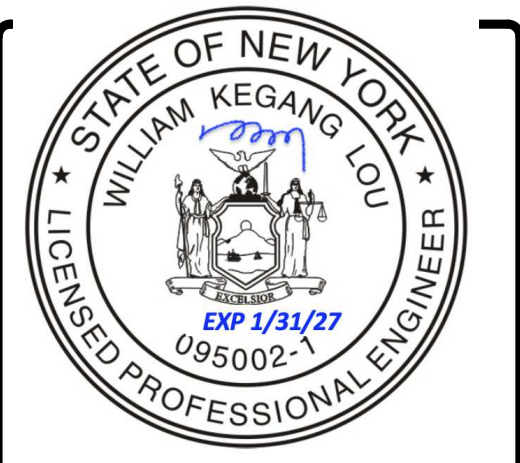
### TRT: 405103

TOWN OF NORTH HEMPSTEAD  
PERMITS  
CBP23-000286  
CEP23-000007



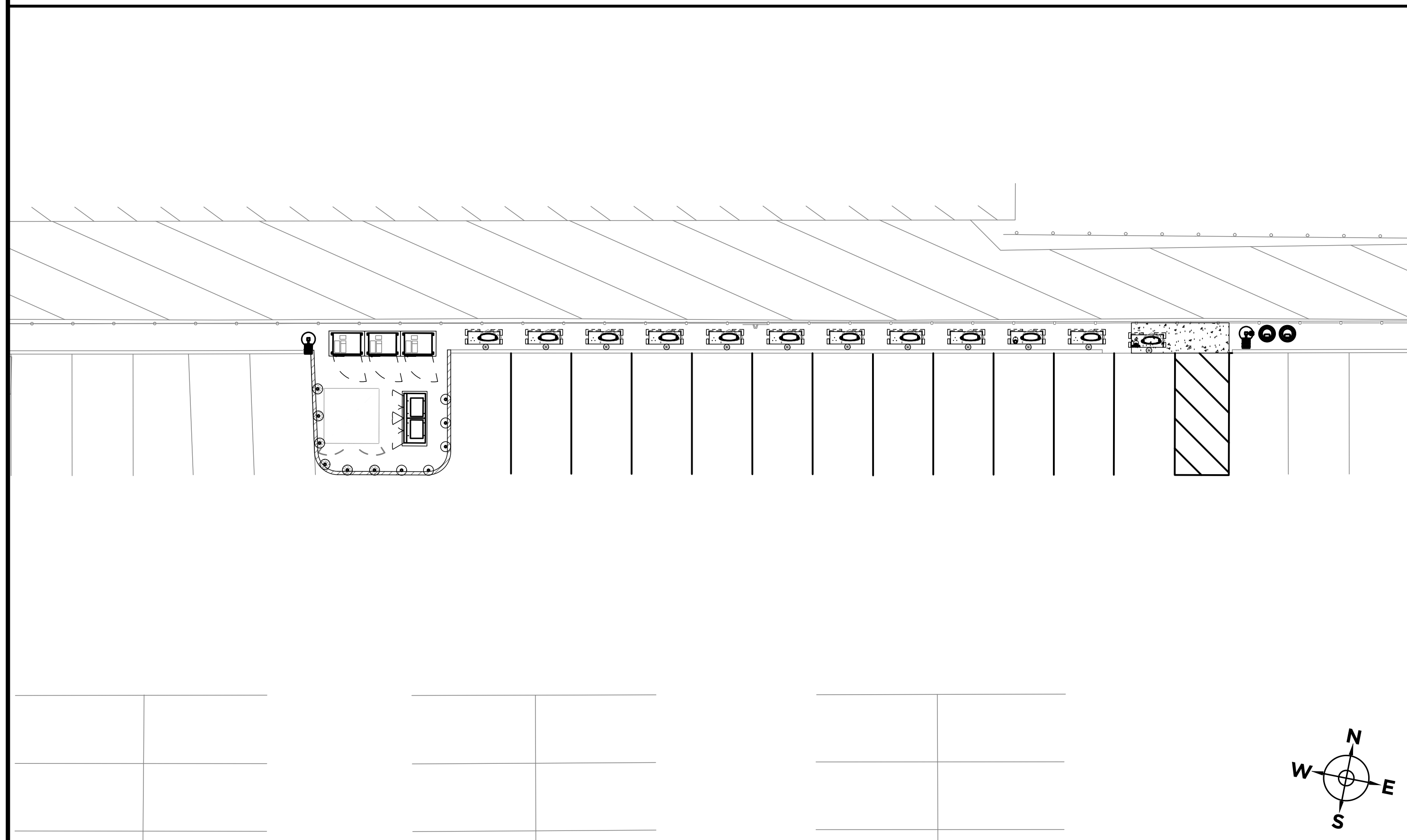
3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-5000

ORIGINAL SIZE 24"X36"  
SHEET SIZE ARCH "D"



William K Lou  
Digitally signed by William K Lou  
Date: 2024.07.24 16:40:52 -07'00'

SITE LAYOUT



AERIAL MAP



TESLA SUPERCHARGER\_CARLE PLACE, NY  
12 SUPERCHARGERS  
209 GLEN CLOVE RD  
CARLE PLACE, NY 11514

**ABBREVIATIONS**

AC	ALTERNATING CURRENT	LSIG	LONG TIME, SHORT TIME, INSTANTANEOUS GROUND
ADA	AMERICANS WITH DISABILITIES ACT	LV	LOW-VOLTAGE
BLDG	BUILDING	LVDC	LOW VOLTAGE DIRECT CURRENT
CLR	CLEAR	MAX	MAXIMUM
COMM	COMMUNICATION	MIN	MINIMUM
CONC	CONCRETE	MV	MEDIUM-VOLTAGE
DC	DIRECT CURRENT	(N)	NEW
DIA	DIAMETER	NEC	NATIONAL ELECTRIC CODE
DIST	DISTANCE	NIC	NOT IN CONTRACT
(E)	EXISTING	NRTL	NATIONALLY-RECOGNIZED TESTING LABORATORY
EA	EACH	NTS	NOT TO SCALE
EGC	EQUIPMENT GROUNDING CONDUCTOR	OC	ON CENTER
EMT	ELECTRICAL METALLIC TUBING	PCC	POINT OF COMMON COUPLING
EQ	EQUAL	PL	PROPERTY LINES
ERMS	ENERGY REDUCTION MAINTENANCE SETTINGS	PLC	POWER LINE COMMUNICATION
ESS	ENERGY STORAGE SYSTEM	PP	POWERPACK
EV	ELECTRIC VEHICLE	PSU	PRE-ASSEMBLED SUPERCHARGER UNIT
GAB	GRADED AGGREGATE BASE	PV	PHOTOVOLTAIC
GALV	GALVANIZED	PVC	POLYVINYL CHLORIDE
GEC	GROUNDING ELECTRODE CONDUCTOR	RSD	RAPID SHUTDOWN
GFP	GROUND FAULT PROTECTOR	SCCR	SHORT CIRCUIT CURRENT RATING
GND	GROUND	SCH	SCHEDULE
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	SQ. IN.	SQUARE INCHES
I	CURRENT	SS	STAINLESS STEEL
IMP	CURRENT AT MAX POWER	SSBJ	SUPPLY SIDE BONDING JUMPER
INV	INVERTER	SSD	SEE STRUCTURAL DRAWINGS
ISC	SHORT CIRCUIT CURRENT	STC	STANDARD TESTING CONDITIONS
KVA	KILOVOLT AMPERE	TYP	TYPICAL
KW	KILOWATT	UON	UNLESS OTHERWISE NOTED
KWH	KILOWATT-HOUR	VIF	VERIFY IN FIELD
LOS	LINE OF SIGHT	W	WATT

**PROJECT TEAM**

**STRUCTURAL ENGINEER OF RECORD:**  
PZSE STRUCTURAL ENGINEERS  
1478 STONE POINT DR. SUITE 190,  
ROSEVILLE, CA 95661  
P:(916)961-3960

**ELECTRICAL ENGINEER OF RECORD:**  
BILL LOU, PE, PH, D  
PAULICON CORPORATION  
3463 ASHTON COURT  
PALO ALTO, CA 94306  
(650) 269-6888  
PAULICONEE@GMAIL.COM

**PROJECT DESIGNER:**  
RODRIGO PINEDA  
TESLA, INC.  
3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-5000  
RODPINEDA@TESLA.COM

**DESIGN CRITERIA**

- WIND DESIGN
  - DESIGN WIND SPEED = 119 MPH (ULTIMATE)
  - RISK CATEGORY = II
  - WIND EXPOSURE = C
- SEISMIC DESIGN
  - RISK CATEGORY = II
  - SEISMIC IMPORTANCE FACTOR = 1.0
  - SITE CLASS = D
  - S<sub>s</sub> = 0.261 / S<sub>1</sub> = 0.057
  - S<sub>ds</sub> = 0.277 / S<sub>d1</sub> = 0.91
  - SEISMIC DESIGN CATEGORY = B
  - BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT
  - R = 2.5 / a<sub>p</sub> = 1.0
- GROUND SNOW LOAD = 25 PSF

**PROJECT SCOPE**

INSTALLATION OF SUPERCHARGERS AND ASSOCIATED AC AND DC EQUIPMENT.

INSTALLATION OF PRECAST EQUIPMENT PADS.

INSTALLATION OF NEW PARKING STRIPING, SIGNAGE AND ADA ACCESS FEATURES.

ASPHALT OVERLAY FOR PROPOSED EV ADA STALLS.

INSTALLATION OF NEW LED LIGHTING.

**SYSTEM SUMMARY**

SUPERCHARGER SYSTEM SUMMARY	
EQUIPMENT	QTY
V3 SUPERCHARGER CABINETS	3
V3/V4 SUPERCHARGER POSTS	12
UTILITY TRANSFORMER	1
SWITCHBOARD	1
LIGHT POLES	2

**SHEET INDEX**

SHEET #	SHEET TITLE
G-001	COVER PAGE
G-002	NOTES
G-101	DEMO PLAN
E-101	SITE PLAN
E-201	SINGLE LINE DIAGRAM
E-501	ELECTRICAL DETAILS
E-502	ELECTRICAL DETAILS (2)
S-300	OVERALL SITE PLAN
S-301	ENLARGED SITE PLAN
S-501	STRUCTURAL DETAILS
S-502	STRUCTURAL DETAILS (2)
S-601	CUTSHEETS

NO.	REVISION	DATE
A	PER A/H COMMENTS	12/6/23
B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

**COVER PAGE**

G-001

JB-1156153-00

REV: C    IFP

**GENERAL NOTES**

ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ANY OTHER REGULATING AUTHORITIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.

PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FROM TESLA OF ANY DISCREPANCIES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SUBCONTRACTORS SOLE EXPENSE.

SUBCONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO TESLA FOR APPROVAL BEFORE MAKING ANY CHANGES. DEVIATION FROM PLANS BEFORE WRITTEN APPROVAL FROM TESLA PLACES LIABILITY ON THE SUBCONTRACTOR.

ALL EQUIPMENT SHALL BE MOUNTED AS SHOWN, WHERE DETAILS ARE NOT PROVIDED, CONTRACTOR SHALL USE STANDARD CONSTRUCTION PRACTICES.

ALL SURFACES SHALL BE PATCHED AND PAINTED AROUND NEW DEVICES AND EQUIPMENT TO MATCH EXISTING FINISHES.

ANY METAL SHAVINGS FROM SITE WORK SHALL BE CLEANED FROM ALL SURFACES WHERE OXIDIZED OR CONDUCTIVE METAL SHAVINGS MAY CAUSE RUST, ELECTRICAL SHORT CIRCUITS, OR OTHER DAMAGE.

APPROVALS FROM BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS.

NEW PAVEMENT INSTALLED AS PART OF THIS PROJECT SHALL MATCH EXISTING PAVEMENT SECTION. ASPHALT AND GAB DEPTHS SHALL BE MAINTAINED.

**ELECTRICAL NOTES**

GENERAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AS AMENDED BY APPLICABLE STATE AND LOCAL CODES.
- ALL WIRING SHALL BE MANAGED IN A PROFESSIONAL, WORKMAN-LIKE MANNER AND MUST BE SUPPORTED, SECURED, AND PROTECTED TO PREVENT DAMAGE.
- AC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5 OR 215.12. UNLESS OTHERWISE REQUIRED BY ART 210.5(1) OR AHJ, COLOR-CODING OF POWER CONDUCTORS SHALL BE AS FOLLOWS:

CONDUCTOR	277/480V	120/208V
PHASE A	BROWN	BLACK
PHASE B	ORANGE	RED
PHASE C	YELLOW	BLUE
NEUTRAL	GRAY	WHITE

- DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED PER ART 210.5 OR 215.12:
- | CONDUCTOR | STD COLOR | ALT COLOR     |
|-----------|-----------|---------------|
| DC+       | RED       | RED-STRIPED   |
| DC-       | BLACK     | BLACK-STRIPED |

- TERMINATIONS OF AC, DC, AND COMMUNICATIONS CONDUCTORS SHALL BE PROFESSIONALLY AND LEGIBLY LABELED WITH CIRCUIT SCHEDULE IDENTIFIER, CONDUCTOR SIZE (AS APPLICABLE) AND TERMINATION TORQUE.
- ALL EQUIPMENT SHALL BE LISTED BY A NRTL IN COMPLIANCE WITH ART 110.3. WHERE EXISTING NRTL LISTING CANNOT BE MAINTAINED, ENGINEERING APPROVAL SHALL BE OBTAINED PRIOR TO EQUIPMENT MODIFICATION, AND THE EQUIPMENT SHALL BE RELISTED BY A SUITABLE NRTL.
- UNDERGROUND CONDUCTORS & CABLES TO BE INSTALLED IN CONDUIT UON.
- ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY NRTL LISTING.
- REFER TO MANUFACTURER'S CURRENT PLANNING AND INSTALLATION MANUAL FOR TORQUE SPECS FOR ALL BOLTS AND TERMINAL CONNECTIONS.
- ALL CONDUCTOR TERMINATIONS ON BUSSING OR TRANSFORMER SPADES SHALL BE MADE WITH HIGH-PRESS CRIMP LUGS UON.
- ALL TERMINATIONS OF ALUMINUM CONDUCTORS SHALL BE PROPERLY INSTALLED WITH BEST PRACTICES INCLUDING BUT NOT LIMITED TO:
  - USE OF TERMINATION EQUIPMENT RATED FOR ALUMINUM AT THE CONDUCTOR TEMPERATURE, CURRENT, AND VOLTAGE
  - ALLOWANCE FOR MOVEMENT DUE TO THERMAL EXPANSION/CONTRACTION
  - PROPER COATING OF EXPOSED ALUMINUM WITH ANTI-OXIDIZATION COMPOUND
  - USE OF CALIBRATED DEVICES TO TORQUE AND MARK TERMINALS TO REQUIRED SETTINGS
- DUCT SEAL COMPOUND SHALL BE APPLIED WHEREVER CONDUITS TRANSITION INDOOR/OUTDOOR OR UNDERGROUND/ABOVEGROUND. REFER TO EQUIPMENT NOTES FOR ADDITIONAL DUCT SEAL REQUIREMENTS.
- BELL ENDS SHALL BE INSTALLED WHEREVER CONDUIT ENTERS EQUIPMENT FROM UNDERGROUND AND WHEREVER POTENTIAL FOR DAMAGE TO CONDUCTORS IS PRESENT AT ANY POINT. BELL ENDS SHALL NOT PREVENT THE USE OF GROUNDING FITTINGS OR COUPLERS WHEN REQUIRED.
- ALL STUB-UPS WITHIN FLOOR-MOUNTED EQUIPMENT SHALL BE 3-5" ABOVE FINISHED GRADE.
- ALL CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL.
- GROUND LUGS SHALL BE RATED FOR THEIR ENVIRONMENT AND CONDITION OF USE.

**SUPERCHARGER NOTES**

- NEUTRAL MUST BE INCLUDED FOR PROPER OPERATION OF TESLA SUPERCHARGERS.
- ALL CONDUIT FURNISHED AND INSTALLED BY CONTRACTOR. ALL WIRING FURNISHED BY TESLA AND INSTALLED BY CONTRACTOR.
- ALL BUSHINGS AND WIRING INTERNAL OF PROPOSED SERVICE EQUIPMENT PROVIDED BY MANUFACTURER. ANY MODIFICATIONS SHALL REQUIRE ENGINEERING APPROVAL PRIOR TO ANY CHANGES BEING MADE.
- ALL ALUMINUM(AI) CONDUCTORS TO RECEIVE ANTI-OXIDATION COATING DURING INSTALLATION. ALL OTHER CONDUCTORS ARE COPPER UNLESS OTHERWISE NOTED.
- THE FOLLOWING CHARGING CABINETS AND THE CHARGING POSTS USED ON THIS PROJECT COMPLY WITH THE FOLLOWING STANDARDS:
  - IEC 61851-23: 2014 / EN 61851-23: 2014
  - UL 2202: 2009(R2012)
  - CAN CSA C22.2 NO. 107.1-01(R2011)
- THE AFOREMENTIONED STANDARDS IDENTIFY THE REQUIREMENTS MET BY THE EQUIPMENT, INCLUDING BUT NOT LIMITED TO:
  - PROTECTION AGAINST ELECTRIC SHOCK
  - OVERLOAD AND SHORT CIRCUIT PROTECTION
  - FAULT PROTECTION
  - DEGREES OF PROTECTION AGAINST ACCESS TO HAZARDOUS LIVE PARTS
  - THE INTERNAL COMPONENTS OF THE SYSTEM ARE PROPRIETARY. ANY QUESTIONS CONCERNING ACTUAL INTERNAL PROTECTIVE DEVICES MUST BE COORDINATED DIRECTLY WITH TESLA.

- TESLA SUPERCHARGER SIGNAL WIRING RATED 1000V AND USED FOR POWER LIMITED CLASS 1 CIRCUITS SHALL BE PERMITTED TO RUN IN CONDUITS, CABLE TRAYS, WIRE WAYS, OR RACEWAYS ALONG WITH ASSOCIATED DC CONDUCTORS AS ALLOWED PER NEC 725.48(B)(1) AND 620.36.
- SUPERCHARGER CABINET AC CONDUCTORS SIZED UNDER ENGINEERING SUPERVISION USING THERMAL MODELING SOFTWARE. SPECIFICATIONS ABOUT THE TRENCHING REQUIREMENTS ARE SHOWN IN E-501
- FOR DC RUNS IN EXCESS OF 330 FEET, CONTACT TESLA.
- UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC OR UL LISTED HDPE. THE ABOVEGROUND PORTION OF AN UNDERGROUND/ABOVEGROUND TRANSITION SHALL BE SCHEDULE 80 PVC OR UL LISTED HDPE.
- ABOVEGROUND CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RMC. ABOVEGROUND CONDUITS NOT EXPOSED TO VEHICULAR OR EQUIVALENT DAMAGE SHALL BE PERMITTED TO BE EMT.
- IF APPROVED BY TESLA CONSTRUCTION MANAGER, ALTERNATIVE CONDUIT MATERIALS SUCH AS FLEXIBLE OR FIBERGLASS ARE PERMISSIBLE IF INSTALLED PER MANUFACTURER INSTALLATION GUIDELINES AND LOCAL CODES.
- WIRE SPLICES ARE NOT PERMITTED TO EXTEND WIRE RUN LENGTH. CONTRACTOR IS RESPONSIBLE FOR RERUNNING FULL LENGTH OF WIRE IF RUN LENGTH IS MISCALCULATED.
- SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED CONCRETE ANCHORS.
- PLANT GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE FOR THE FIRST GROWING SEASON.
- IF EXISTING GRASS IS DAMAGED/REMOVED DURING CONSTRUCTION, CONTRACTOR SHALL APPLY SEED PER HYDROSEED METHOD. RATING OF SEED SHALL BE PER DISTRIBUTOR BASED ON SPECIES TYPE.
- CONTRACTOR SHALL MATCH EXISTING LANDSCAPE; USE GRASS, RIVER ROCK, MULCH ETC. TO MATCH EXISTING LANDSCAPE AROUND EQUIPMENT, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO INSTALL WEED BARRIER IN FRONT OF SUPERCHARGER CABINETS AND SWITCHBOARD. BARRIER TO EXTEND FULL WIDTH AND DEPTH OF NEC REQUIRED WORKING CLEARANCES.

**SCOPE OF WORK**

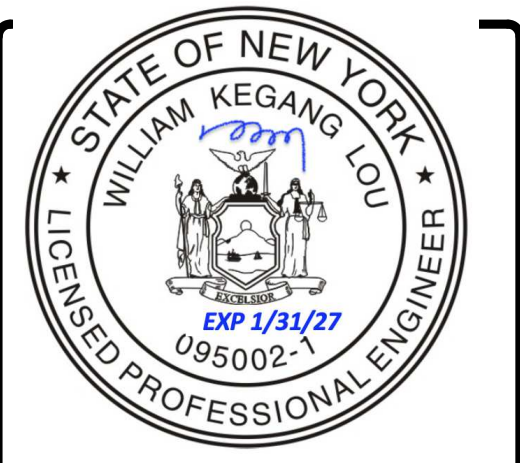
UTILITY	PSE&G-LONG ISLAND		
CATEGORY	ITEMS	TESLA	UTILITY
PRIMARY	PRIMARY TRENCHING	X	
	INSTALL PRIMARY CONDUIT	X	
	INSTALL PULL ROPE	X	
	INSTALL PRIMARY FEEDERS	X	
	PROVIDE PRIMARY FEEDERS	X	
TRANSFORMER	PAVEMENT REPLACEMENT	X	
	INSTALL TRANSFORMER PAD	X	
	PROVIDE TRANSFORMER		X
	INSTALL TRANSFORMER		X
	INSTALL CONNECTIONS - PRIMARY		X
SWITCHBOARD	INSTALL CONNECTIONS - SECD	X	
	PROVIDE METER		X
	INSTALL METER		X
	LAND SECONDARY FEEDERS	X	
	SECONDARY TRENCHING	X	
SECONDARY	INSTALL SECONDARY CONDUIT	X	
	INSTALL PULL ROPE	X	
	INSTALL SECONDARY FEEDERS	X	
	PROVIDE SECONDARY FEEDERS	X	
	PROVIDE ROAD CUTS / ROAD BORES	X	
	PAVEMENT REPLACEMENT	X	

**SITE LEGEND (EXISTING OBJECTS)**

- STORMWATER MANHOLE
- RAINWATER DRAIN
- STORMWATER DRAIN

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-5000

ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"



TESLA SUPERCHARGER\_CARLE PLACE, NY  
12 SUPERCHARGERS  
209 GLEN CLOVE RD  
CARLE PLACE, NY 11514

NO.	REVISION	DATE
A	PER AHJ COMMENTS	12/5/23
B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

**NOTES**

G-002

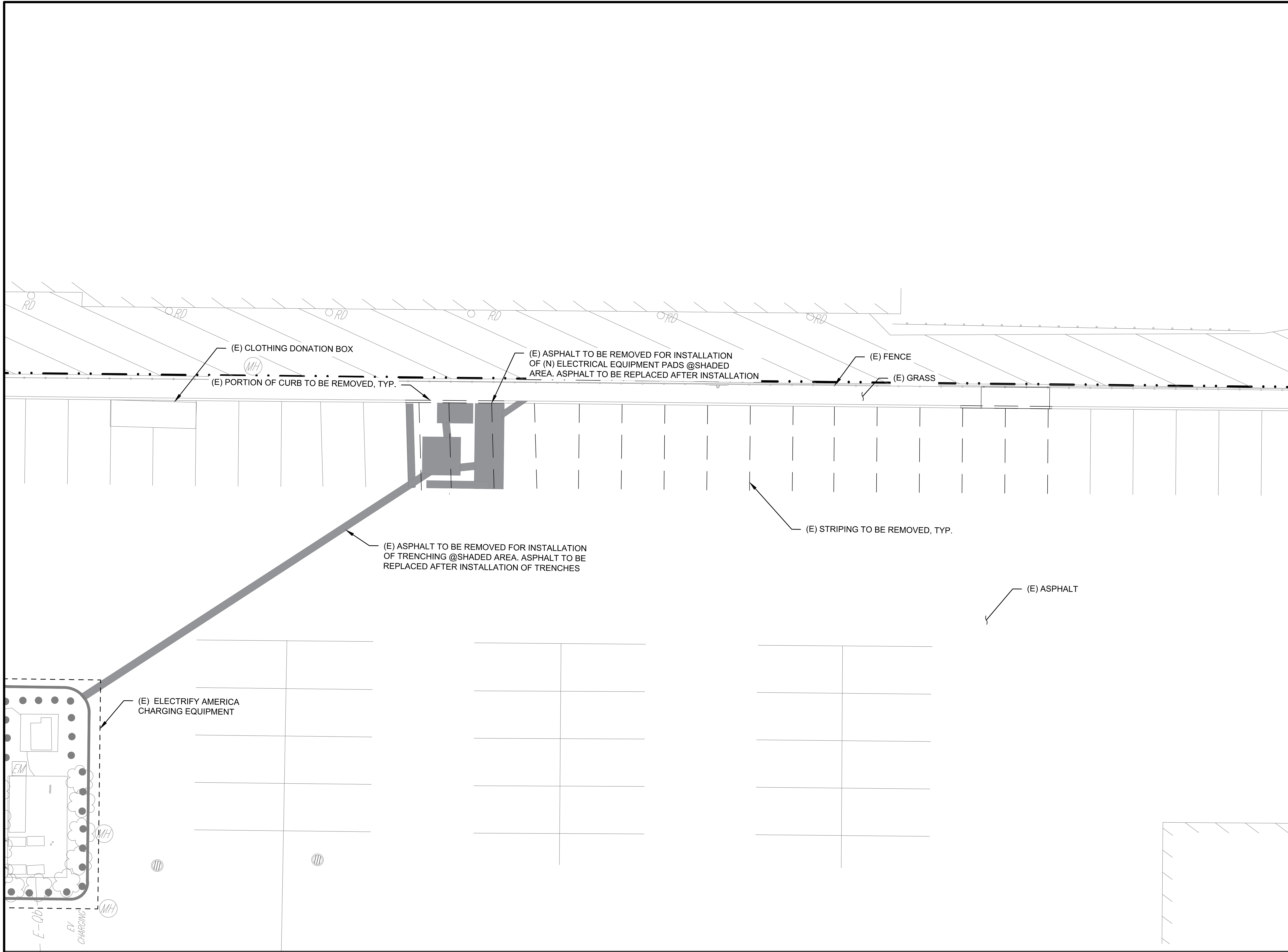
JB-1156153-00

REV: C | IFP



H | G | F | E | D | C | B | A

6  
5  
4  
3  
2  
1

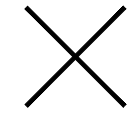
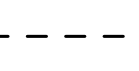




**NOTES**

THE CONTRACTOR SHALL REFER TO THE TRENCHING DETAILS ON THE ELECTRICAL DETAILS SHEET.

THE LIMITS OF HARDSCAPE REMOVAL ARE SHOWN AS FOR INFORMATION ONLY AND IT SHALL BE UP TO THE CONTRACTOR TO DETERMINE THE EXACT LIMITS.

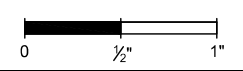
**SITE LEGEND**

-  ANY (E) OBJECT TO BE DEMOLISHED
-  ANY (E) ELEMENT TO BE REMOVED
-  HARDSCAPED AREA TO BE MODIFIED



3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-5000

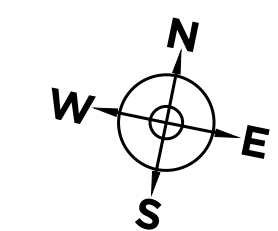
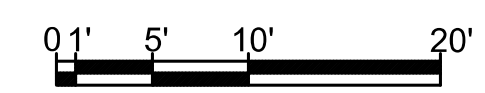
ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"




TESLA SUPERCHARGER\_CARLE PLACE, NY  
12 SUPERCHARGERS  
209 GLEN CLOVE RD  
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NO.	REVISION	DATE
A	PER AHJ COMMENTS	12/5/23
B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

**DEMOLITION PLAN**  
1" = 10'-0"

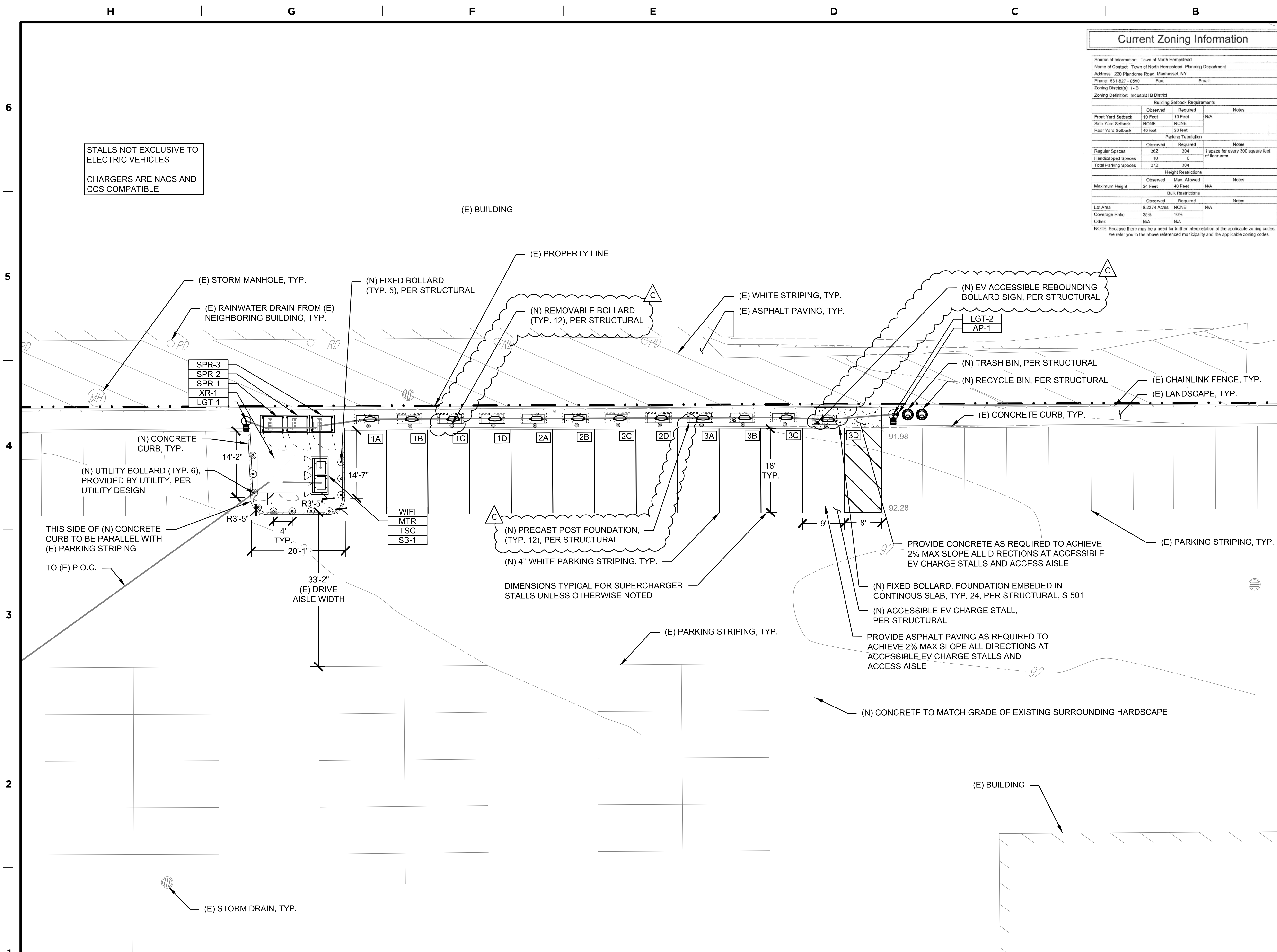


**DEMO PLAN**

G-101

JB-1156153-00

REV: C | IFP



Current Zoning Information			
Source of Information: Town of North Hempstead			
Name of Contact: Town of North Hempstead, Planning Department			
Address: 220 Plandome Road, Manhasset, NY			
Phone: 516-427-2590	Fax:	Email:	
Zoning District(s): I-B			
Zoning Definition: Industrial B District			
Building Setback Requirements			
	Observed	Required	Notes
Front Yard Setback	10 Feet	10 Feet	N/A
Side Yard Setback	NONE	NONE	
Rear Yard Setback	40 feet	20 feet	
Parking Tabulation			
	Observed	Required	Notes
Regular Spaces	362	304	1 space for every 300 square feet
Handicapped Spaces	10	0	
Total Parking Spaces	372	304	
Height Restrictions			
	Observed	Max. Allowed	Notes
Maximum Height	24 Feet	40 Feet	N/A
Bulk Restrictions			
	Observed	Required	Notes
Lot Area	8.2374 Acres	NONE	N/A
Coverage Ratio	25%	10%	
Other:	N/A	N/A	
NOTE: Because there may be a need for further interpretation of the applicable zoning codes, we refer you to the above referenced municipality and the applicable zoning codes.			

### SITE LEGEND

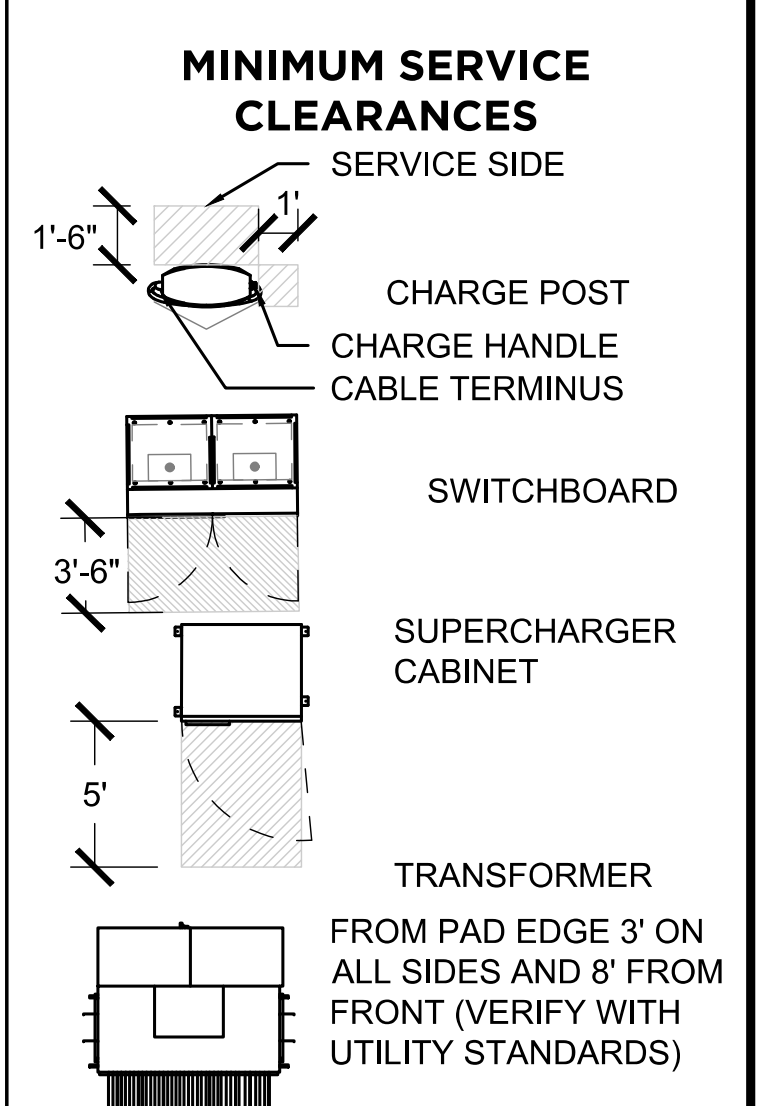
- (N) CONDUIT ROUTE, SHOWN FOR DIAGRAMMATIC PURPOSES ONLY.
- (N) UTILITY BOLLARD
- (N) FIXED BOLLARD
- (N) FIXED BOLLARD NO FOUNDATION
- (N) SIGN
- (N) CONCRETE PAVING
- SPOT ELEVATION
- (E) XX.XX EXISTING ELEVATION
- (N) REMOVABLE BOLLARD
- (N) REBOUNDING BOLLARD SIGN

### PARKING STALL SCHEDULE

EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	16
PROPOSED TESLA STALLS	12
PROPOSED STANDARD STALLS	0
<b>NET STALL COUNT</b>	<b>4</b>

### CHARGING STALLS SCHEDULE

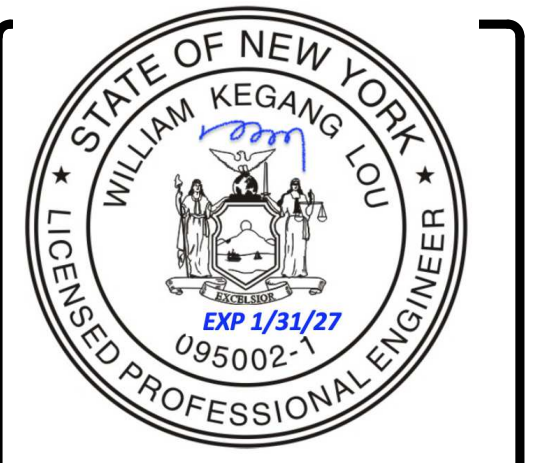
SUPERCHARGER CABINET	POST TAG	SIGN TYPE
3	3A	-
	3B	-
	3C	-
	3D	ACCESSIBLE



- ### NOTES:
- UTILITY EQUIPMENT/FOUNDATION DIMENSIONS AND LOCATIONS PER UTILITY. CONTRACTOR TO VERIFY AGAINST EXECUTED UTILITY DESIGN.
  - UTILITY BOLLARDS PER UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY ON LOCATION, QUANTITY, AND SPECS.
  - CONTRACTOR TO REFER TO EXECUTED UTILITY DESIGN FOR PRIMARY AND POINT OF CONNECTION DETAILS.
  - FOR (N) ACCESSIBLE EV CHARGING AREA(S), CONTRACTOR TO FIELD VERIFY SLOPES ARE COMPLIANT PER ACCESSIBLE STALL DETAIL (REF. ARCHITECTURAL OR STRUCTURAL SHEETS). REGRADE AND ADD ASPHALT OVERLAY, NEW FULL DEPTH ASPHALT, AND/OR ASPHALT MILLING IF REQUIRED. EXISTING SPOT ELEVATIONS ARE APPROXIMATE PER SURVEY DATA AND ARE TO BE FIELD VERIFIED BY CONTRACTOR.

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-5000

ORIGINAL SIZE 24"X36"  
SHEET SIZE ARCH "D"



TESLA SUPERCHARGER\_CARLE PLACE, NY  
 12 SUPERCHARGERS  
 209 GLEN CLOVE RD  
 CARLE PLACE, NY 11514

NO.	REVISION	DATE
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B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

### SITE PLAN

E-101

JB-1156153-00

REV: C    IFF

## ELECTRICAL SITE PLAN

1" = 10'-0"

### EQUIPMENT TAGS

WIFI	WIFI BROADCAST UNIT	XR-#	TRANSFORMER (PROVIDED BY UTILITY PER UTILITY DESIGN)	TSC	TESLA SYSTEM CONTROLLER
AP-#	SUPPLEMENTARY ACCESS POINT	SB-#	SWITCHBOARD	MTR	UTILITY METER (PROVIDED BY UTILITY PER UTILITY DESIGN)
		SPR-#	SUPERCHARGER CABINET	#X	SUPERCHARGER POST
				LGT-#	LIGHT

### PARKING SIGNS

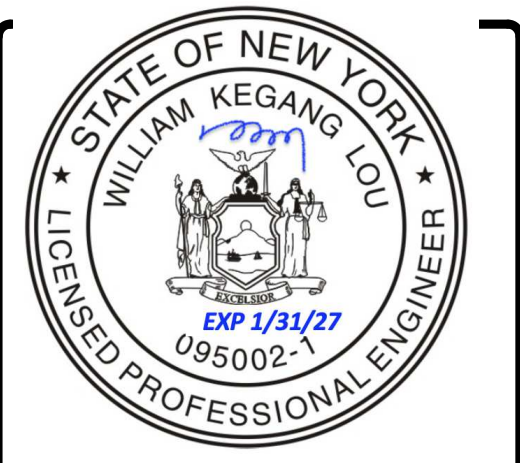
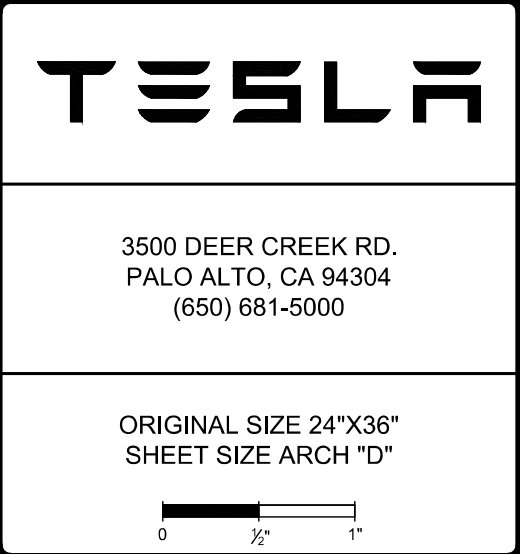
ACCESSIBLE

# LOAD SCHEDULE

SWITCHBOARD "SB-1" LOAD SCHEDULE						
CKT NO	TRIP AMPS	DESCRIPTION	VOLT-AMPS			CKT NO
			A	B	C	
1	600	SUPERCHARGER #1	129,000	-	-	2
3	"	"	-	129,000	-	4
5	"	"	-	-	129,000	6
7	15	MONITORING + WIFI	200	-	-	8
9	"	"	-	200	-	10
11	15	SPARE	-	-	-	12
13						
15						
17						
TOTALS			PHASE	A	B	C
			APPARENT POWER	387 kVA	387 kVA	387 kVA
			CURRENT	1,396 A	1,396 A	1,396 A

## EQUIPMENT NOTES

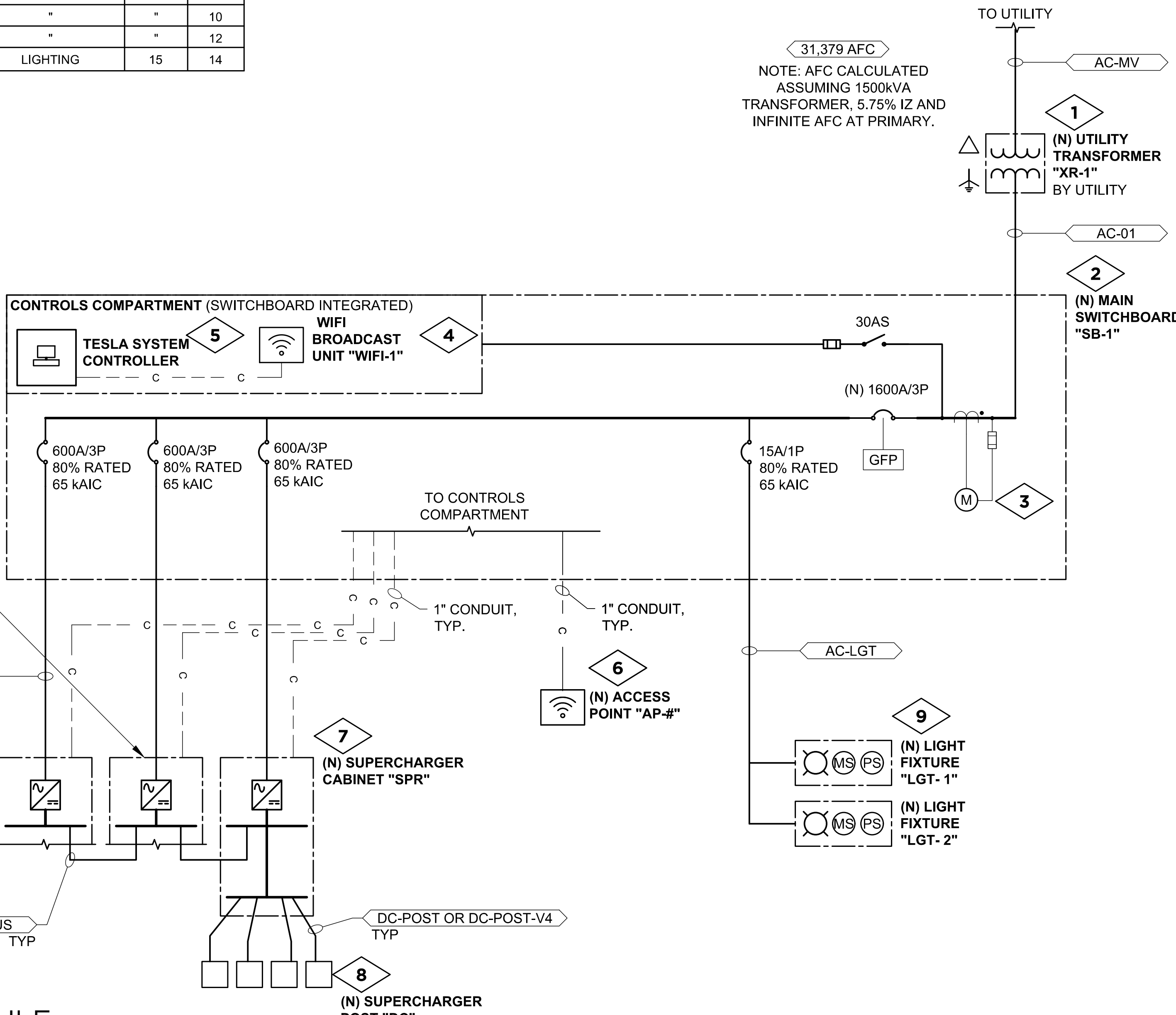
- (N) UTILITY TRANSFORMER "XR-1"
  - SIZE & PRIMARY VOLTAGE PER UTILITY (3) 2/C #2 AL JACKETED CONCENTRIC NEUTRAL 15 kV, SHIELDED, CROSS-LINKED POLYETHYLENE INSULATED CABLES
  - SECONDARY 480Y/277V
- (N) MAIN SWITCHBOARD "SB-1"
  - 480/277 VAC, 1600A
  - 1600A MAIN BREAKER, 100%-RATED, LSIG AND ERMS
  - 65 kAIC
  - NEMA 3R
- (N) UTILITY METER
  - METER # TBD
- (N) WIFI BROADCAST UNIT "WIFI-1" IN SWITCHBOARD
  - INTERNALLY FUSED IN CONTROLS COMPARTMENT
  - UNIT PRE-INSTALLED IN SWITCHBOARD
  - CRADLEPOINT # R1900 BROADCAST UNIT
  - CRADLEPOINT # RX30 POE SWITCH TO SUPPLY ACCESS POINT UNIT(S)
- (N) TESLA SYSTEM CONTROLLER
  - INTERNALLY FUSED
- (N) ACCESS POINT "AP-#"
  - ARUBA # AP-565 SUPPLEMENTARY ACCESS POINT FED FROM BROADCAST UNIT
  - COMES WITH ACCESSORY MOUNTING BRACKET
  - POWER OVER ETHERNET
  - REF STRUCTURAL DRAWINGS FOR GROUNDING
  - IP66/67
  - (#) TOTAL REPEATERS
- (N) SUPERCHARGER CABINET "SPR"
  - (3) SUPERCHARGER CABINETS
  - 480VAC, 3PH, 4W
  - 465A MAX AC INPUT
  - DC OUTPUT TO 4 CHARGE POSTS MAX EACH SUPERCHARGER CABINET
  - 85 kA SCCR
- (N) SUPERCHARGER POST "DC"
  - 250KW
  - (12) SUPERCHARGER POSTS
  - 0 VDC - 500 VDC
- (N) LIGHT FIXTURE "LGT"
  - LINMORE LL-SL1-SM-75-40K-T3-UNV-SA-SN
  - 75W, 120-277VAC
  - INTEGRATED PHOTO AND MOTION SENSOR
  - POLE MOUNTED
  - (1) LED MODULE WITH 4000K LIGHTING COLOR TEMPERATURE CAST PER FIXTURE
  - CAST ALUMINUM BODY, IP65 RATED
  - -40°C MIN REQUIRED AMBIENT TEMPERATURE
  - (2) TOTAL FIXTURES



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B	POST FOUNDATION AND BOLLARDS	02/13/24	
C	POST FOUNDATION AND BOLLARDS	07/11/24	

SINGLE LINE DIAGRAM  
 E-201  
 JB-1156153-00  
 REV: C IFF



31,379 AFC  
 NOTE: AFC CALCULATED ASSUMING 1500kVA TRANSFORMER, 5.75% IZ AND INFINITE AFC AT PRIMARY.

## SYSTEM PLACARDS

TESLA SUPERCHARGER  
 209 GLEN COVE RD

ATTACH ON FRONT OF SWITCHBOARD

TESLA EV SYSTEM DISCONNECT

ATTACH ON SWITCHBOARD MAIN DISCONNECT

PLACARD NOTES:  
 PLACARDS TO BE MADE OF RED PHENOLIC PLASTIC W/ 1" WHITE LETTERING. ATTACH PLACARDS WITH RIVETS OR SELF-TAPPING SCREWS  
 ADDITIONAL PLACARDS REQUIRED FOR ARC FLASH LABELS

## AC CIRCUIT SCHEDULE

CIRCUIT #	CONDUCTOR METAL UON	# OF CONDUITS	# PHASE CONDUCTORS PER CONDUIT	PHASE CONDUCTOR SIZE	NEUTRAL CONDUCTOR SIZE	EGC	SSBJ	MAX CIRCUIT LENGTH	WIRE TYPE	CONDUIT TYPES	MIN CONDUIT SIZE (IN)
AC-SPR	AL	2	3	500 KCMIL	500 KCMIL	AWG 2/0 (AL) OR AWG 1 (CU)	-	600'	XHHW-2	PVC, RMC, EMT	4
AC-LGT	CU	1	1	12 AWG	12 AWG	12 AWG	-	150'	THWN-2	PVC, RMC, EMT	1
AC-MV	AL	1	3	1/0 AWG	1/0 AWG	-	-	150'	133% - MV105	PVC	5
AC-01	AL	6	3	500 KCMIL	500 KCMIL	AWG 2/0 (AL) OR AWG 1 (CU)	-	150'	THWN-2	PVC	4

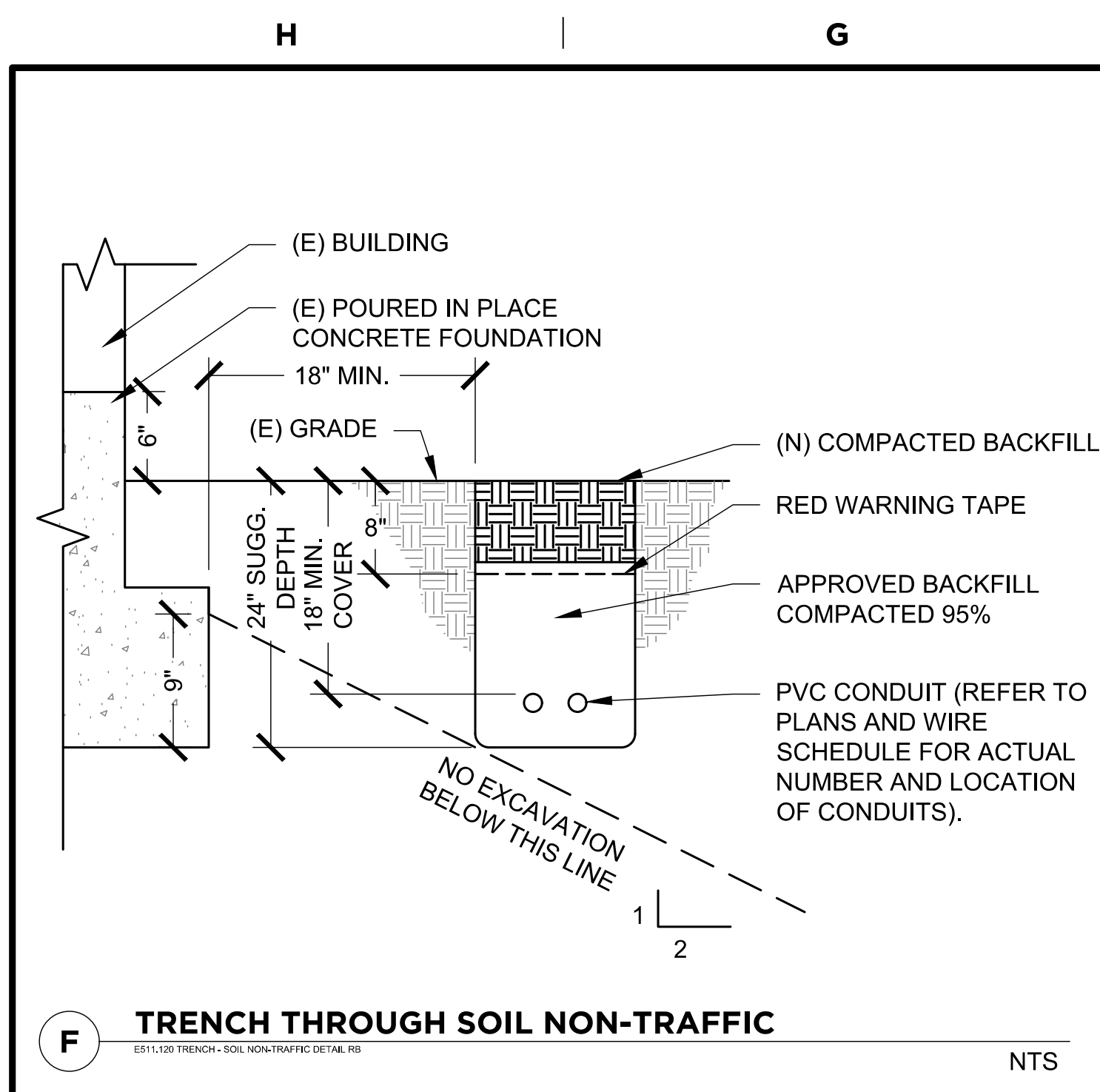
## DC CIRCUIT SCHEDULE

CIRCUIT #	CONDUCTOR METAL UON	# OF CONDUITS	# POWER CONDUCTORS PER CONDUIT	POWER CONDUCTOR SIZE	EGC	LVDC	SIGNAL WIRE	DC MID	MAX CIRCUIT LENGTH	WIRE TYPE	CONDUIT TYPES	MIN CONDUIT SIZE (IN)
DC-POST*	AL	1	4	350 KCMIL	AWG 2/0 (AL) OR AWG 1 (CU)	-	TESLA PROVIDED	-	330'	XHHW-2 (1000V)	PVC, RMC, EMT, HDPE	4
DC-POST-V4*	AL	1	4	600 KCMIL	AWG 2/0 (CU)	-	TESLA PROVIDED	-	330'	XHHW-2 (1000V)	PVC, RMC, EMT, HDPE	4
DC-BUS	AL	2	2	600 KCMIL	AWG 1/0 (CU)	-	-	AWG 3/0	900'	XHHW-2 (1000V)	PVC, RMC, EMT	3

\*CONFIRM WITH TESLA CONSTRUCTION MANAGER WHICH CIRCUITING WILL BE USED FOR FINAL INSTALLATION. "DC-POST" CIRCUIT APPLIES TO "V3" TYPE CHARGING POSTS AND "DC-POST-V4" APPLIES TO "V4" TYPE CHARGING POST. PROVIDE ONE CIRCUIT TYPE PER POST.

## LEGEND

- BUSSING
- CONDUCTORS
- SHIELDED CAT6 CABLE
- CIRCUIT BREAKER
- SWITCH
- FUSE
- CURRENT TRANSFORMER
- POWER TRANSFORMER
- DELTA TRANSFORMER WINDING
- DELTA HIGH-LEG TRANSFORMER WINDING
- WYE TRANSFORMER WINDING
- GROUNDING WYE TRANSFORMER WINDING
- EQPT. ENCLOSURES
- METER
- AC-DC OR DC-AC CONVERTER
- LIGHT WITH MOTION AND PHOTO SENSOR
- WIFI CONNECTION



**BREAKER SETTINGS**

MAIN SWITCHBOARD SB-1, MCB 1600A ZPOWER			
DESIGNATION	FRAME	PHASE	GROUND
	AIC kA	1,600	1,600
	MFR	65	65
	EATON	EATON	EATON
FRAME	TYPE MODEL	MPN-616	MPN-616
	SENSOR AMPS	1,600	1,600
	PLUG AMPS	1,600	1,600
TRIP UNIT	DESCRIPTION	LSI, 1600AF, 200-1600AP	GF, 800-6000AF
	TYPE/MODEL	MAGNUM PXR20	MAGNUM PXR20
TRIP UNIT SETTINGS (1600A TRIP)	LONG DELAY PICKUP ( $I_L$ )	1 (1600A)	
	LONG DELAY TIME ( $t_L$ )	24s	
	SHORT DELAY PICKUP ( $I_{Ld}$ )	2.5 (4000A)	
	SHORT DELAY TIME ( $t_{Ld}$ )	0.1s	
	INSTANTANEOUS PICKUP ( $I_I$ )	6 (9600A)	
	GROUND FAULT PICKUP ( $I_g$ )		0.75 (1200A)
	GROUND FAULT DELAY TIME ( $t_g$ )		0.5s

SUPERCHARGER CABINET BREAKERS	
PD-3 THERMAL-MAG TRIP UNIT (600A TRIP)	
INSTANTANEOUS (I <sub>I</sub> ): 5 (3000A)	

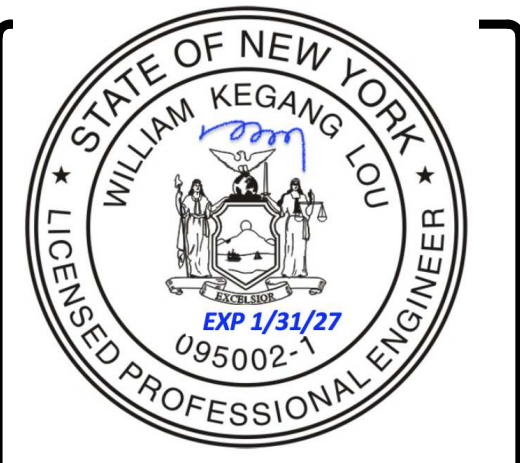
**TRENCHING NOTES**

- THE TRENCH DESIGNS FOR ALL VEHICLE CHARGING CIRCUITS REQUIRING RHO VALUES ARE THE RESULT OF A THERMAL ANALYSIS OF THE CONDUCTORS UNDER LOAD. FOR PROPER PROTECTION THEY MUST BE FOLLOWED.
- APPROVED BACKFILL REQUIRES DOCUMENTATION THAT SPECIFIES TESTED RHO VALUE. USE THE SPECIFIED BACKFILL LISTED BELOW OR TEST NATIVE SOIL CONDITIONS TO CONFIRM MAX DEFINED RHO VALUES. MINIMUM 2" OF APPROVED BACKFILL COVERAGE AROUND CONDUITS REQUIRED.
- RHO 90 BACKFILL** - LOW STRENGTH FLUIDIZED THERMAL (SLURRY) BACKFILL WITH MIN 28 DAY COMPRESSIVE STRENGTH OF 150 PSI MUST BE USED TO ACHIEVE MAX RHO 90.
- FOR TRENCHES WITH MIXED CIRCUIT TYPES, APPLY THE CONDUIT SPACING FOR THE CIRCUIT TYPE WITH THE LARGER SPACING REQUIREMENT.
- CONDUIT TO BE INSTALLED TO A MAX COVER OF 24". ADDITIONAL REDUCED COVERS MAY BE FOUND IN NEC TABLE 300.5.
- CONDUIT ARE PERMITTED TO HAVE GREATER THAN 24" COVER FOR SHORT DISTANCES WHERE REQUIRED TO CROSS UNDER (E) UTILITY LINES, TO ALLOW FOR NEC REQUIRED MIN RADIUS FOR CONDUIT TURN-UPS INTO PAD-MOUNTED EQUIPMENT, TO AVOID (E) OBSTRUCTIONS, ETC.

**TESLA**

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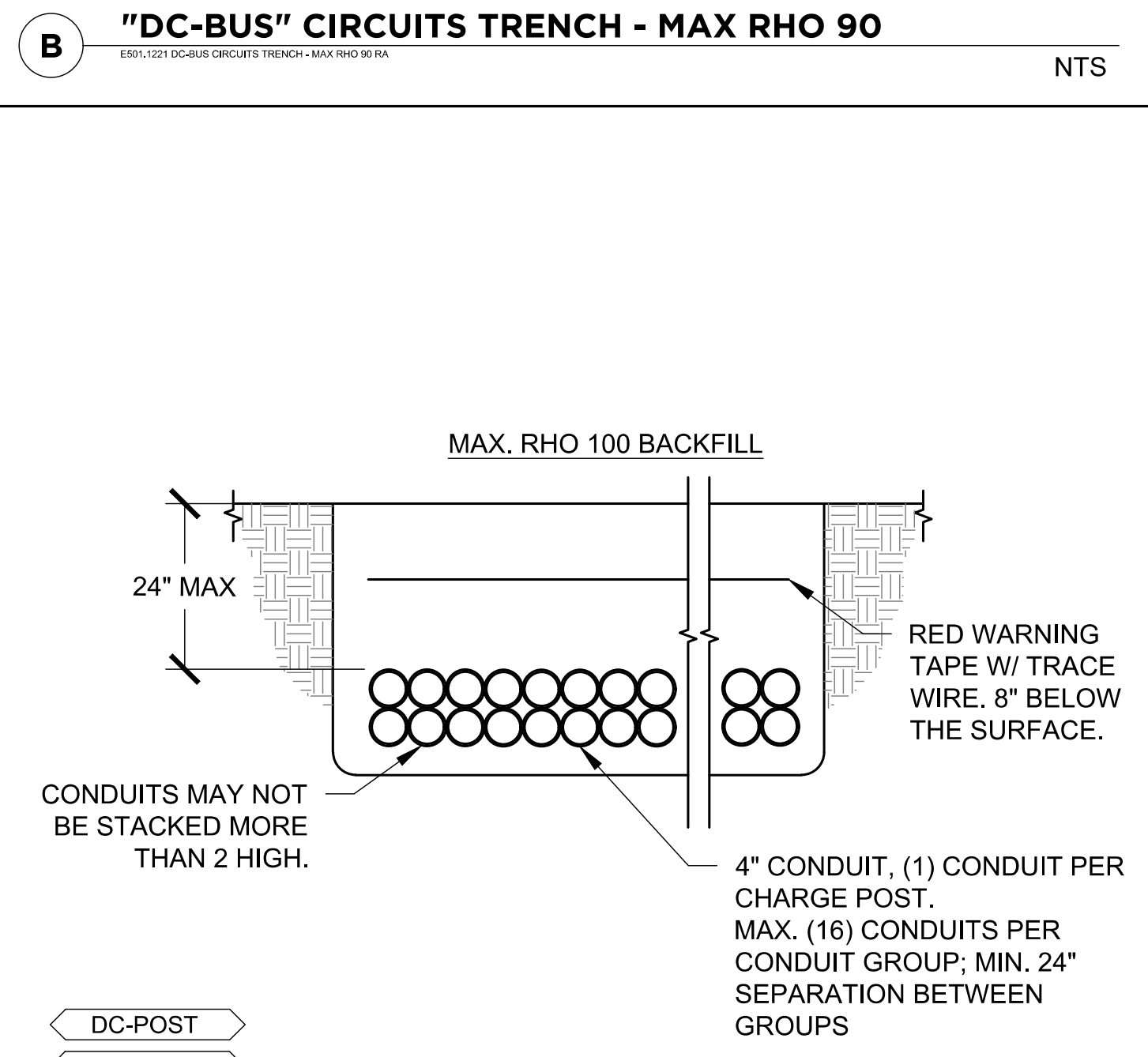
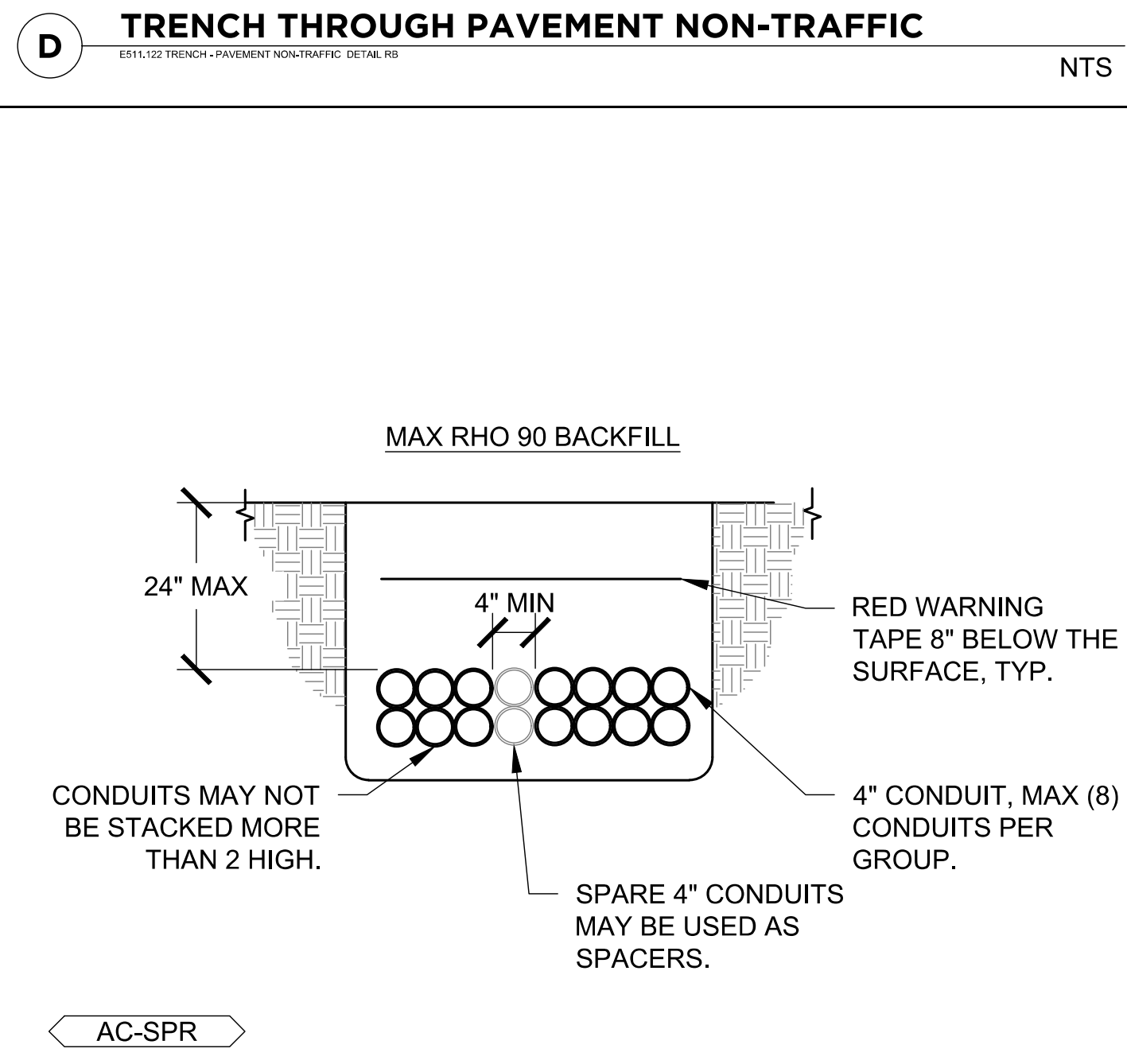
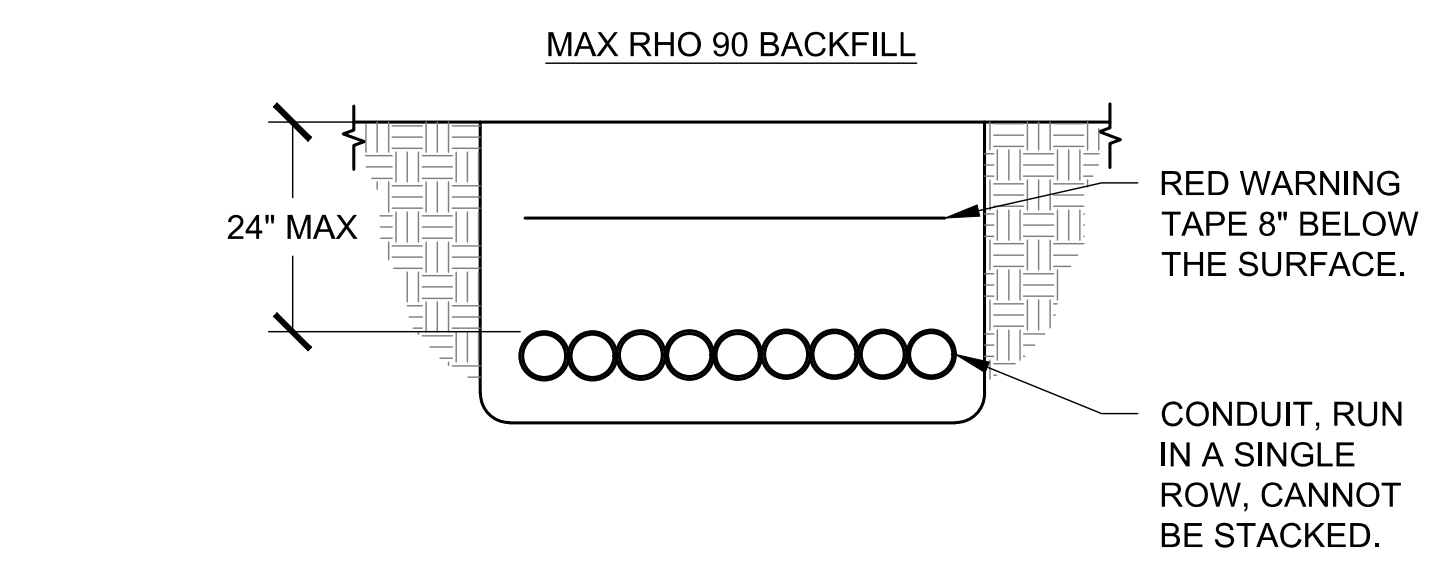
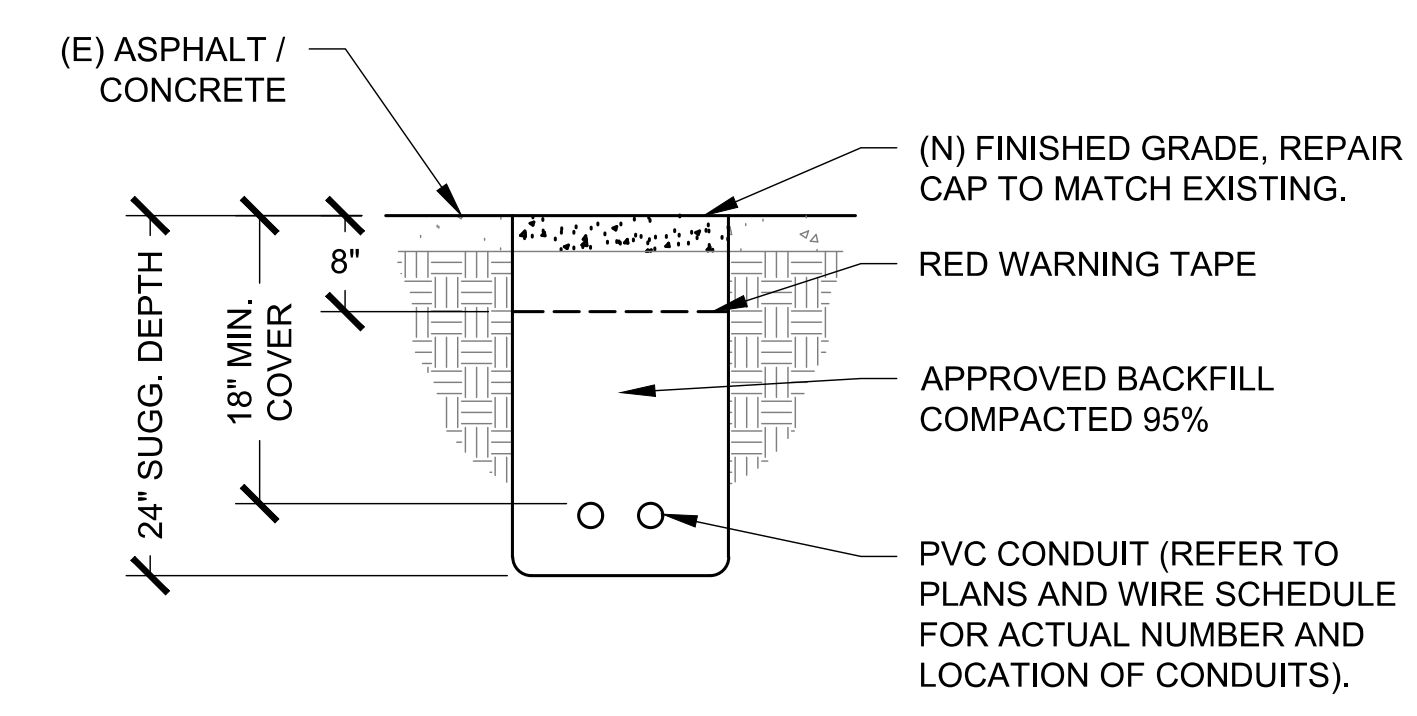
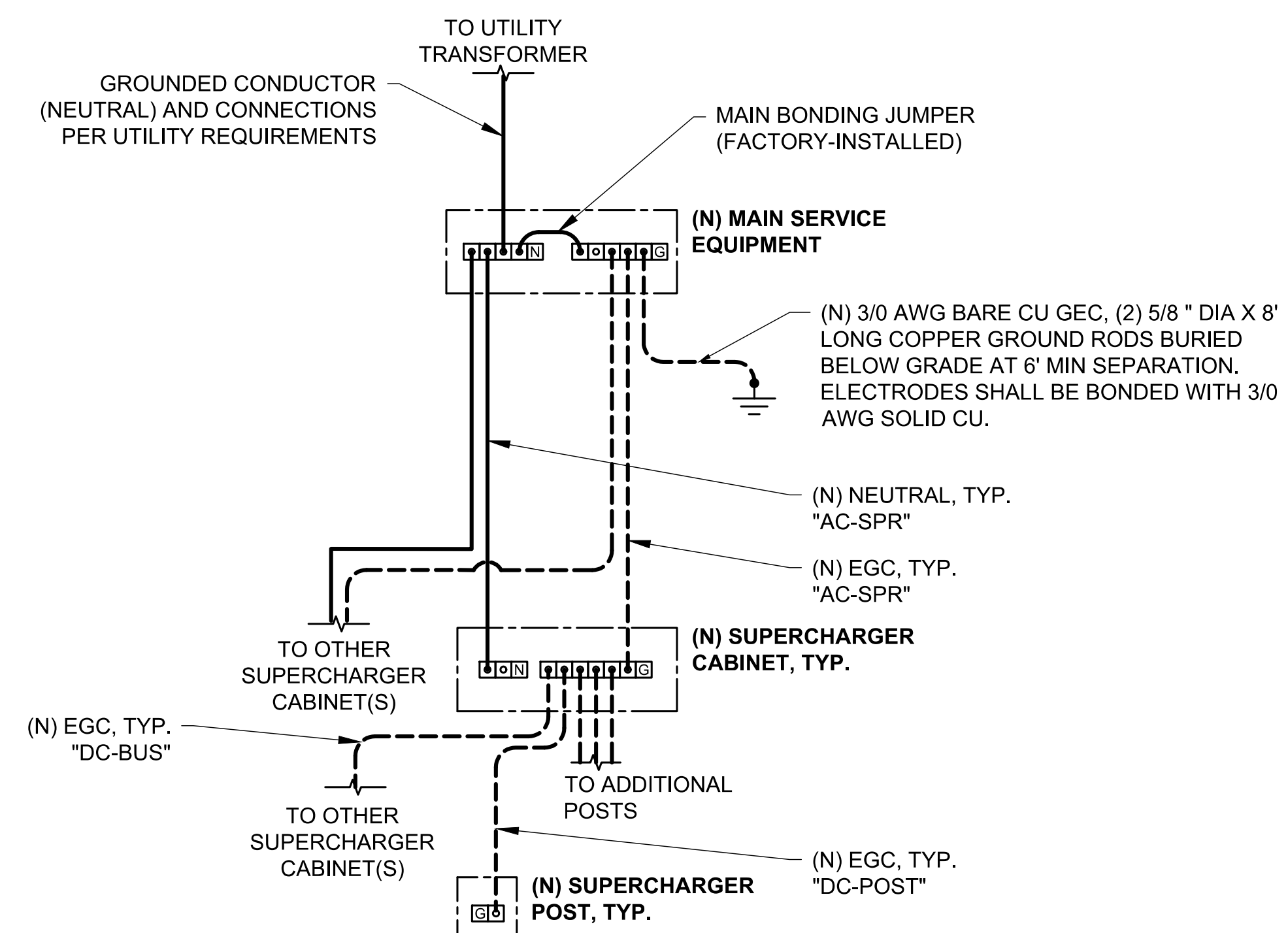


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 12 SUPERCHARGERS  
 209 GLEN CLOVE RD  
 CARLE PLACE, NY 11514

- NOTES**
- REFER TO ONE-LINE DIAGRAM FOR SPECIFIC CIRCUIT IDENTIFIERS BETWEEN EQUIPMENT.
  - REFER TO AC & DC CIRCUIT SCHEDULES FOR NEUTRAL/GROUND SIZING PER CIRCUIT.

**LEGEND**

- ☐ NEUTRAL BUSBAR
- ☐ GROUND BUSBAR
- ☐ PRIMARY OR SECONDARY COMMON TERMINAL, AS APPLICABLE
- ☐ TERMINAL ON NEUTRAL OR GROUND BUSBAR
- IRREVERSIBLE SPLICE OR CRIMP PER NEC 250.64(C)
- ⚡ NEC 250.52(A)-COMPLIANT GROUNDING ELECTRODE



NO.	REVISION	DATE
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C	POST FOUNDATION AND BOLLARDS	07/11/24

**ELECTRICAL DETAILS**

E-501

JB-1156153-00

REV: C | IFF

6

5

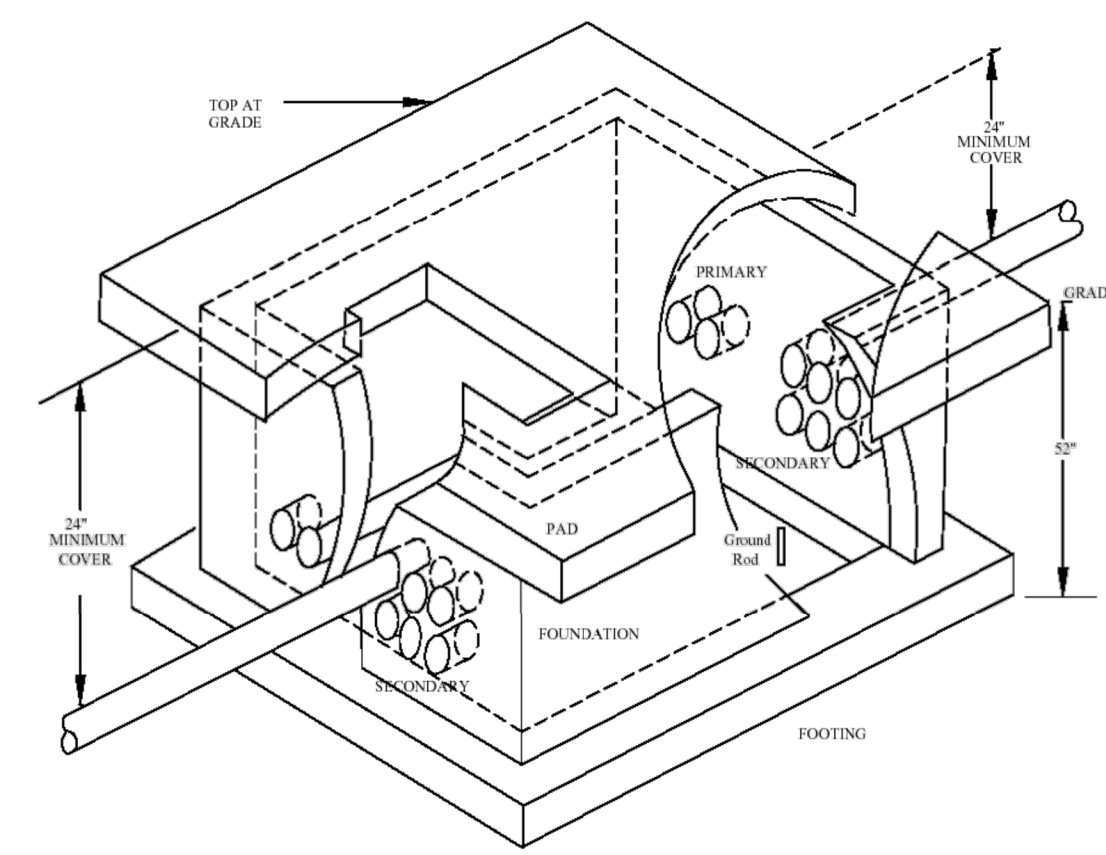
4

3

2

1

**THREE PHASE PADMOUNTED TRANSFORMER SPECIFICATIONS**



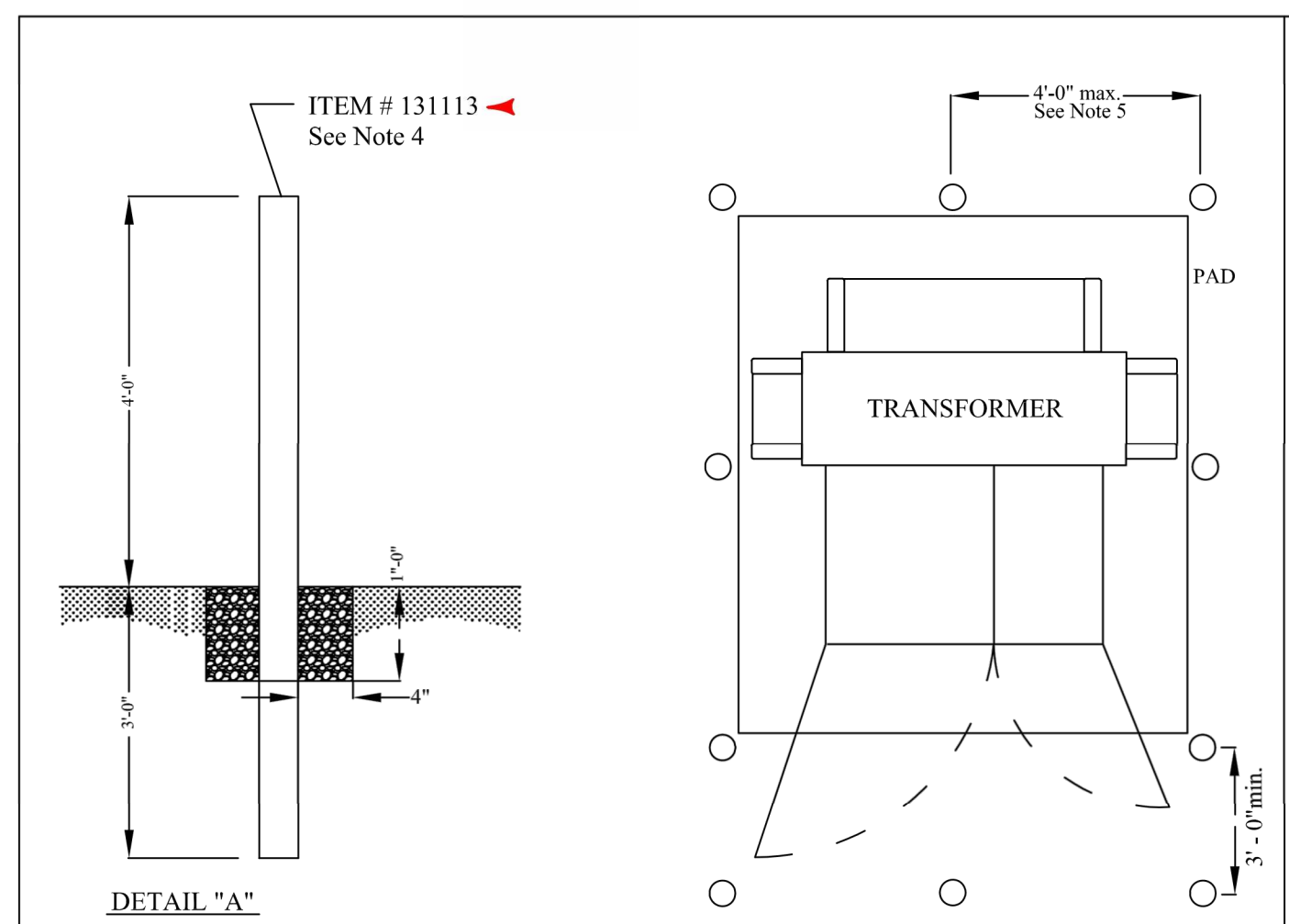
NOT TO SCALE

Illustration #1  
Isometric View of Footing, Foundation and Pad Top

Preparation of sub-grade for footing and foundation.

1. Remove 52" of soil to reach undisturbed earth.
2. Install precast footing and foundation.
3. Install conduits and grout entrances.
4. Install plugs or caps on all unused duct entrances.
5. Backfill outside foundation with clean fill, mechanically compacted every 12". **DO NOT** backfill inside the foundation.

4



DETAIL "A"

Reference Drawings  
CS-5362 Dead Front Transformers

**NOTES:**

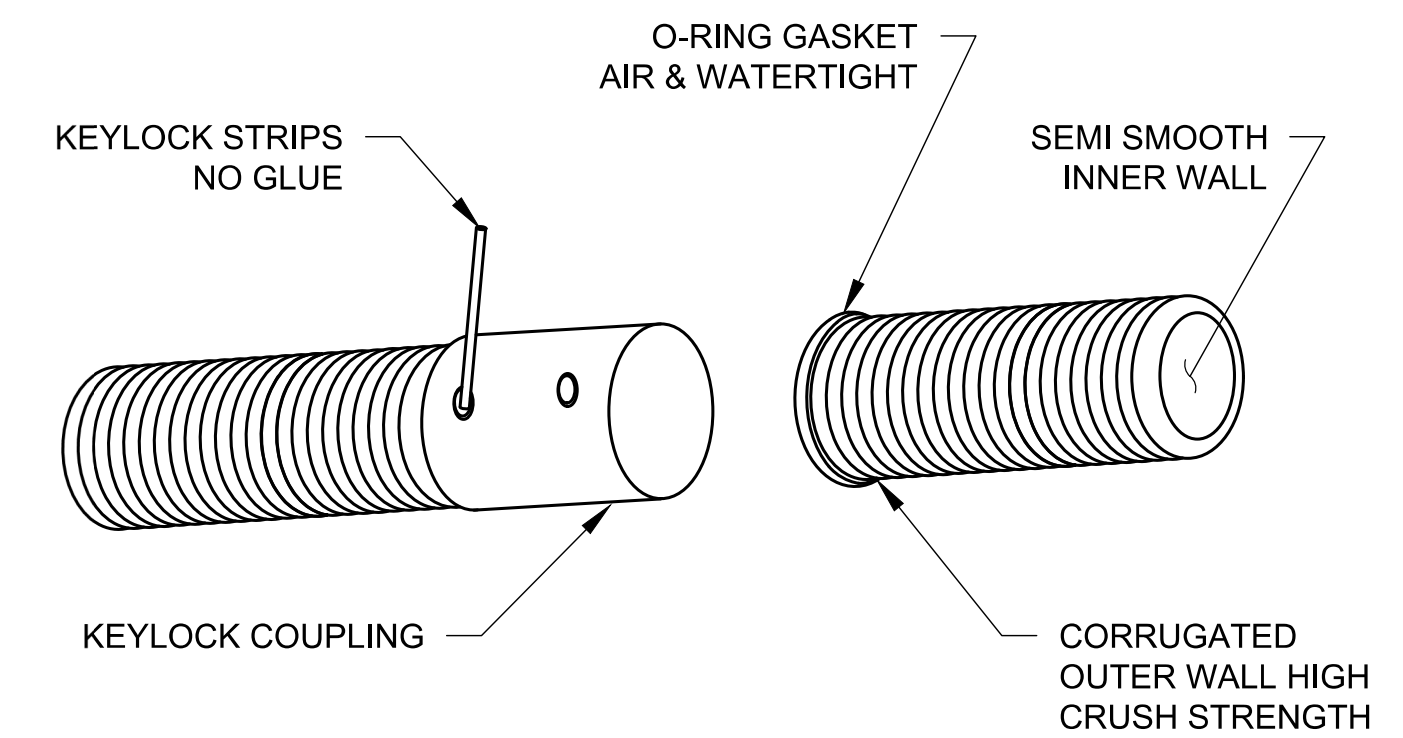
1. This standard provides recommended barrier protection for pad mounted equipment subject to vehicular traffic.
2. Posts may be omitted on side (s) not subject to vehicular traffic.
3. Barriers must not interfere with the operation of pad mount equipment by PSEG Long Island personnel.
4. A 3-1/2" heavy wall steel, concrete filled lally column purchased from local lumber yards is acceptable. Bearing plates must be removed. Set posts in concrete ( see detail "A" ).
5. Install additional posts on sides or back as required to maintain maximum 48" spacing.

	REVISION	TRANSFORMER INSTALLATION AND HOUSING CONSTRUCTION PAD AND ENCLOSURE BARRIER PROTECTION FOR PAD MOUNT TRANSFORMER SUBJECT TO VEHICULAR TRAFFIC	CONSTRUCTION STANDARD
	APPROVED BY	DATE	NUMBER
	06/13/19	5369	1 of 1

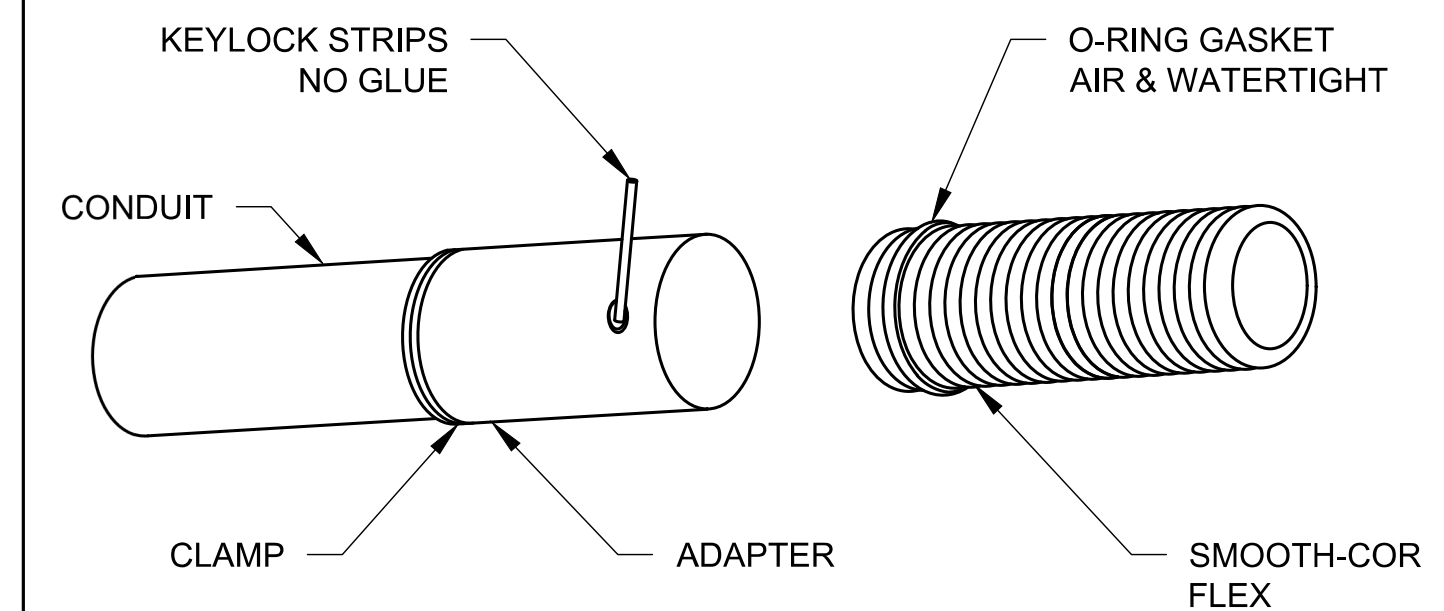
PRINTED COPIES ARE UNCONTROLLED. OFFICIAL CONTROLLED COPIES AVAILABLE ON PSEGI INFOPNET.

**NOTES:**  
 1. DURALINE SMOOTH-COR FLEX CONDUIT HAS BEEN CERTIFIED AS PART OF TESLA'S SUPERCHARGER SYSTEM.  
 2. RELEVANT TESTING REPORTS ARE AVAILABLE UPON REQUEST.  
 3. DURALINE SMOOTH-COR FLEX TO BE UTILIZED AS DC-POST CONDUIT ONLY.  
 4. PVC TO BE UTILIZED FOR ALL 90-DEGREE TRANSITIONS.

**DURALINE SMOOTH-COR FLEX TO SMOOTH-COR FLEX COUPLER**



**DURALINE SMOOTH-COR FLEX TO HDPE, PVC, THREADED GALVANIZED STEEL**



**DURALINE SMOOTH-COR FLEX CONDUIT**

A

NTS



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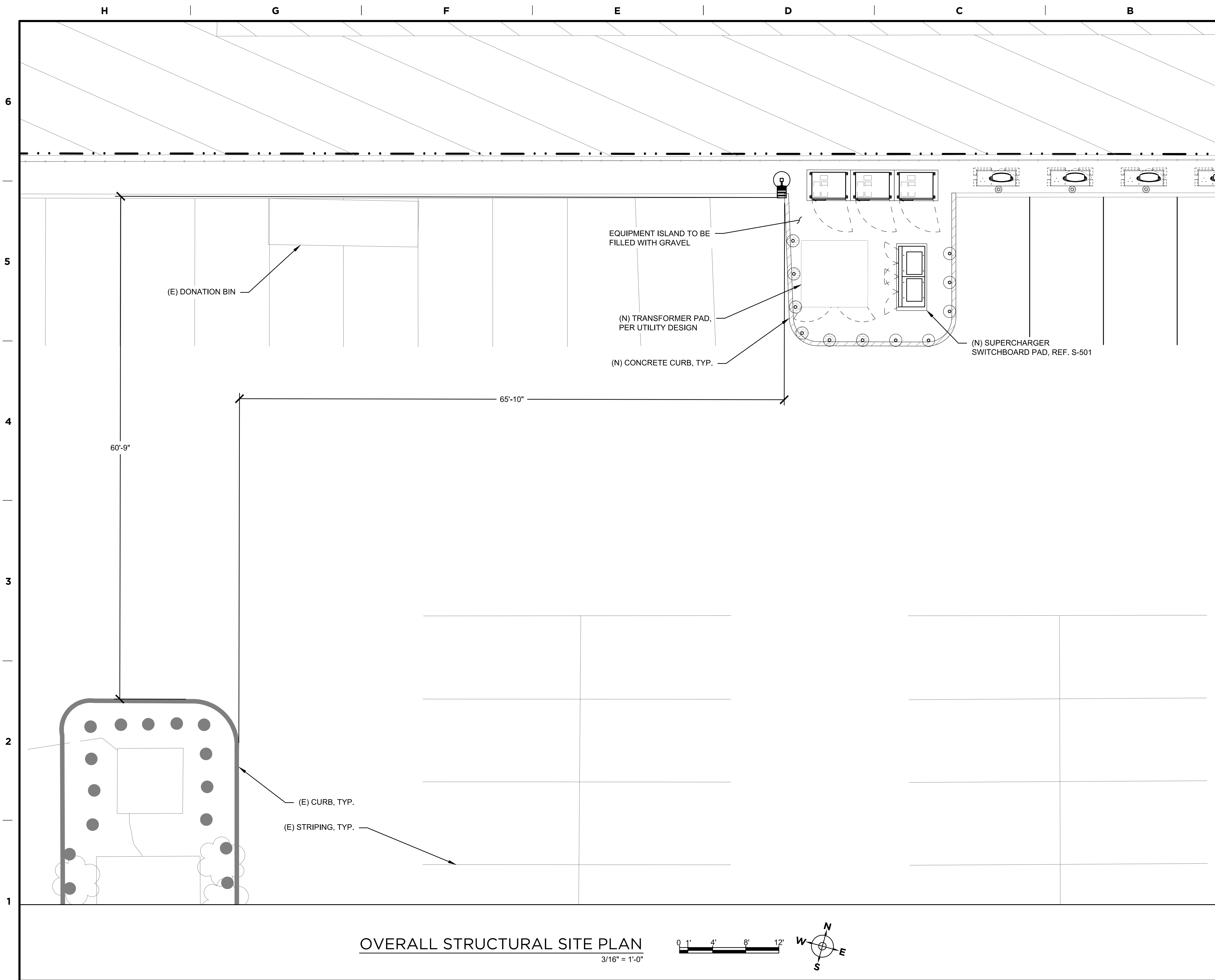
NO.	REVISION	DATE
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C	POST FOUNDATION AND BOLLARDS	07/11/24

**ELECTRICAL DETAILS (2)**

E-502

JB-1156153-00

REV: C | IFF



**OVERALL STRUCTURAL SITE PLAN**  
3/16" = 1'-0"

**SITE LEGEND**

- (N) SUPERCHARGER POST
- (N) REMOVABLE UTILITY BOLLARD
- (N) FIXED BOLLARD
- (N) CONCRETE PAVING
- (N) SIGN
- (E) PROPERTY LINE
- (N) ACCESS POINT, REF. SINGLE LINE DIAGRAM
- (N) REBOUNDING BOLLARD SIGN
- (N) REMOVABLE BOLLARD

**STRUCTURAL DESIGN CRITERIA:**

- DESIGN CODE:
- 2020 NY STATE BUILDING CODE
- DESIGN CRITERIA:
1. WIND DESIGN
    - DESIGN WIND SPEED = 119 MPH (ULTIMATE)
    - RISK CATEGORY = II
    - WIND EXPOSURE = C
  2. SEISMIC DESIGN
    - RISK CATEGORY = II
    - SEISMIC IMPORTANCE FACTOR = 1.0
    - SITE CLASS = D
    - $S_s = 0.261 / S_1 = 0.057$
    - $S_d_s = 0.277 / S_d_1 = 0.91$
    - SEISMIC DESIGN CATEGORY = B
    - BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT
    - $R = 2.5 / a_p = 1.0$
  3. GEOTECHNICAL INFORMATION
    - ALLOWABLE BEARING PRESSURE = 1,500 PSF USED FOR EQUIPMENT FOUNDATION
  4. SNOW LOAD
    - GROUND SNOW LOAD = 25 PSF

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DIGITALLY SEALED

08/01/2024

Paul Zacher

TESLA SUPERCHARGER\_CARLE PLACE, NY  
12 SUPERCHARGERS

209 GLEN CLOVE RD  
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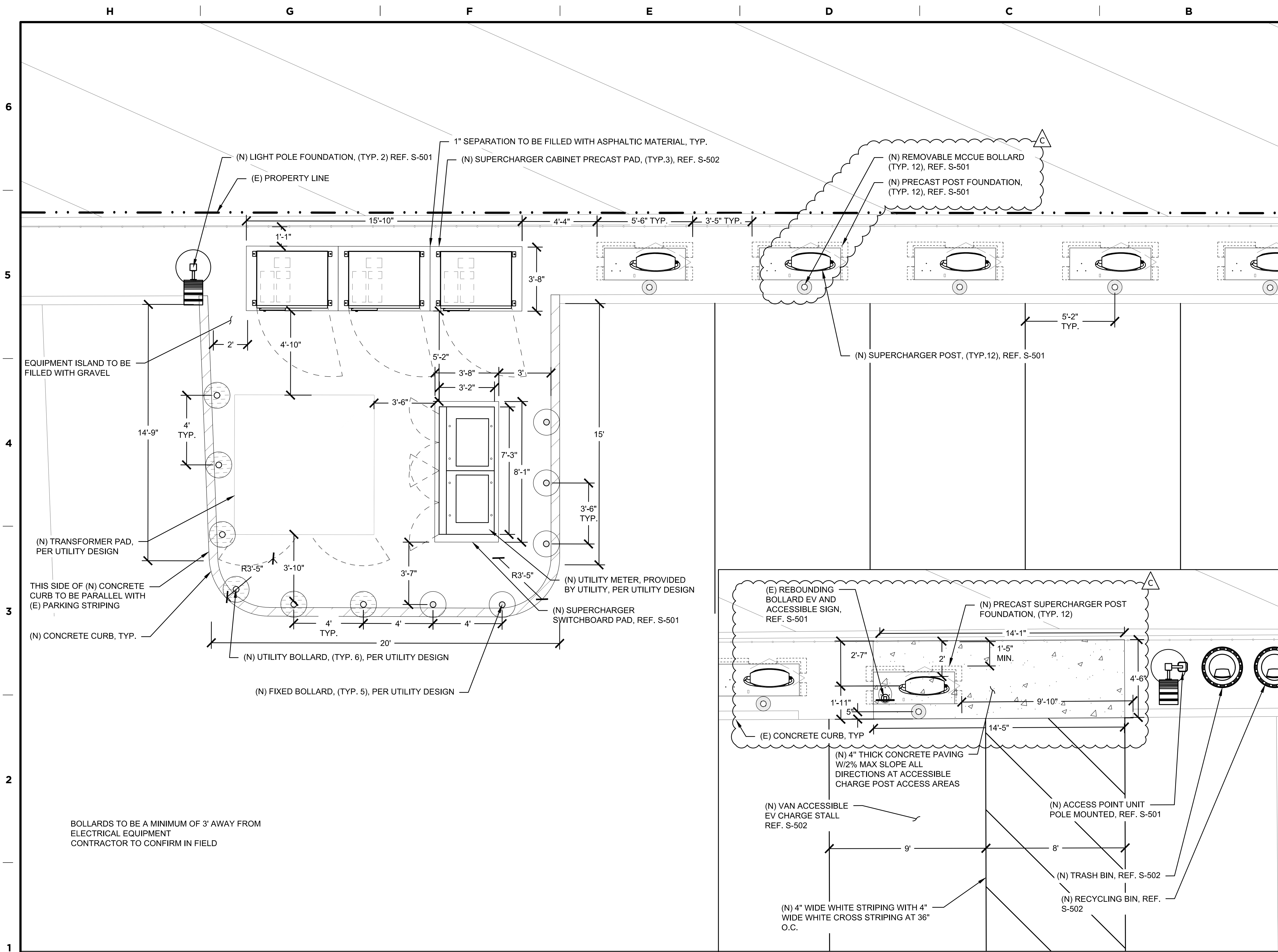
NO.	REVISION	DATE
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B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

**OVERALL SITE PLAN**

S-300

JB-1156153-00

REV: C    IFP



**SITE LEGEND**

- (N) SUPERCHARGER POST
- (N) REMOVABLE UTILITY BOLLARD
- (N) FIXED BOLLARD
- (N) CONCRETE PAVING
- (N) SIGN
- (E) PROPERTY LINE
- (N) ACCESS POINT, REF. SINGLE LINE DIAGRAM
- (N) REBOUNDING BOLLARD SIGN
- (N) REMOVABLE BOLLARD

**STRUCTURAL DESIGN CRITERIA:**

- DESIGN CODE:**
- 2020 NY STATE BUILDING CODE
- DESIGN CRITERIA:**
1. WIND DESIGN
    - DESIGN WIND SPEED = 119 MPH (ULTIMATE)
    - RISK CATEGORY = II
    - WIND EXPOSURE = C
  2. SEISMIC DESIGN
    - RISK CATEGORY = II
    - SEISMIC IMPORTANCE FACTOR = 1.0
    - SITE CLASS = D
    - $S_s = 0.261 / S_1 = 0.057$
    - $S_{ds} = 0.277 / S_d1 = 0.91$
    - SEISMIC DESIGN CATEGORY = B
    - BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT
    - $R = 2.5 / a_p = 1.0$
  3. GEOTECHNICAL INFORMATION
    - ALLOWABLE BEARING PRESSURE = 1,500 PSF USED FOR EQUIPMENT FOUNDATION
  4. SNOW LOAD
    - GROUND SNOW LOAD = 25 PSF

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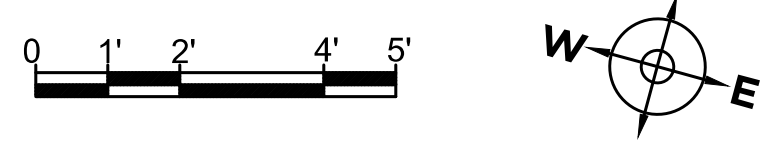
**ENLARGED SITE PLAN**

S-301

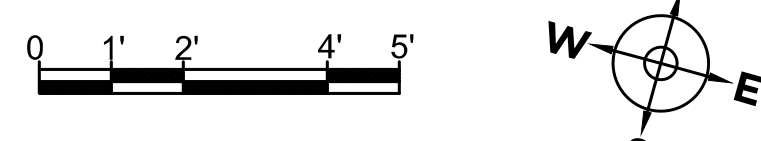
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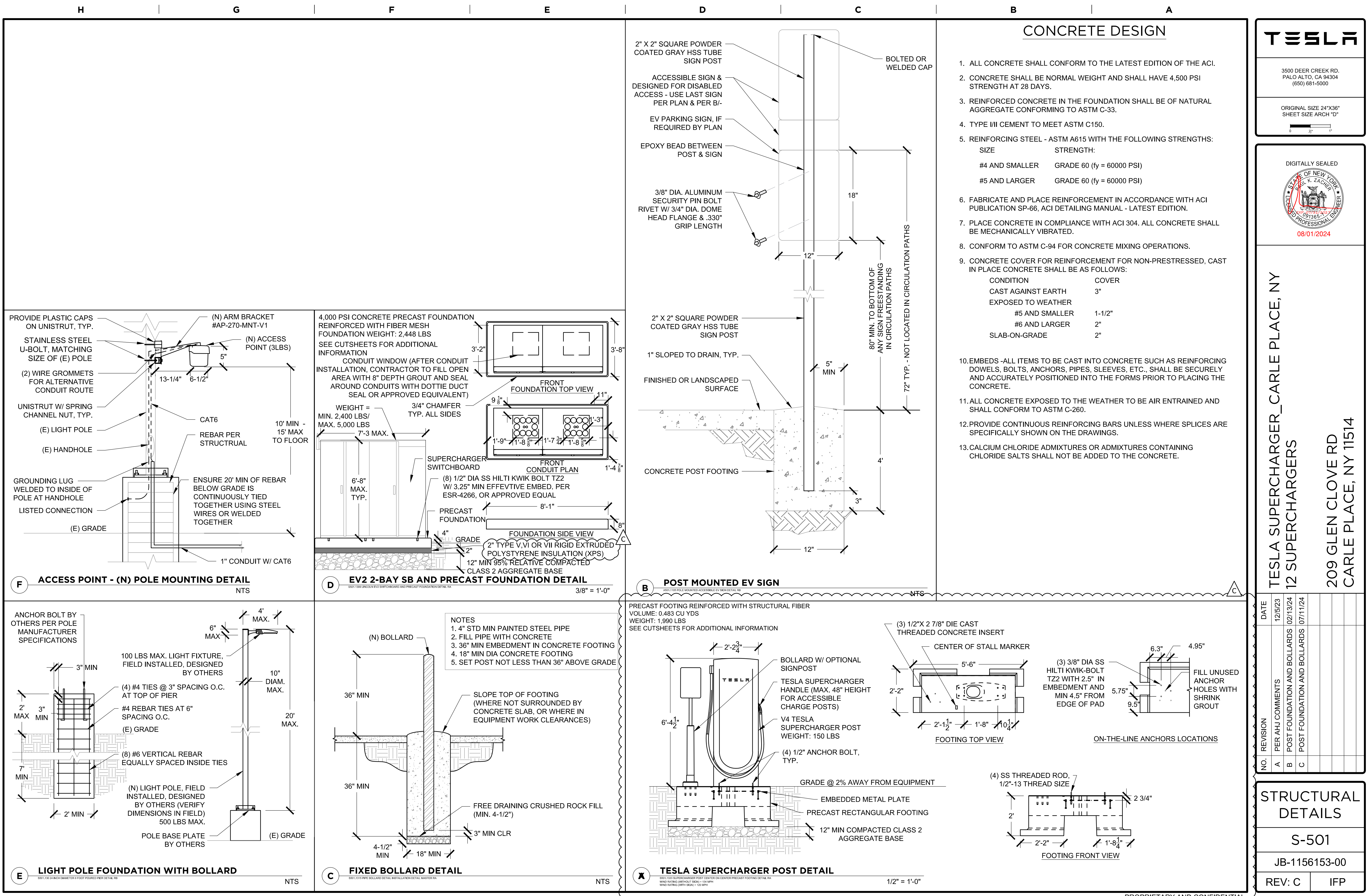
REV: C | IFF

STRUCTURAL SITE PLAN  
3/8" = 1'-0"



STRUCTURAL SITE PLAN  
3/8" = 1'-0"





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0 1/2" 1"

DIGITALLY SEALED

08/01/2024

TESLA SUPERCHARGER\_CARLE PLACE, NY  
12 SUPERCHARGERS

209 GLEN CLOVE RD  
CARLE PLACE, NY 11514

NO.	REVISION	DATE
A	PER A/H COMMENTS	12/15/23
B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

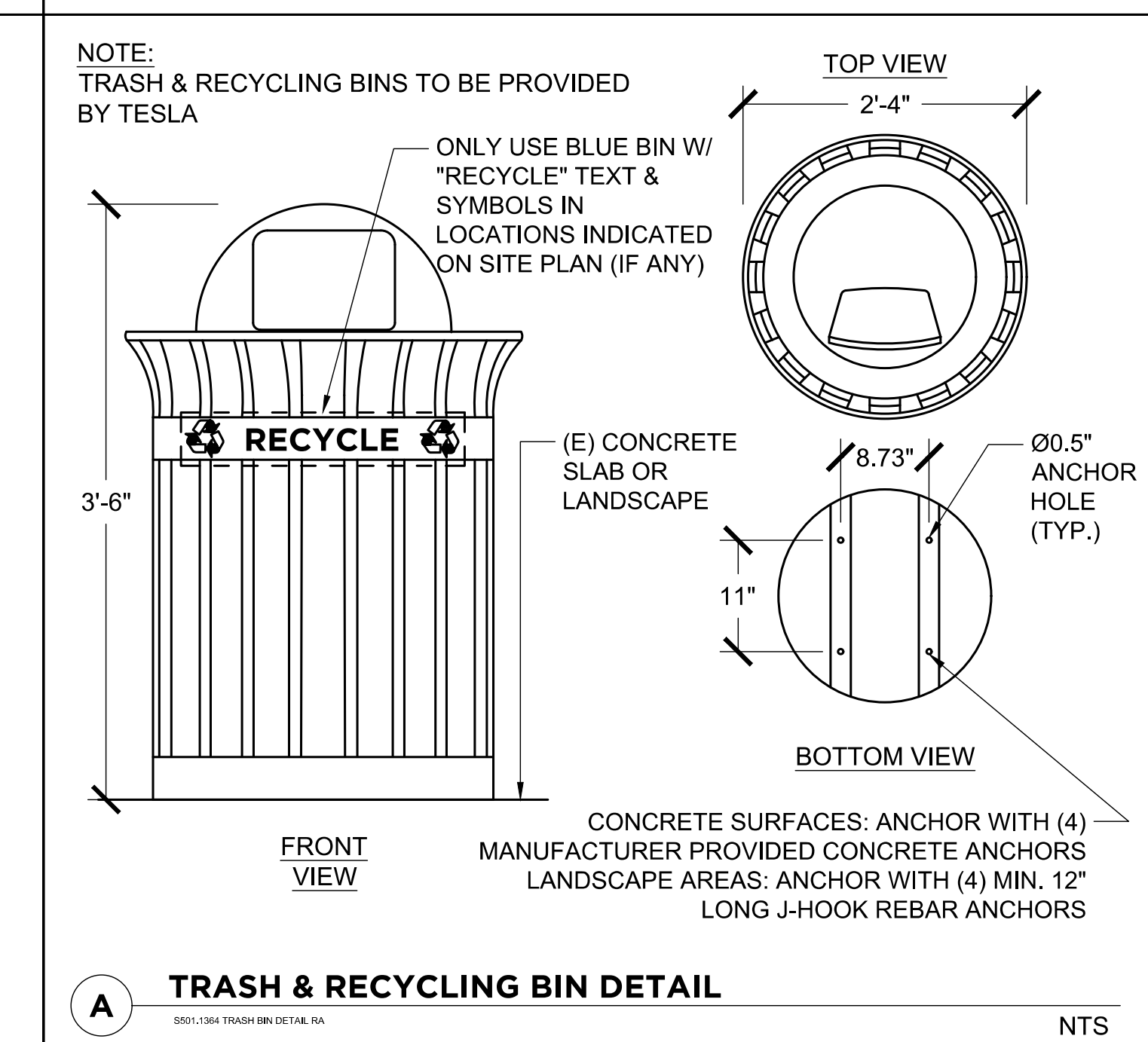
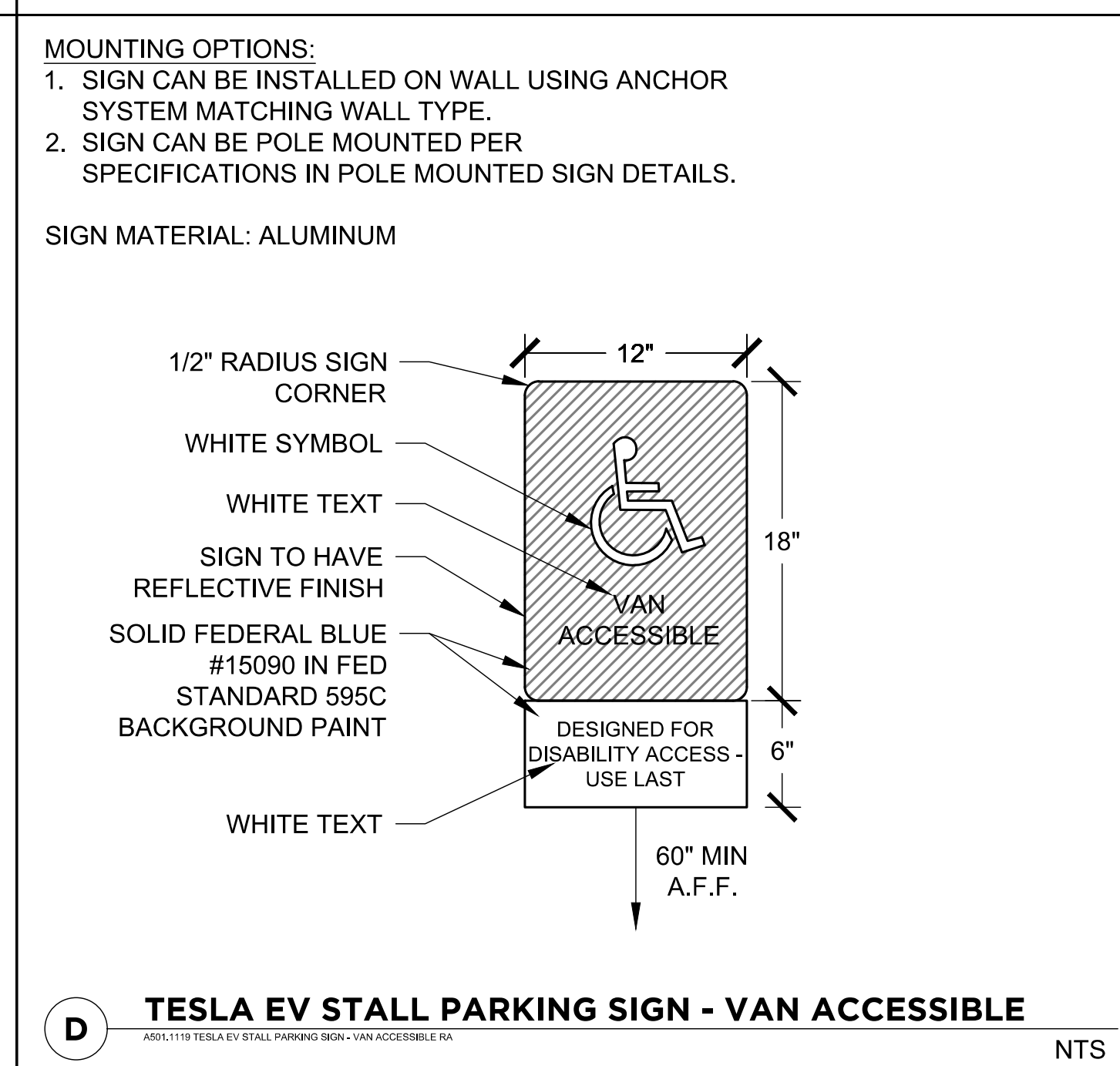
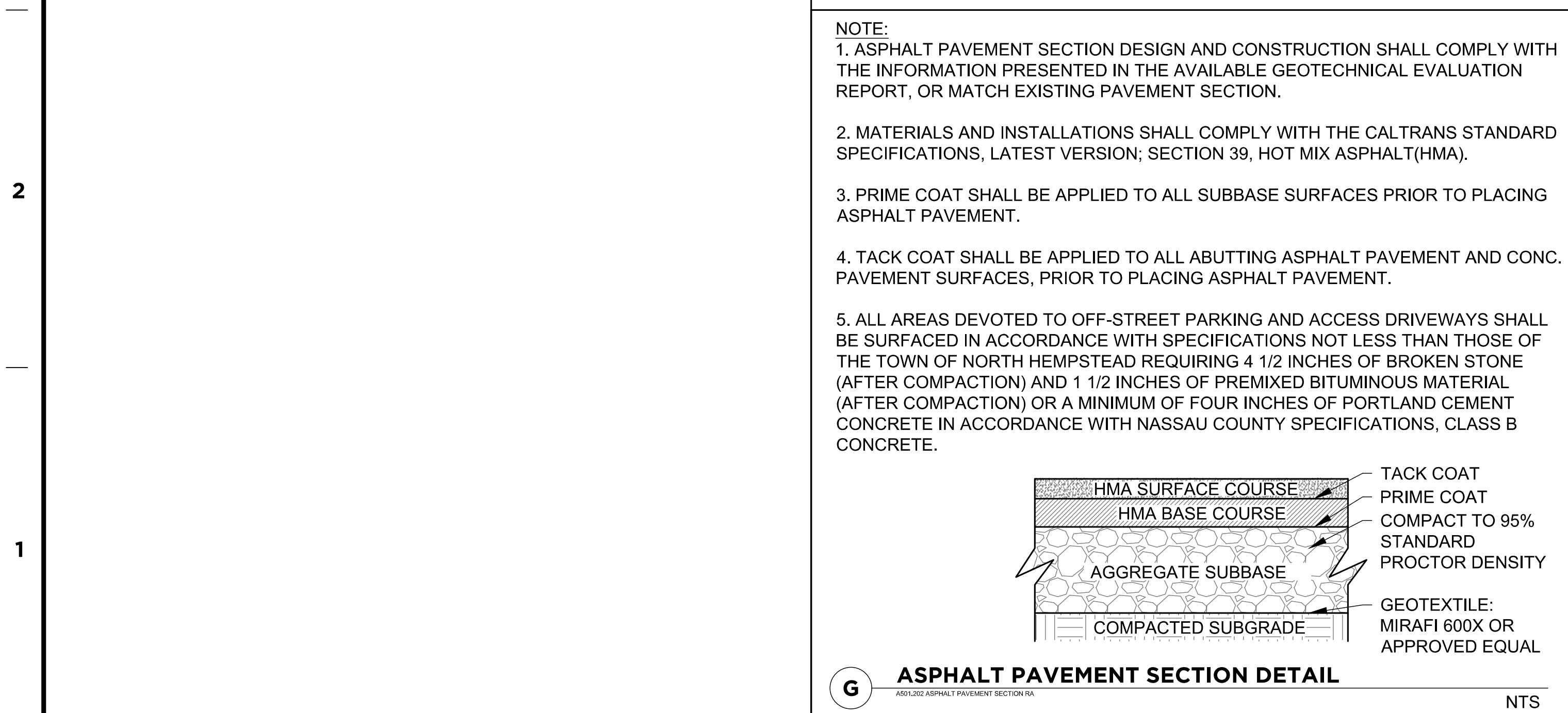
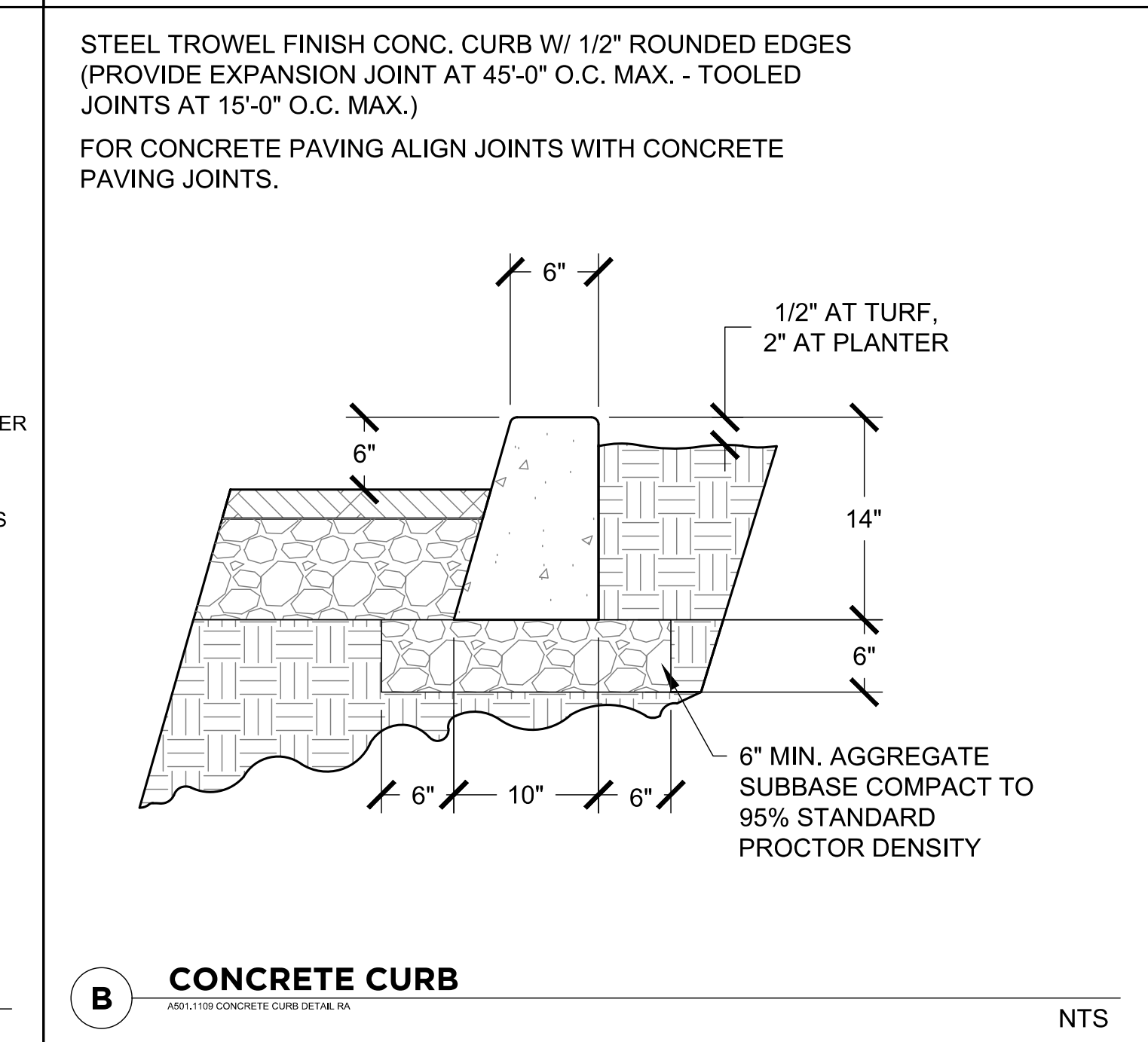
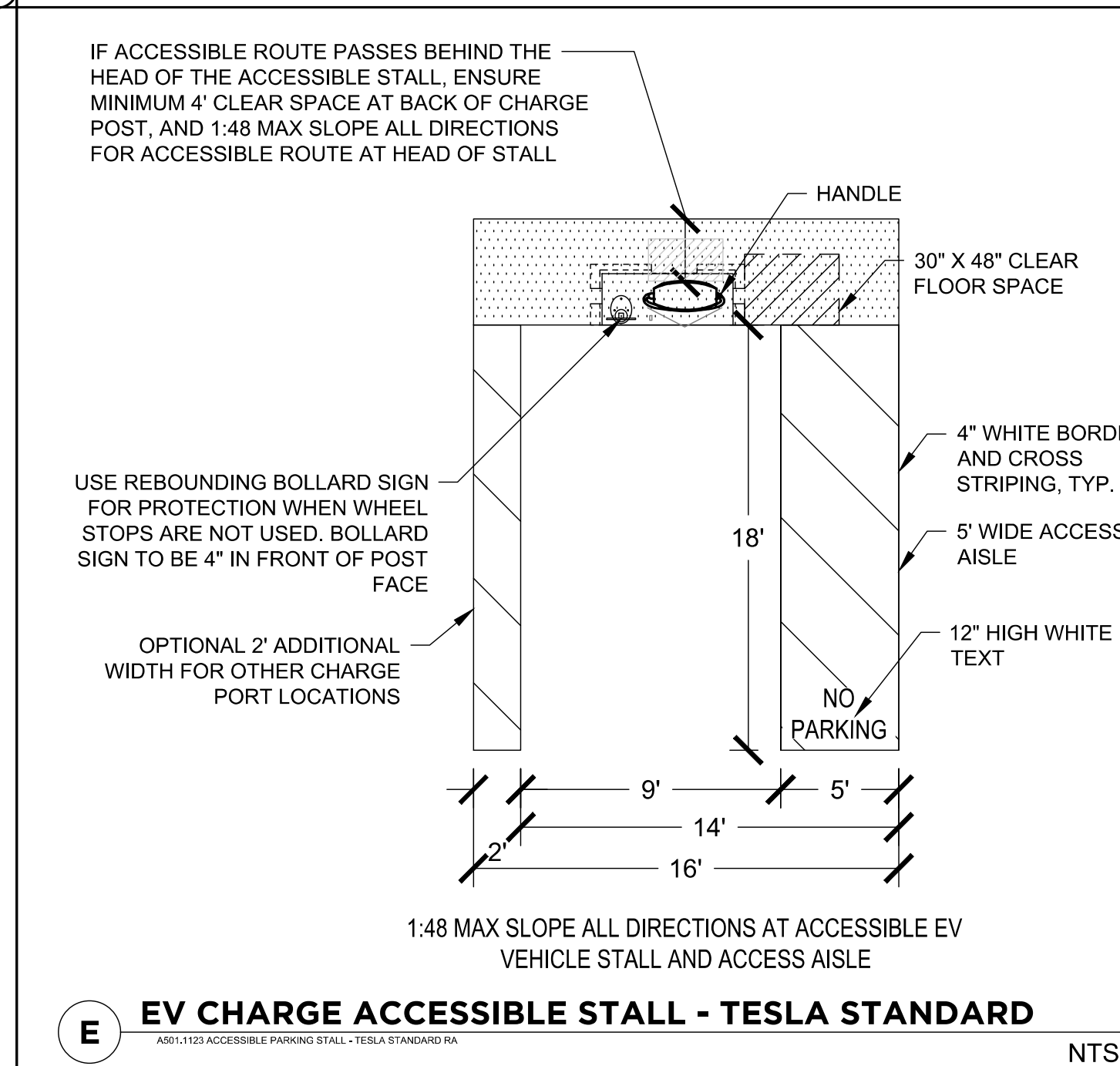
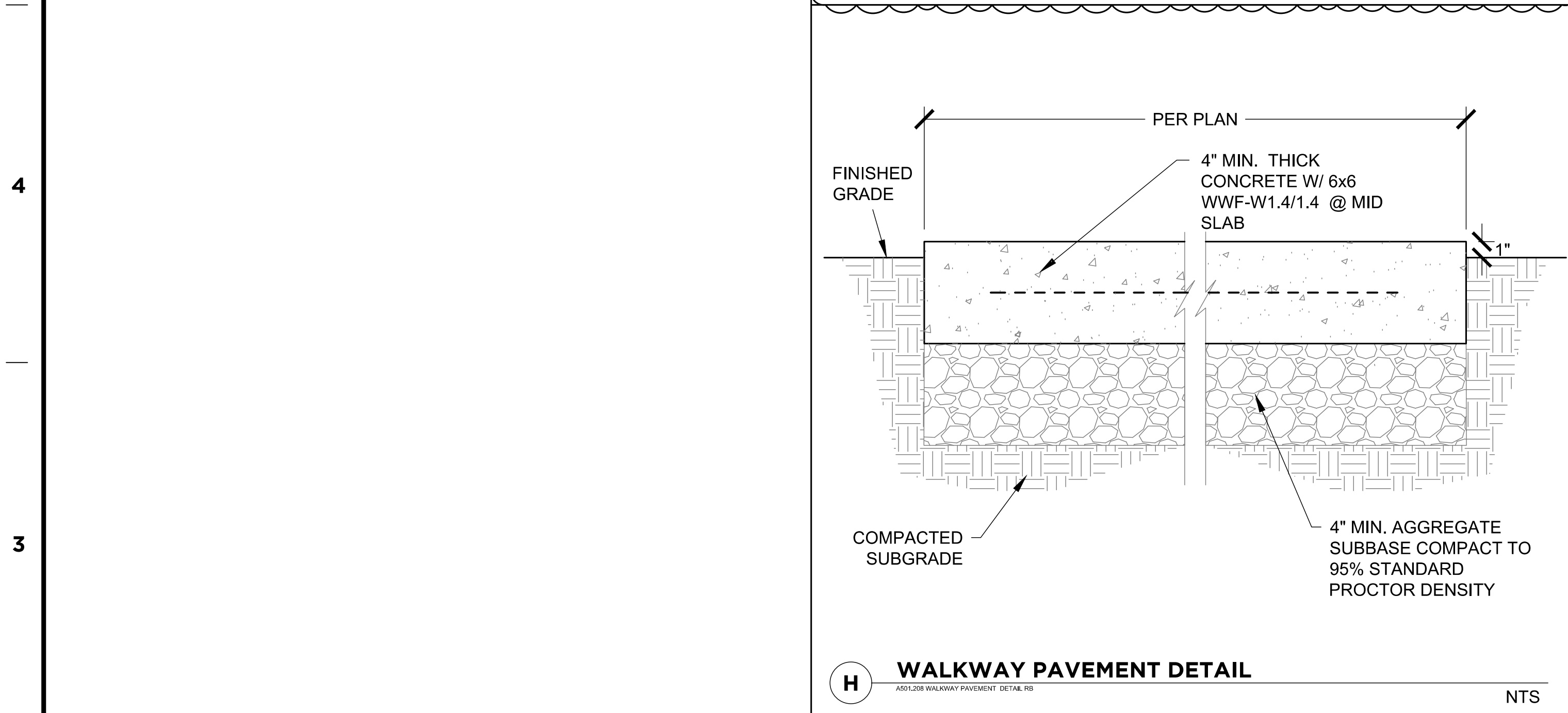
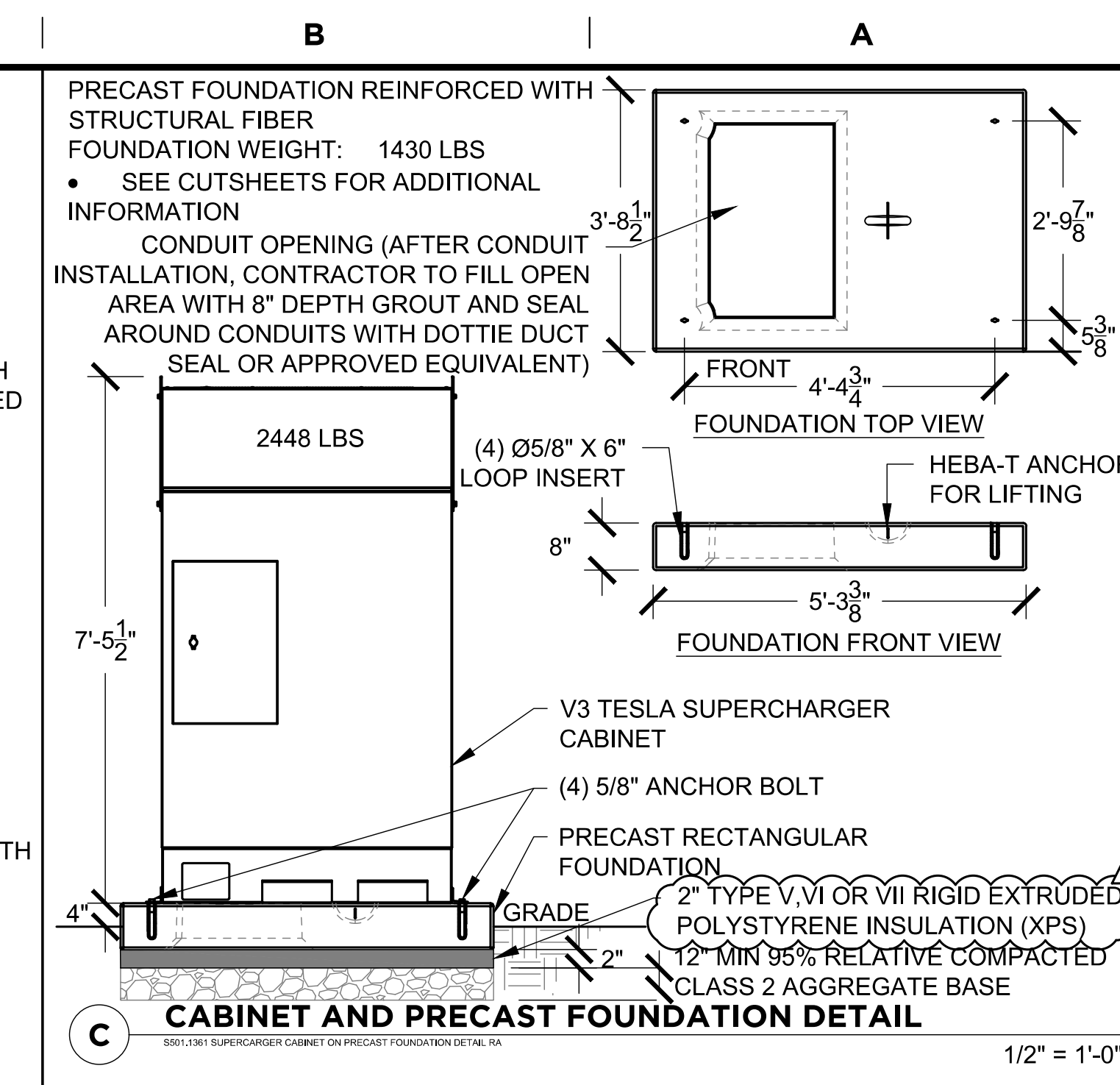
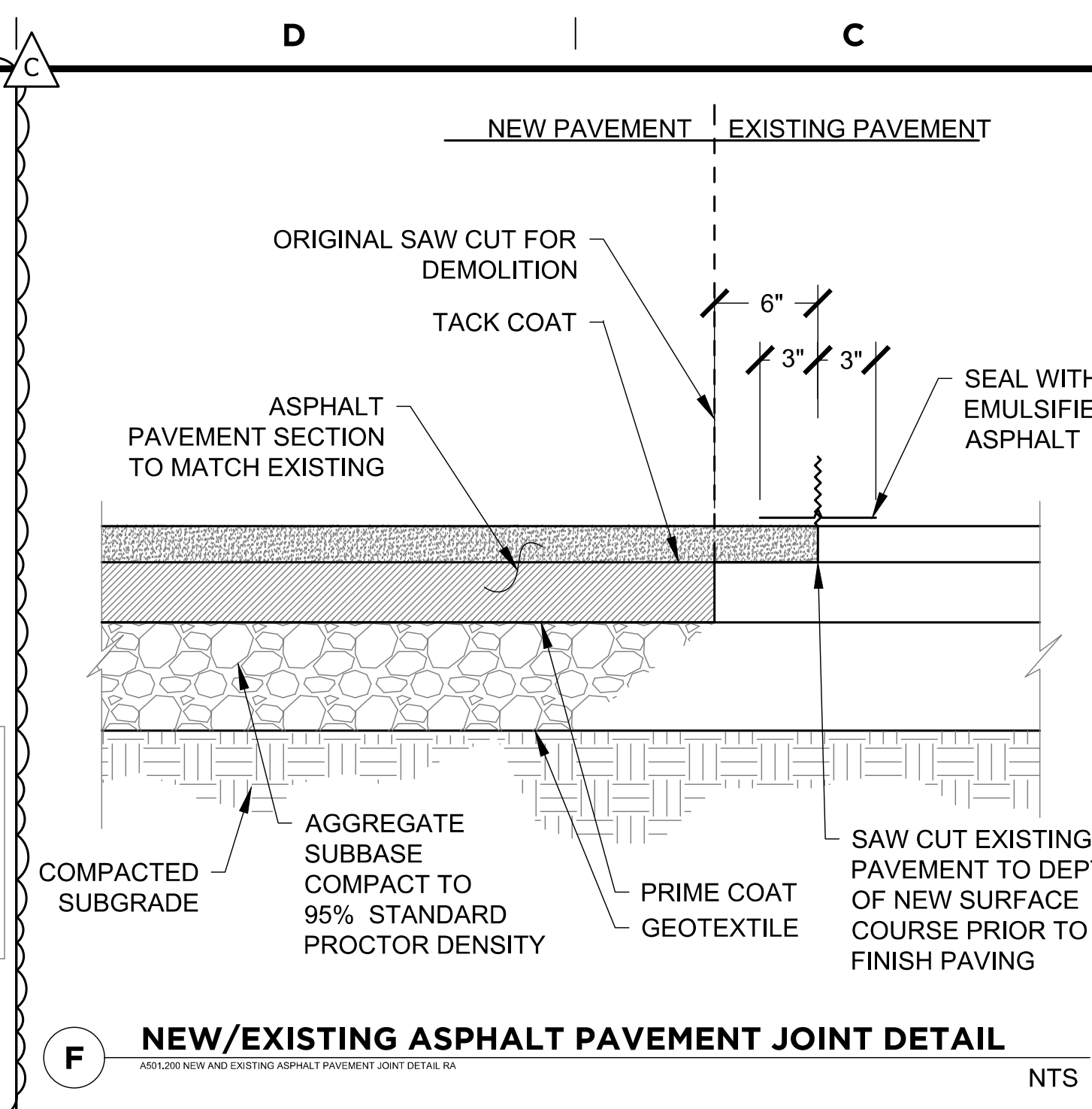
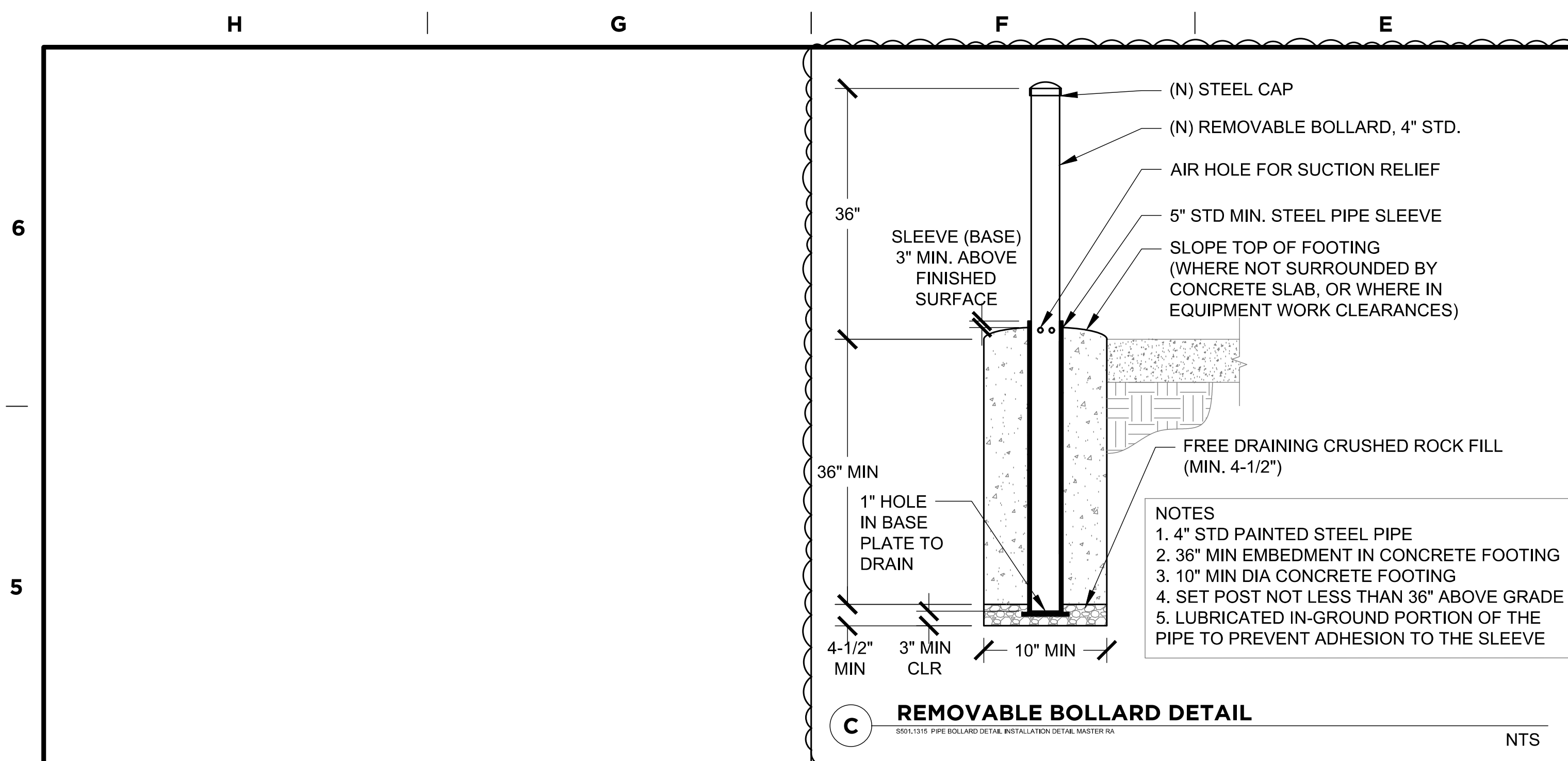
**STRUCTURAL DETAILS**

S-501

JB-1156153-00

REV: C | IFF





**TESLA**

3500 DEER CREEK RD.  
 PALO ALTO, CA 94304  
 (650) 681-5000

ORIGINAL SIZE 24"X36"  
 SHEET SIZE ARCH "D"

DIGITALLY SEALED

STATE OF NEW YORK  
 SEAL OF THE STATE ENGINEER  
 K. ZACHER  
 061365  
 PROFESSIONAL ENGINEER  
 08/01/2024

TESLA SUPERCHARGER\_CARLE PLACE, NY  
 12 SUPERCHARGERS

209 GLEN CLOVE RD  
 CARLE PLACE, NY 11514

NO.	REVISION	DATE
A	PER A/HJ COMMENTS	12/15/23
B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

**STRUCTURAL DETAILS (2)**

S-502

JB-1156153-00

REV: C | IFF

6

5

4

3

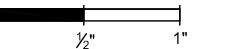
2

1



3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(650) 681-5000

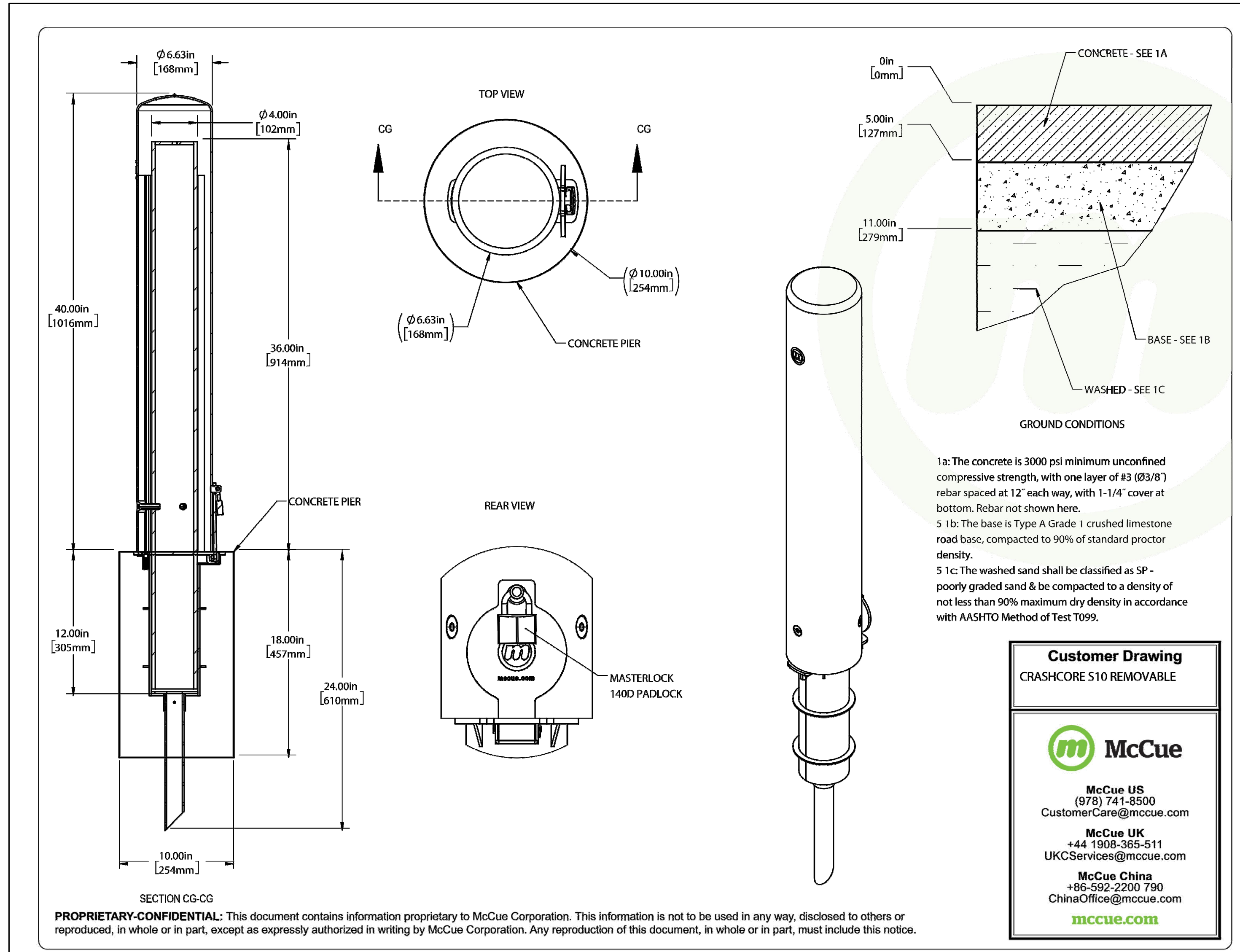
ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"



REFERENCE ONLY

TESLA SUPERCHARGER\_CARLE PLACE, NY  
12 SUPERCHARGERS

209 GLEN CLOVE RD  
CARLE PLACE, NY 11514



**NOTE:**  
McCue S10 CrashCore Bollard Product Information  
3rd party crash tested and certified to ASTM F3016 standard, McCue's S10 CrashCore Bollard is certified to stop a 5,000 lb. vehicle traveling 10 mph.

**Customer Drawing**  
CRASHCORE S10 REMOVABLE

McCue US  
(978) 741-8500  
CustomerCare@mccue.com

McCue UK  
+44 1908-365-511  
UKCServices@mccue.com

McCue China  
+86-592-2200 790  
ChinaOffice@mccue.com

[mccue.com](http://mccue.com)

NO.	REVISION	DATE
A	PER AHJ COMMENTS	12/5/23
B	POST FOUNDATION AND BOLLARDS	02/13/24
C	POST FOUNDATION AND BOLLARDS	07/11/24

**CUTSHEETS**

S-601

JB-1156153-00

REV: C | IFP

# PARKING PLANS

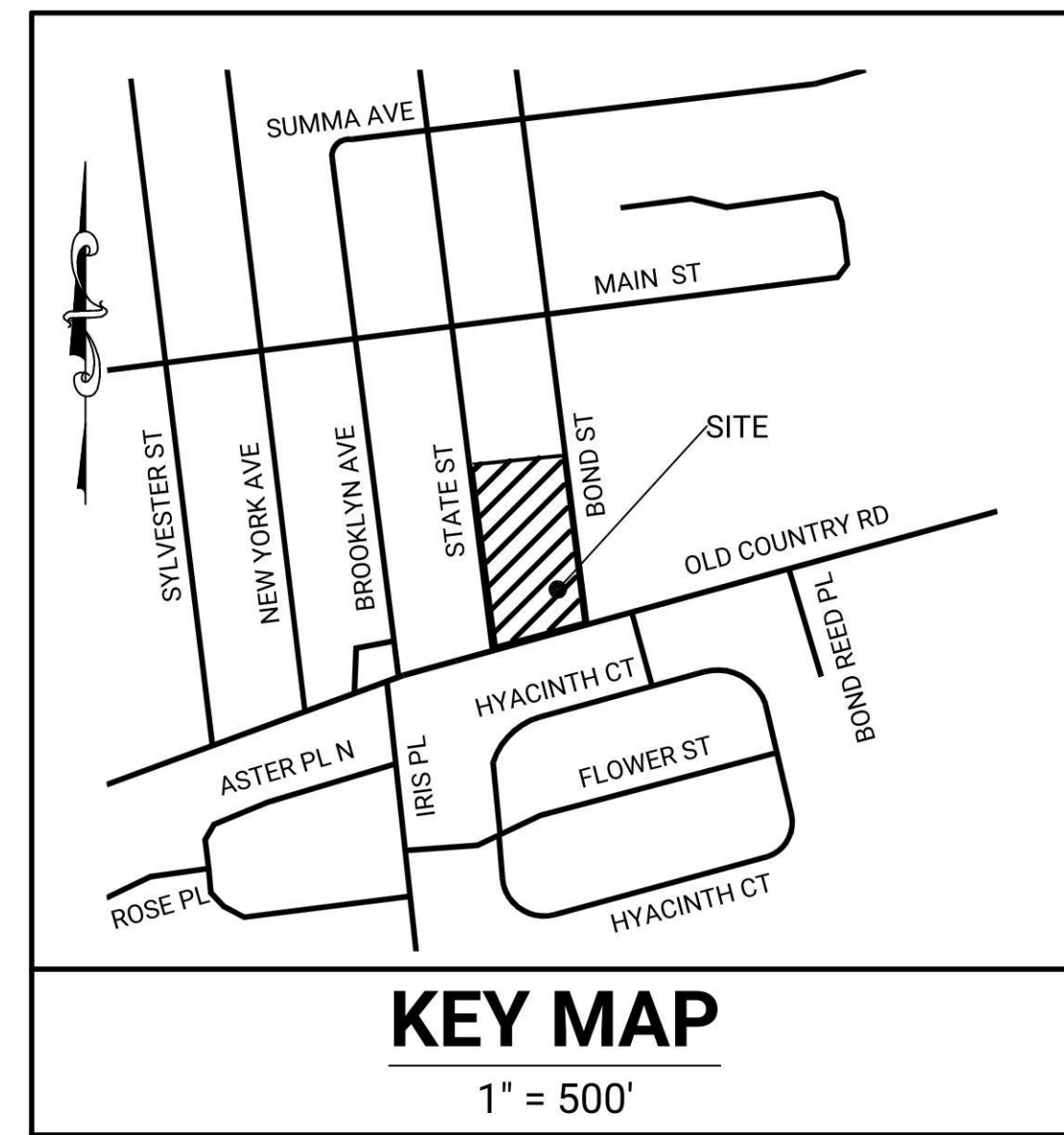
# #21627

## FOR

# 1025 OLD COUNTRY ROAD

## SITUATED IN

# WESTBURY



# TOWN OF NORTH HEMPSTEAD NASSAU COUNTY, NEW YORK

## GENERAL NOTES

- R&M ENGINEERING SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, OR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ALL EXISTING STRUCTURES SPECIFIED TO BE REMOVED, SHALL BE REMOVED AND BACKFILLED. BACKFILL TO BE SELECT GRANULAR FILL, COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY MODIFIED PROCTOR TEST.
- ALL FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% OF THE MAXIMUM DENSITY AT THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN, COUNTY, STATE OR AS SPECIFIED HEREIN, LATEST EDITIONS.
- PROPOSED ELECTRIC AND TELEPHONE SERVICE LOCATIONS SUBJECT TO PSEG LONG ISLAND AND VERIZON DESIGN AND APPROVAL.
- INSTALLATION OF ELECTRIC AND GAS SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM, AS A MINIMUM TO THE REQUIREMENTS OF PSEG LONG ISLAND AND NATIONAL GRID.
- INSTALLATION OF TELEPHONE SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM, AS A MINIMUM, TO THE REQUIREMENTS OF VERIZON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR INSTALLATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS FOR THE PRECONSTRUCTION OF ANY SANITARY SYSTEM FROM ALL GOVERNING AGENCIES.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL THE UTILITY OR MUNICIPAL AGENCY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY AND FOR THE INSTALLATION OF SIGNS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY TO REMOVE ANY EXCAVATED MATERIALS.
- UNSUITABLE MATERIAL, AS DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS EDITION, UNDER PAVEMENT, WALKS AND CONCRETE SLABS SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL.
- SELECT GRANULAR MATERIAL SHALL BE AS DEFINED IN SECTION 203 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS.
- COMPACTION SHALL CONFORM TO N.Y.S.D.O.T. SECTION 203.
- ALL CONCRETE CURBING, SIDEWALK, AND DRAINAGE STRUCTURES SHALL CONFORM TO THE DETAILS AND SPECIFICATIONS PROVIDED WITHIN THE LATEST APPROVED PLANS AS APPROVED BY THE TOWN.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- ELEVATIONS REFER TO NASSAU COUNTY DATUM.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, WITH PRECAST OPENINGS FOR DRAINAGE PIPE(S) AND SHALL CONFORM TO THE TOWN STANDARD DETAILS AND SPECIFICATIONS.
- THE BUILDING(S) SHALL BE CONNECTED TO THE SANITARY SEWER UNDER THE REQUIRED TOWN AND COUNTY SEWER PERMITS. CONSTRUCTION OF APPLICABLE WATER AND SEWAGE FACILITIES IN THE SITE SHALL CONFORM TO PART 74, TITLE 10 AND PART 653, TITLE 6 OF THE OFFICIAL COMPILATION OF CODES, RULES AND REGULATIONS OF THE STATE OF NEW YORK.
- ALL EXISTING SANITARY STRUCTURES, SPECIFIED TO BE ABANDONED, SHALL BE PUMPED EMPTY AND FILLED WITH CLEAN, COMPACTED SAND, EXCEPT WHERE NOTED.
- THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING TO BECOME FAMILIAR WITH PRESENT CONDITIONS AND TO JUDGE FOR THEMSELVES THE EXTENT AND NATURE OF WORK TO BE DONE.
- ALL PARKING LOT LIGHTING POLES, LIGHTING FIXTURE CONFIGURATIONS, AND COLOR SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NECESSARY TRAFFIC CONTROLS WITHIN THE SITE AND SHALL HAVE A NEW YORK STATE PROFESSIONAL ENGINEER DESIGN AND SUPERVISE THE INSTALLATION OF ALL TRAFFIC CONTROLS CONFORMING TO NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE PROFESSIONAL ENGINEER SHALL SUBMIT A SIGNED AND SEALED CERTIFICATION THAT ALL TRAFFIC CONTROL DEVICES ON TOWN, COUNTY AND NEW YORK STATE HIGHWAYS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR, AT HIS EXPENSE, SHALL ALSO BE RESPONSIBLE FOR THE REPAIR AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES WITHIN THE SITE AND SHALL NOT AMEND THE SIGNAGE AND/OR PAVEMENT MARKINGS WITHOUT HAVING A NEW YORK STATE PROFESSIONAL ENGINEER PREPARE AND SUBMIT A TRAFFIC PLAN TO THE BUILDING DEPARTMENT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY SHEETING, SHORING AND BRACING OF EXCAVATIONS AS REQUIRED TO CONSTRUCT THE ON-SITE IMPROVEMENTS AND TO PREVENT DISTURBANCE TO ADJOINING PROPERTIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER AND/OR TOWN WITH DESIGN AND SPECIFICATIONS PRIOR TO CONSTRUCTING IMPROVEMENTS.
- CONTRACTOR SHALL NOTIFY THE TOWN AND THE ENGINEER 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR THE REQUIRED SITE OBSERVATIONS. ANY PORTION OF THE SITE IMPROVEMENTS BACKFILLED PRIOR TO OBSERVATION BY ENGINEER AND TOWN SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE.

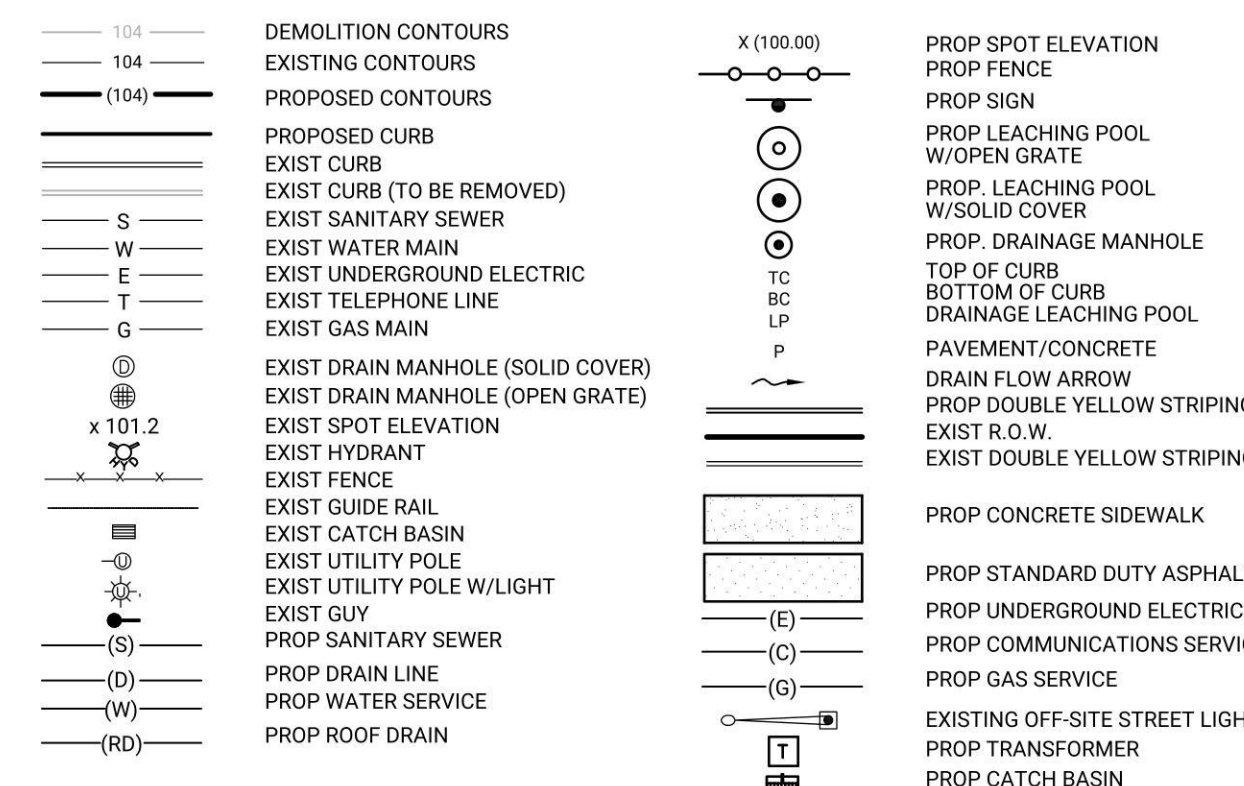
## MUNICIPALITY CONTACTS

TELEPHONE: VERIZON 2020 JONES AVENUE WANTAGH, NY 11793 PHONE: (516) 783-2315	GAS: NATIONAL GRID 175 EAST OLD COUNTRY ROAD HICKSVILLE, NY 11801 PHONE: 1-800-GAS-2001
WATER: ROSLYN WATER DISTRICT 24 WEST SHORE ROAD OAKDALE, NY 11769	SITE PLAN: TOWN OF NORTH HEMPSTEAD BUILDING DEPARTMENT 220 PLANDOME ROAD MANHASSET, NY 11030
ROADS: TOWN OF NORTH HEMPSTEAD DEPARTMENT OF PUBLIC WORKS - HIGHWAY DEPT. 285 DENTON AVENUE NEW HYDE PARK, NY 11040 PHONE: (516) 869-6311	SANITARY: NASSAU COUNTY DPW SEWER DISTRICT #3 1194 PROSPECT AVE WESTBURY, NY 11590 PHONE: (516) 227-9697
ELECTRIC: PSEG LONG ISLAND 250 WILLIS AVENUE ROSLYN HEIGHTS, NY 11577 PHONE: (631) 765-6000	

## BUILDING CODE ANALYSIS

BUILDING CODE OF NEW YORK STATE 2020	SECTION
I. CONSTRUCTION CLASSIFICATION I - B	602
II. OCCUPANCY CLASSIFICATION BUSINESS GROUP "B" MERCANTILE GROUP "M" STORAGE GROUPS "S" PARKING GARAGE GROUP "U"	304.1 309.1 311.1 312.1
III. OCCUPANT LOAD CALCULATION (AREAS OF WORK ONLY) BUSINESS AREAS 100 SF / PERSON MERCANTILE 60 SF / PERSON PARKING GARAGE 200 SF / PERSON WAREHOUSE 500 SF / PERSON	1004 TABLE 1004.5 TABLE 1004.5 TABLE 1004.5 TABLE 1004.5
LEVEL 0 PARKING GARAGE 11,153 SF / 200 SF = 56 PERSONS LEVEL 0 TOTAL = 56 PERSONS	
LEVEL 1 BUSINESS AREAS 18,997 SF / 100 SF = 190 PERSONS MERCANTILE 1,811 SF / 60 SF = 31 PERSONS PARKING GARAGE 42,027 SF / 200 SF = 211 PERSONS LEVEL 1 TOTAL = 432 PERSONS	
LEVEL 2 BUSINESS AREAS 20,181 SF / 100 SF = 202 PERSONS PARKING GARAGE 19,000 SF / 200 SF = 95 PERSONS WAREHOUSE 8,868 SF / 500 SF = 18 PERSONS LEVEL 2 TOTAL = 315 PERSONS	
LEVEL 3 BUSINESS AREAS 38,992 SF / 100 SF = 390 PERSONS PARKING GARAGE 11,426 SF / 200 SF = 58 PERSONS WAREHOUSE 261 SF / 500 SF = 1 PERSONS LEVEL 3 TOTAL = 449 PERSONS	
LEVEL 4 BUSINESS AREAS 43,010 SF / 100 SF = 431 PERSONS PARKING GARAGE 10,329 SF / 200 SF = 52 PERSONS LEVEL 4 TOTAL = 483 PERSONS	
BUILDING TOTAL = 1,735 PERSONS	
IV. ALL AREAS TO BE SPRINKLERED AS PER: AS APPROVED BY THE NASSAU COUNTY FIRE MARSHAL	903
FIRE EXTINGUISHERS TO BE PROVIDED AS PER:	906
ALL AREAS TO BE PROVIDED WITH FIRE ALARM AND FIRE DETECTION SYSTEMS AS PER:	907

## LEGEND



## CIVIL ENGINEERING DRAWINGS

SHEET No.	TITLE	SHEET No.	TITLE
SP-1	COVER	SP-11	MEASURE UP FLOOR PLANS
SP-2	EXISTING CONDITIONS	SP-12	BUILDING USE FLOOR PLANS
SP-3	ALIGNMENT PLAN	SP-13	BUILDING USE FLOOR PLANS
SP-4	LEVEL 0 FLOOR PLAN	SP-14	CIRCULATION FLOOR PLANS
SP-5	LEVEL 1 FLOOR PLAN	SP-15	CONSTRUCTION NOTES
SP-6	LEVEL 2 FLOOR PLAN	SP-16	CONSTRUCTION DETAILS
SP-7	LEVEL 3 FLOOR PLAN	SP-17	CONSTRUCTION DETAILS
SP-8	LEVEL 4 FLOOR PLAN	SP-18	CONSTRUCTION DETAILS
SP-9	LEVEL 5 FLOOR PLAN (ROOF)	SP-19	CONSTRUCTION DETAILS
SP-10	ELEVATION PLAN	SP-20	ADA ACCESSIBLE PATHWAY PLAN

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

OWNER:  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

Wayne A. Muller, P.E.  
NY State License No. 071597

DWN. BY: PVA  
DATE: 8/30/2023

CHKD. BY: WAM  
DATE: 8/30/2023

SCALE: N.T.S.  
JOB No.: 2022-124

SHEET: **SP-1**

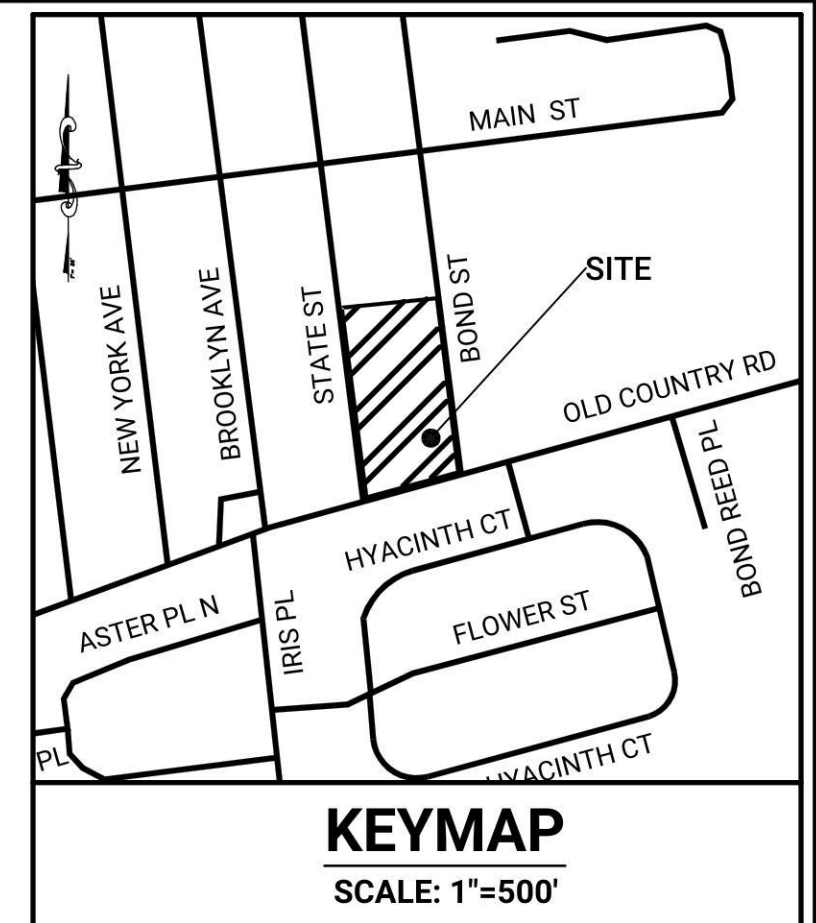
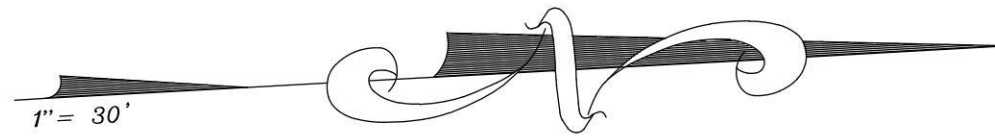
**COVER**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM, SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

**R&M ENGINEERING**  
Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
Office: (631) 271-0576  
Fax: (631) 271-0592  
www.rmengineering.com

Drawing Name: P:\2022 Projects\2022-19A\19A\2024-05-09 (2022-19A) 1025 ODR - Building Floor Plans (Rev. 0).dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:15pm by pargenis

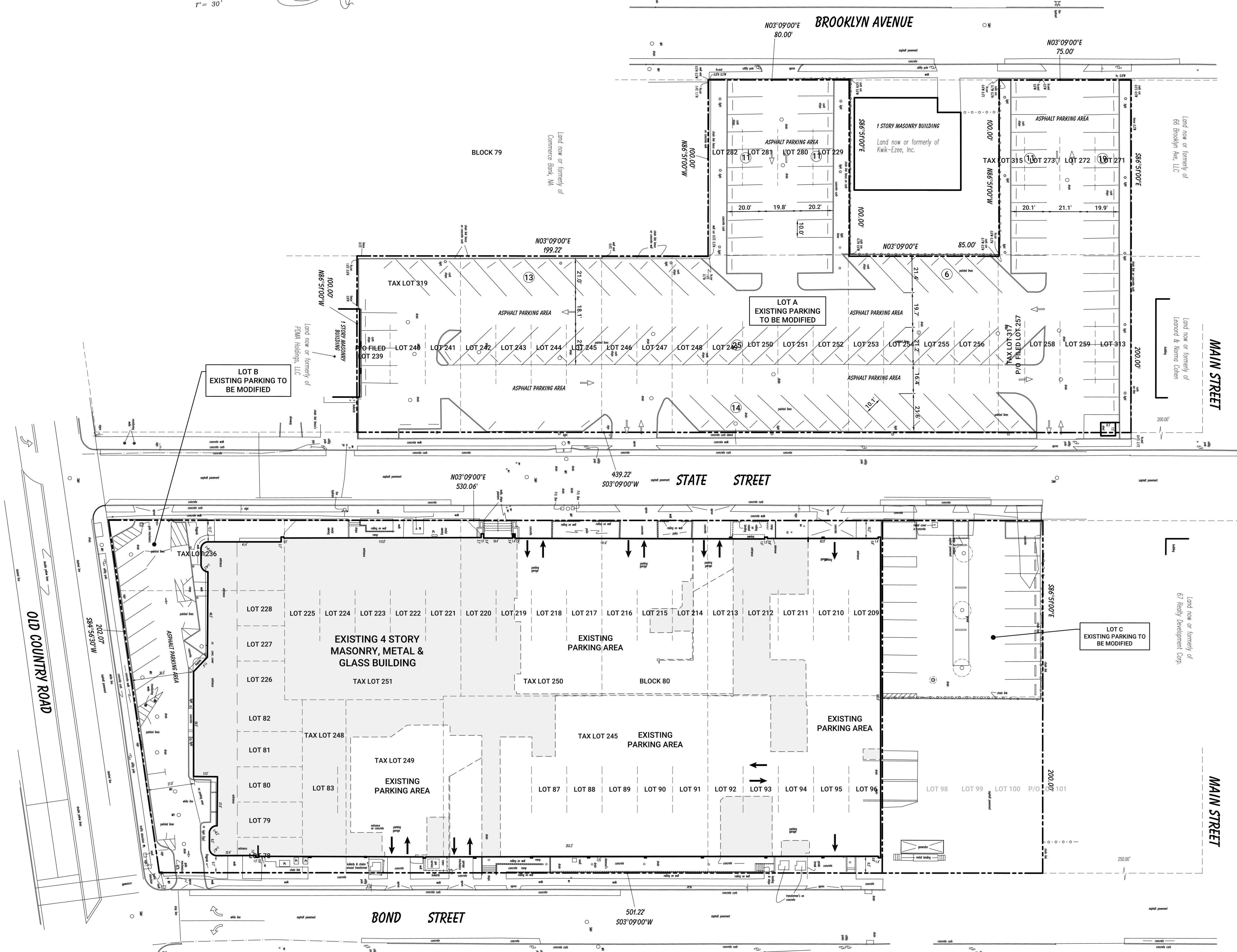


**SITE DATA**

EXISTING SITE AREA:  
N.C.T.M.:

BLK 79 - 59,422 SF (1.36 Ac.),  
BLK 80 - 103,129 SF (2.37 Ac.)  
SECT. 011, BLK 79,  
LOTS 242 THROUGH 256 INCLUSIVE  
LOTS 258, 259, 271-273, 279 - 282, 313, 315 - 317, 319,  
SECT. 011, BLK 80,  
LOTS 92 - 96, 209 - 213, 236, 241, 243, 245, 248 - 251  
INDUSTRIAL B (I-B)  
COMMERCIAL  
WESTBURY, 11590  
WESTBURY UFSD  
WESTBURY  
WESTBURY WD

EXISTING ZONE:  
EXISTING USE:  
POST OFFICE:  
SCHOOL DISTRICT:  
FIRE DISTRICT:  
WATER DISTRICT:



**DISAPPROVED**  
Michael Maracic  
07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

**EXISTING CONDITIONS**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCK 79 & 80, LOTS SEE TABLE



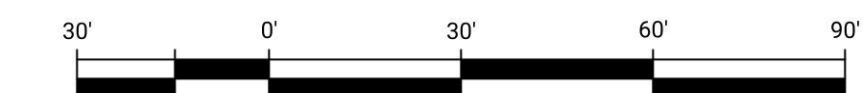
**R&M ENGINEERING**  
Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
Office: (631) 271-0576  
Fax: (631) 271-0592  
www.rmengineering.com

OWNER: 1025 II LLC 1025 OLD COUNTRY ROAD WESTBURY, NY 11590	APPLICANT: 1025 II LLC 1025 OLD COUNTRY ROAD WESTBURY, NY 11590	Wayne A. Muller, P.E. NY State License No. 071597
DWN. BY: PVA	CHKD. BY: WAM	SCALE: 1"=30'
DATE: 8/30/2023	DATE: 8/30/2023	JOB No.: 2022-124
		SHEET: <b>SP-2</b>

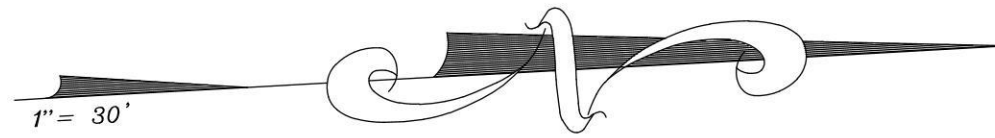
**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THIS SITE PLAN IS BASED UPON A SURVEY PREPARED BY JM LAND SURVEYING, DATED AUGUST, 2023.

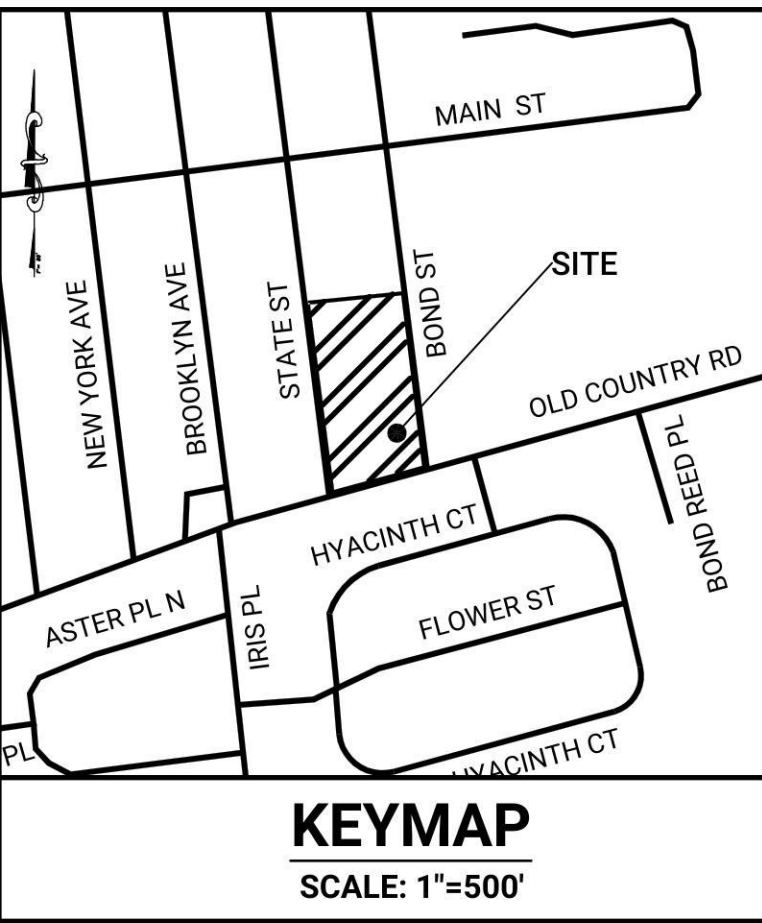


Drawing Name: P:\2022 Projects\2022-124\1025\1025.dwg Last Modified: May 30, 2024 - 12:15pm Plotted on: May 30, 2024 - 2:13pm by pargenski



**SITE DATA**

EXISTING SITE AREA: BLK 79 - 59,422 SF (1.36 Ac.),  
 BLK 80 - 103,129 SF (2.37 Ac.)  
 N.C.T.M.: SECT. 011, BLK 79,  
 LOTS 242 THROUGH 256 INCLUSIVE  
 SECT. 011, BLK 80,  
 LOTS 92 - 96, 209 - 213, 236, 241, 243, 245, 248 - 251  
 EXISTING ZONE: INDUSTRIAL B (I-B)  
 EXISTING USE: COMMERCIAL  
 POST OFFICE: WESTBURY, 11590  
 SCHOOL DISTRICT: WESTBURY UFSD  
 FIRE DISTRICT: WESTBURY  
 WATER DISTRICT: WESTBURY WD



**PARKING TABULATION TABLE**

EXISTING PARKING STALLS		
LEVEL 0	=	29 STALLS
LEVEL 1	=	79 STALLS
LEVEL 2	=	16 STALLS
LEVEL 3	=	11 STALLS
LEVEL 4	=	0 STALLS
LEVEL 5	=	0 STALLS
LOT A - EXISTING PARKING TO BE MODIFIED	=	121 STALLS
LOT B - EXISTING PARKING TO BE MODIFIED	=	13 STALLS
LOT C - EXISTING PARKING TO BE MODIFIED	=	20 STALLS
<b>TOTAL EXISTING STRIPED PARKING STALLS</b>	<b>=</b>	<b>289 STALLS</b>

PROPOSED PARKING STALLS		
LEVEL 0	=	17 STALLS *
LEVEL 1	=	65 STALLS *
LEVEL 2	=	17 STALLS *
LEVEL 3	=	10 STALLS *
LEVEL 4	=	4 STALLS *
LEVEL 5	=	0 STALLS *
LOT A - EXISTING PARKING TO BE MODIFIED	=	123 STALLS
LOT B - EXISTING PARKING TO BE MODIFIED	=	13 STALLS
LOT C - EXISTING PARKING TO BE MODIFIED	=	20 STALLS
LOT D - PROPOSED PARKING	=	19 STALLS
<b>TOTAL PROPOSED PARKING STALLS WITH VARIANCE (WITH 10 HANDICAP STALLS)</b>	<b>=</b>	<b>288 STALLS</b>
<b>DIFFERENCE</b>	<b>=</b>	<b>-1 STALLS</b>

\* VARIANCE REQUIRED

**PARKING REQUIREMENT TABLE**

<b>TOWN OF NORTH HEMPSTEAD (§70-103)</b>		
LEVEL 0:	=	0 STALLS
LEVEL 1:	=	129 STALLS
LEVEL 2:	=	152 STALLS
LEVEL 3:	=	251 STALLS
LEVEL 4:	=	246 STALLS
LEVEL 5:	=	0 STALLS
<b>TOTAL STALLS REQUIRED</b>	<b>=</b>	<b>778 STALLS **</b>

\*\* 2018 BZA APPROVED SITE PLAN PROVIDED 576 STALLS OF THE 702 STALLS REQUIRED. ALLOWING FOR AN 82% COMPLIANCE.

**ZONING COMPLIANCE TABLE**

<b>TOWN OF NORTH HEMPSTEAD (§70-190 - §70-195)</b>		
ITEM	REQUIRED	PROVIDED
LOT AREA (MIN)	10,000 SF	59,422 + 103,129 SF (1.36 + 2.37 Ac.)
PERMITTED COVERAGE (MAX)	80% (75,303.2 SF)	72% (68,252.6 SF) ***
HEIGHT PERMITTED (MAX)	40'	EXISTING ***
FRONT YARD (MIN)	10'	27.0' ***
SIDE YARD (MIN)	N/A	10.0' ***
REAR YARD (MIN)	20'	92.0' ***
PARKING SPACES	778 STALLS	288 STALLS ***
GENERATOR SETBACK (MIN)	10'	10.0' ***

\* VARIANCE REQUIRED  
 \*\*\* EXISTING CONDITION

**BZA GRANTS**

- (1) 2008/09/10 APPROVAL OBTAINED #18420 A THROUGH E 751 PARKING SPACES REQUIRED AND 600 PROVIDED GRANTING AN 80% COMPLIANCE.
- (2) 2018/06/20 APPROVAL OBTAINED #20524 TO EXPAND EXISTING PARKING LOTS WITHIN A REQUIRED FRONT YARD SETBACK.

DISAPPROVED

Michael Maracic  
07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	TONH COMMENTS	5/30/24	PVA
3.	TONH COMMENTS	4/11/24	PVA
2.	TONH COMMENTS	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

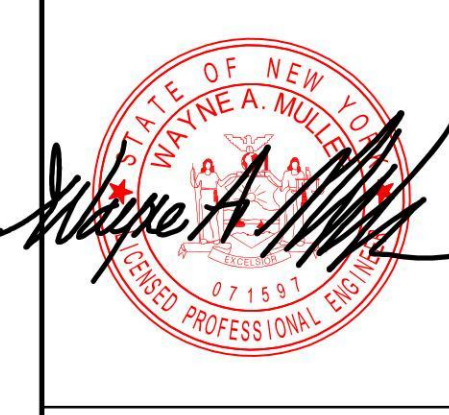
**OWNER:**  
 1025 IL L.L.C.  
 1025 OLD COUNTRY ROAD  
 WESTBURY, NY 11590

**APPLICANT:**  
 1025 IL L.L.C.  
 1025 OLD COUNTRY ROAD  
 WESTBURY, NY 11590

**ALIGNMENT PLAN**

**1025 OLD COUNTRY ROAD**  
 SITUATED IN  
**WESTBURY**  
 TOWN OF NORTH HEMPSTEAD,  
 NASSAU COUNTY, NEW YORK

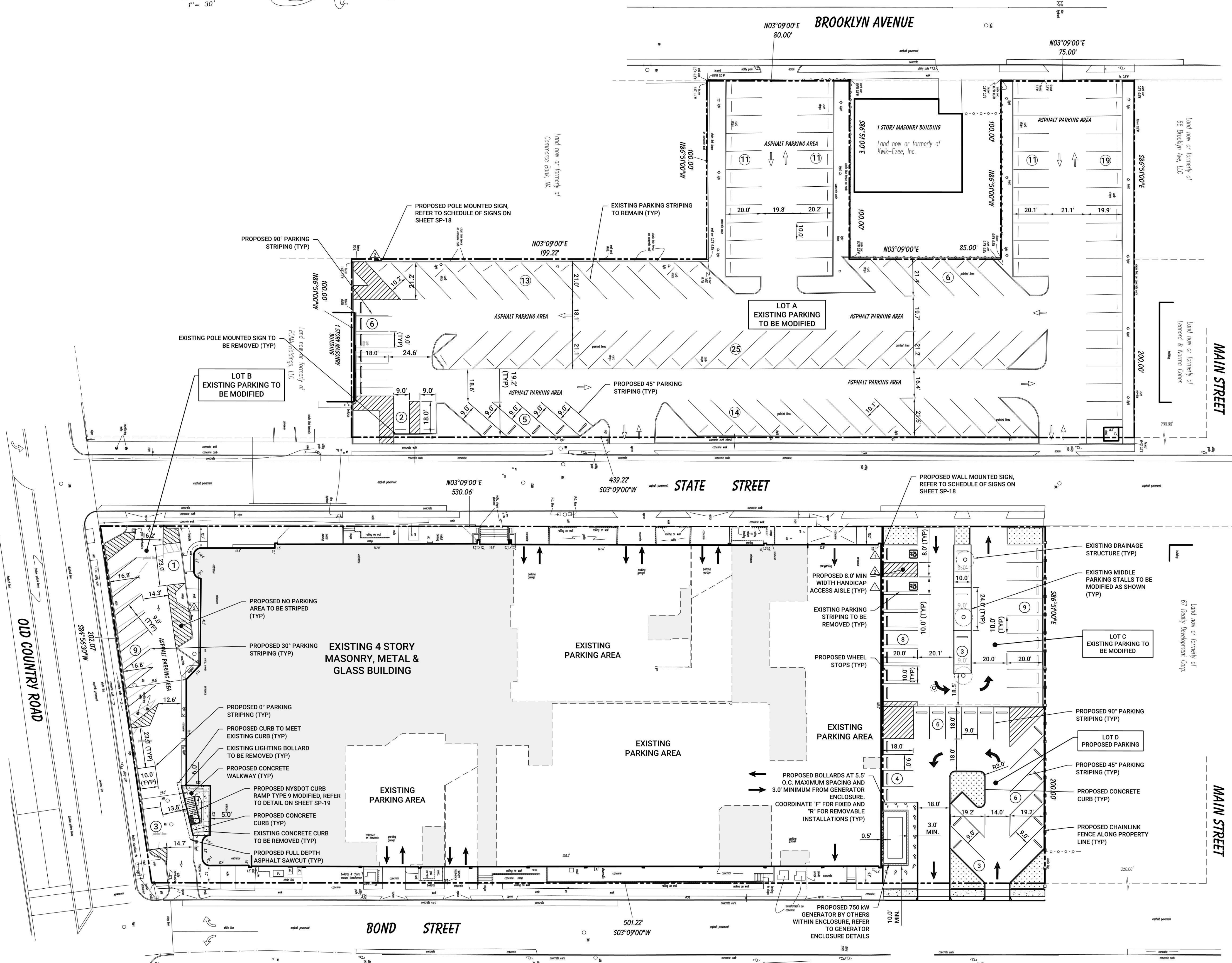
NCTM: SECTION 11, BLOCK 79 & 80, LOTS SEE TABLE



**R&M ENGINEERING**

Robinson & Muller  
 Engineers, P.C.  
 50 Elm Street  
 Huntington, NY 11743  
 Office: (631) 271-0576  
 Fax: (631) 271-0592  
 www.rmengineering.com

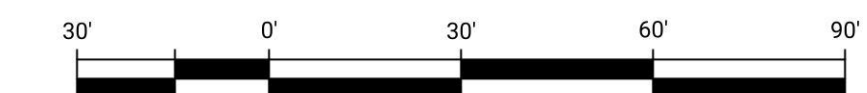
DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	1"=30'	SHEET:	<b>SP-3</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



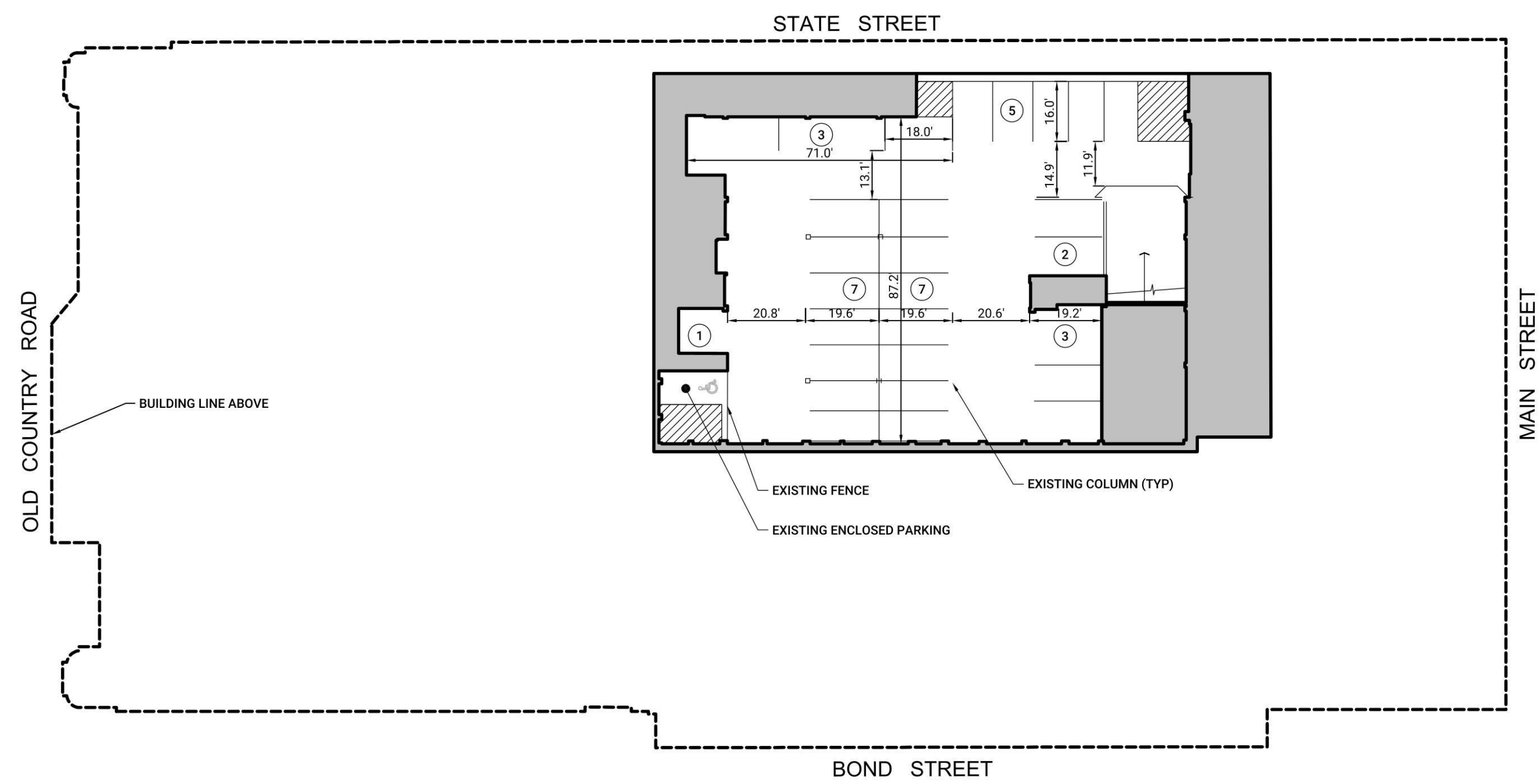
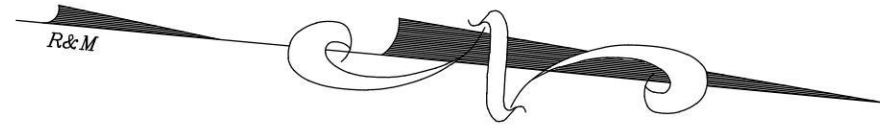
**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THIS SITE PLAN IS BASED UPON A SURVEY PREPARED BY JM LAND SURVEYING, DATED AUGUST, 2023.



Drawing Name: P:\2022 Projects\2022-15A\15A\2024-05-09 (2022-124) 1025 OCR - Site Plan (Rev 4).dwg Last Modified: May 30, 2024 - 12:16pm Plotted on: May 30, 2024 - 2:24pm by pargenaki



**EXISTING LEVEL 0 PARKING PLAN**  
(CELLAR)  
SCALE: 1"=30'

**PARKING SIZE COMPLIANCE TABLE**

TOWN OF NORTH HEMPSTEAD §70-103  
9 FOOT X 18 FOOT PARKING STALLS

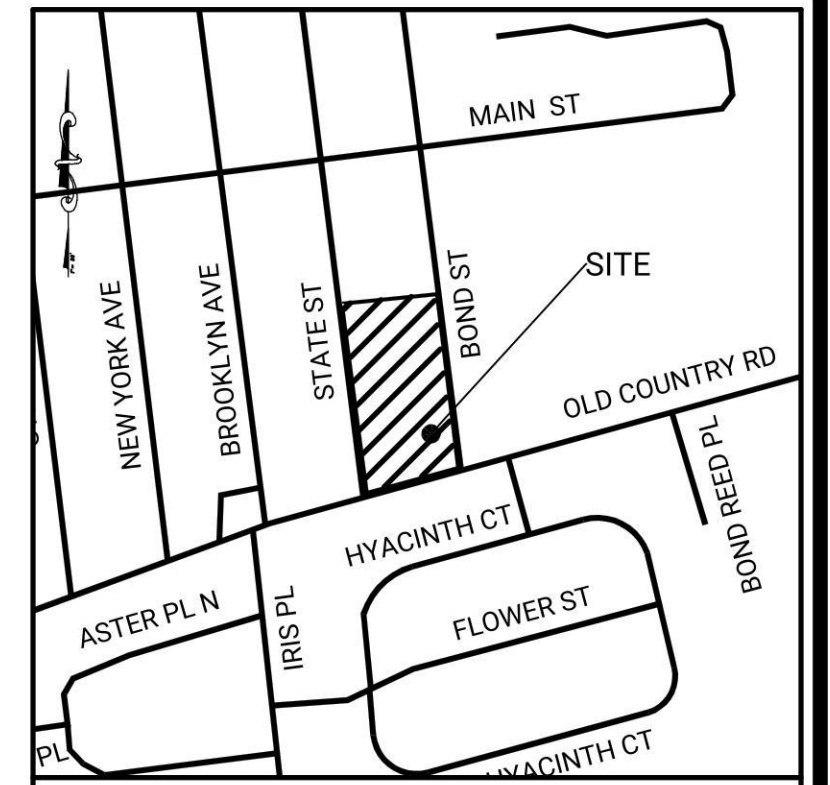
PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

10 FOOT X 20 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

**PARKING TABULATION**

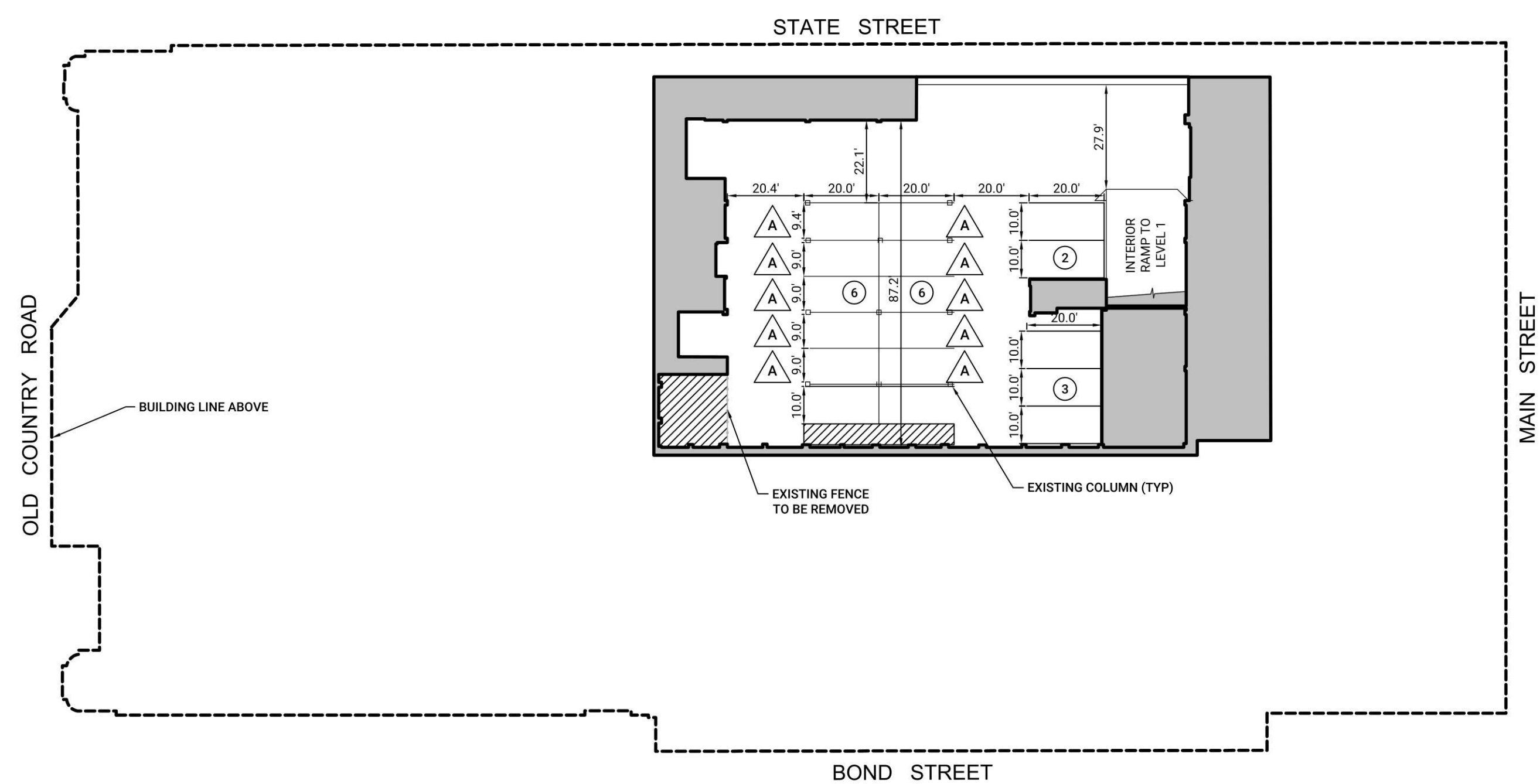
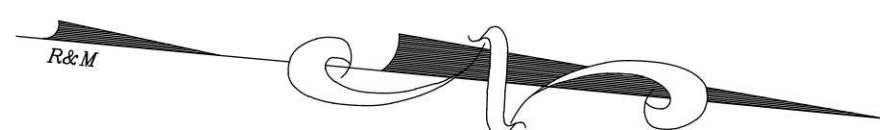
EXISTING PARKING	
NON-CONFORMING STALLS	= 25 STALLS
CONFORMING STALLS	= 4 STALLS
<b>TOTAL PARKING STALLS</b>	<b>= 29 STALLS</b>



**KEYMAP**  
SCALE: 1"=500'

**LEGEND**

■ NON-DRIVEABLE AREA



**PROPOSED LEVEL 0 PARKING PLAN**  
(CELLAR)  
SCALE: 1"=30'

**RELIEF REQUIRED**

TOWN OF NORTH HEMPSTEAD §70-103

△ A	PARKING STALL WIDTH
△ B	PARKING STALL DEPTH
△ C	ACCESS ISLE WIDTH

**PARKING TABULATION**

PROPOSED PARKING	
NON-CONFORMING STALLS	= 10 STALLS *
CONFORMING STALLS	= 7 STALLS
<b>TOTAL PARKING STALLS</b>	<b>= 17 STALLS</b>

\* VARIANCE REQUIRED

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA
No.	REVISION DESCRIPTION	DATE	BY

OWNER:  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



Wayne A. Muller, P.E.  
NY State License No. 071597

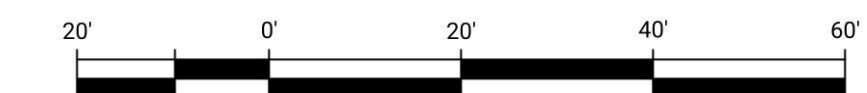
**LEVEL 0 FLOOR PLAN**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

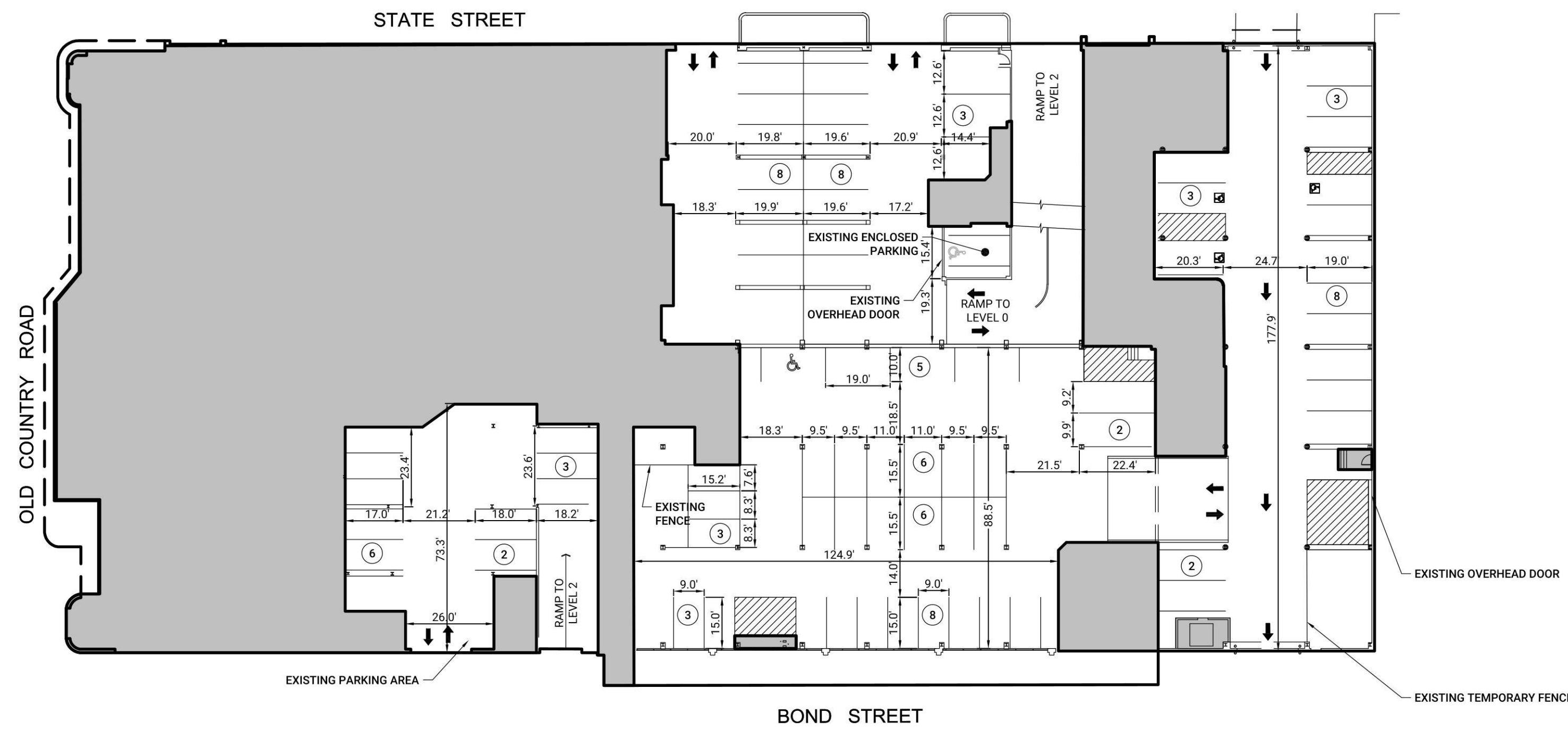
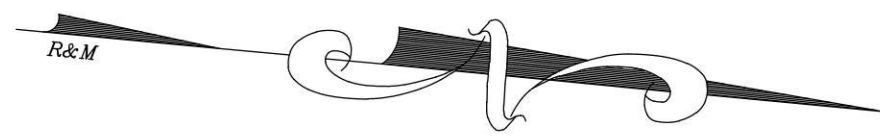
**R&M ENGINEERING**  
Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
Office: (631) 271-0576  
Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	1"=20'	SHEET:	<b>SP-4</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:15pm by pargenels

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES ON MAY 4, 2023, AND BY SITE INVESTIGATION BY R&M ENGINEERING ON MARCH 15, 2023.



**EXISTING LEVEL 1 PARKING PLAN**  
(FIRST FLOOR)  
SCALE: 1"=30'

**PARKING SIZE COMPLIANCE TABLE**

TOWN OF NORTH HEMPSTEAD §70-103  
9 FOOT X 18 FOOT PARKING STALLS

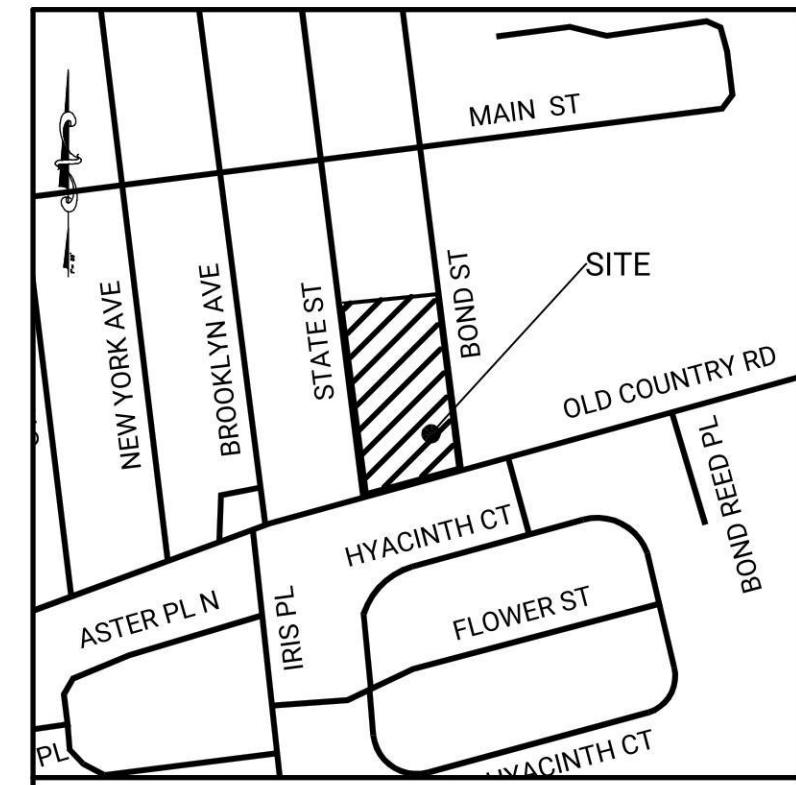
PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

10 FOOT X 20 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

**PARKING TABULATION**

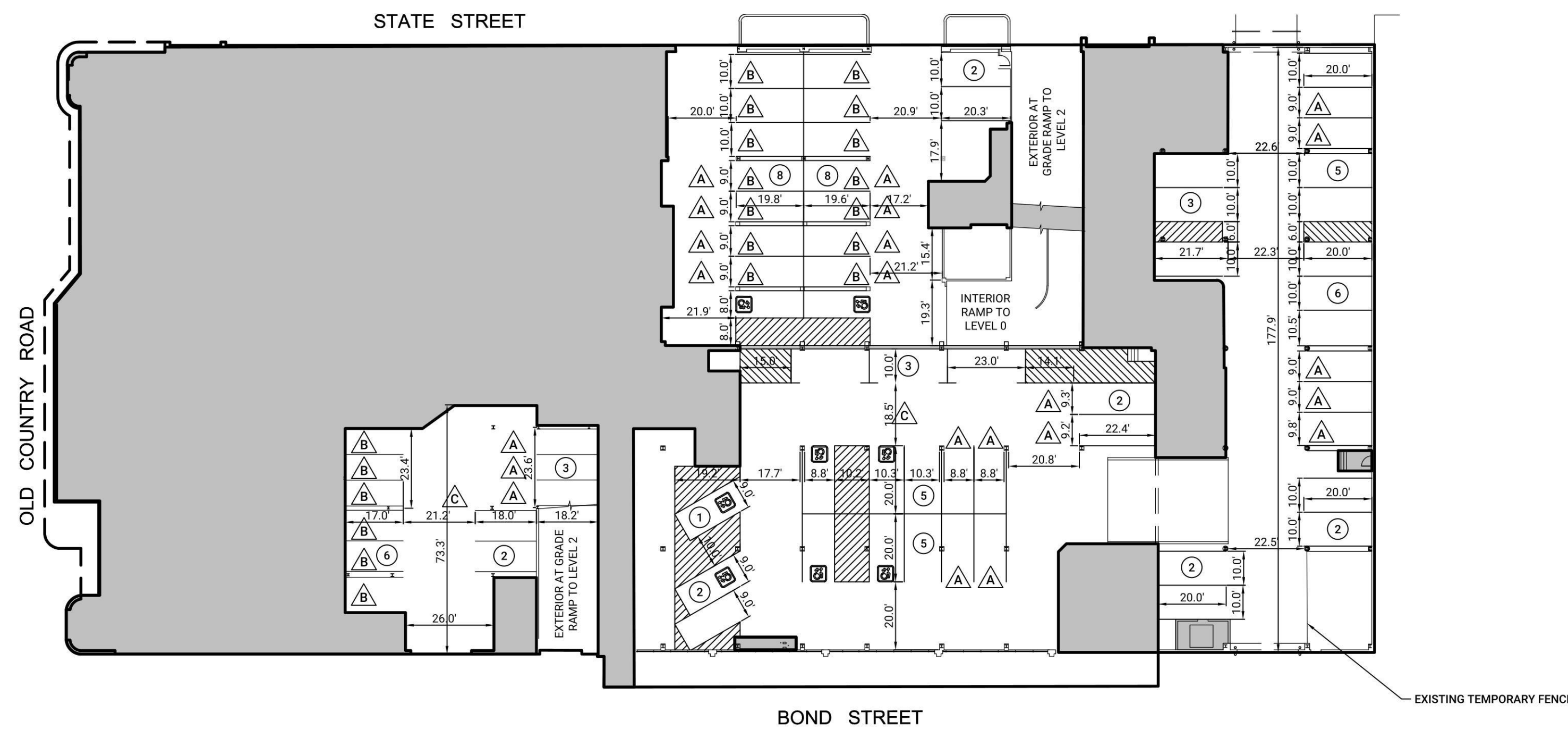
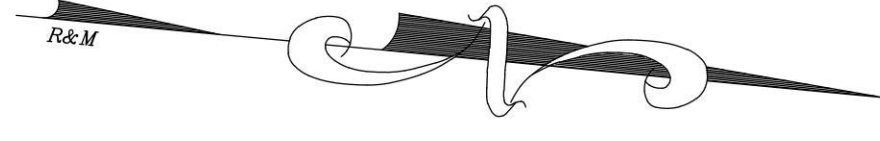
EXISTING PARKING	=	51 STALLS
NON-CONFORMING STALLS	=	28 STALLS
CONFORMING STALLS	=	28 STALLS
<b>TOTAL PARKING STALLS</b>	<b>=</b>	<b>79 STALLS</b>



**KEYMAP**  
SCALE: 1"=500'

**LEGEND**

■ NON-DRIVEABLE AREA



**PROPOSED LEVEL 1 PARKING PLAN**  
(FIRST FLOOR)  
SCALE: 1"=30'

**RELIEF REQUIRED**

TOWN OF NORTH HEMPSTEAD §70-103

- ▲ PARKING STALL WIDTH
- ▲ PARKING STALL DEPTH
- ▲ ACCESS ISLE WIDTH

**PARKING TABULATION**

PROPOSED PARKING	=	26 STALLS
NON-CONFORMING STALLS	=	39 STALLS *
CONFORMING STALLS	=	26 STALLS
<b>TOTAL PARKING STALLS</b>	<b>=</b>	<b>65 STALLS</b>

\* VARIANCE REQUIRED

**DISAPPROVED**  
Michael Maracic  
07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	TONH COMMENTS	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

OWNER:  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

Wayne A. Muller, P.E.  
NY State License No. 071597

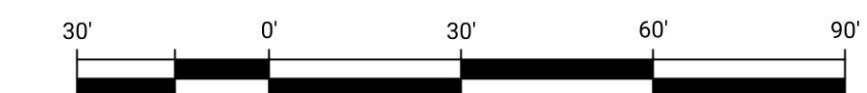
**LEVEL 1 FLOOR PLAN**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

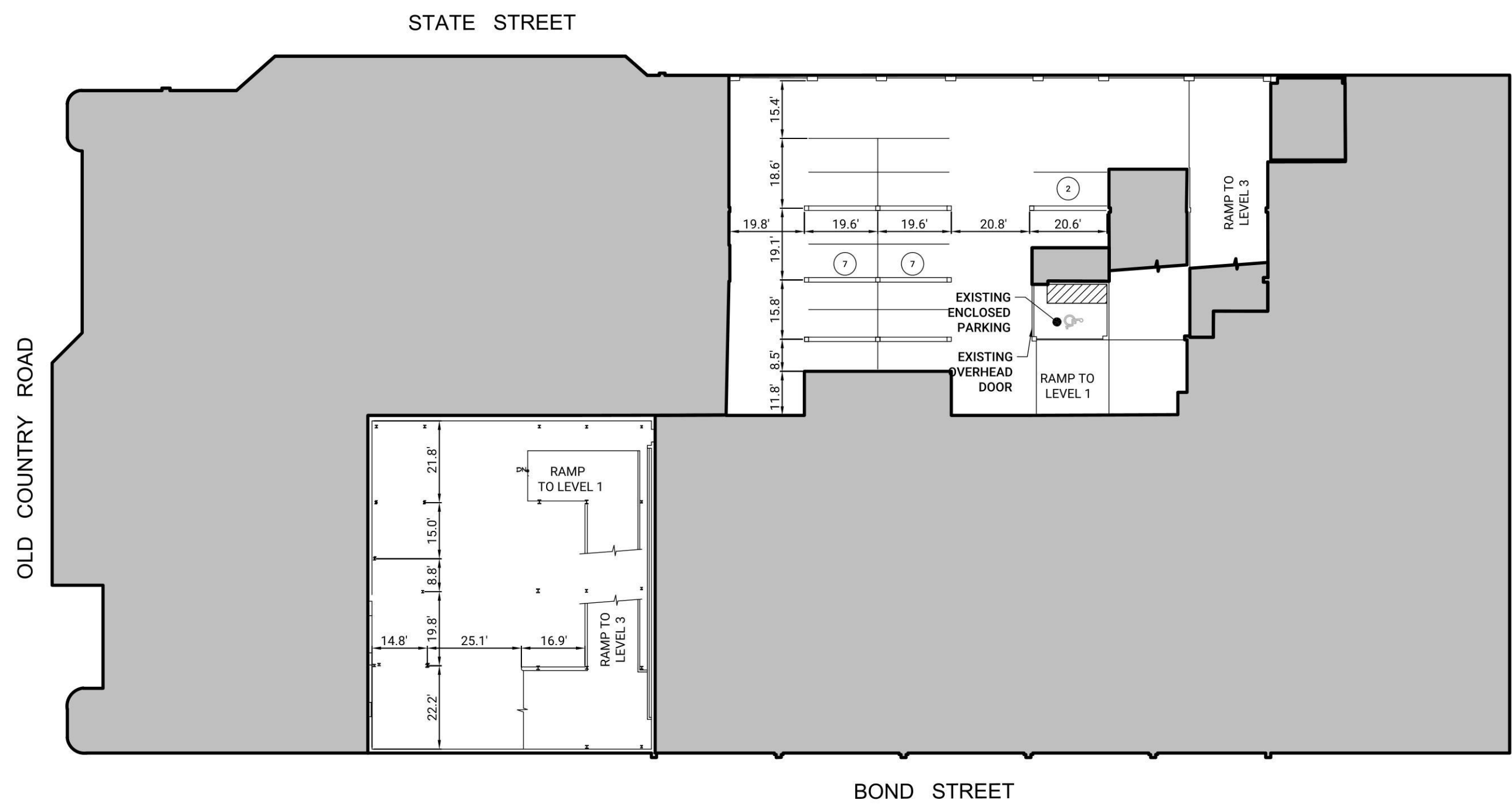
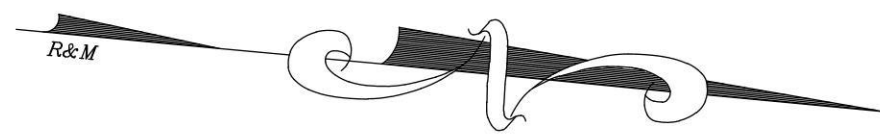
**R&M ENGINEERING**  
Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
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Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	1"=30'	SHEET:	<b>SP-5</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



Drawing Name: P:\2022 Projects\2022-154\154\154.dwg Last Modified: May 30, 2024 - 4:12pm by pargenels  
Rev: 0.dwg Last Modified: May 30, 2024 - 3:29pm by pargenels

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES ON MAY 4, 2023, AND BY SITE INVESTIGATION BY R&M ENGINEERING ON MARCH 15, 2023.



**EXISTING LEVEL 2 PARKING PLAN**  
(SECOND FLOOR)  
SCALE: 1"=30'

**PARKING SIZE COMPLIANCE TABLE**

TOWN OF NORTH HEMPSTEAD §70-103  
9 FOOT X 18 FOOT PARKING STALLS

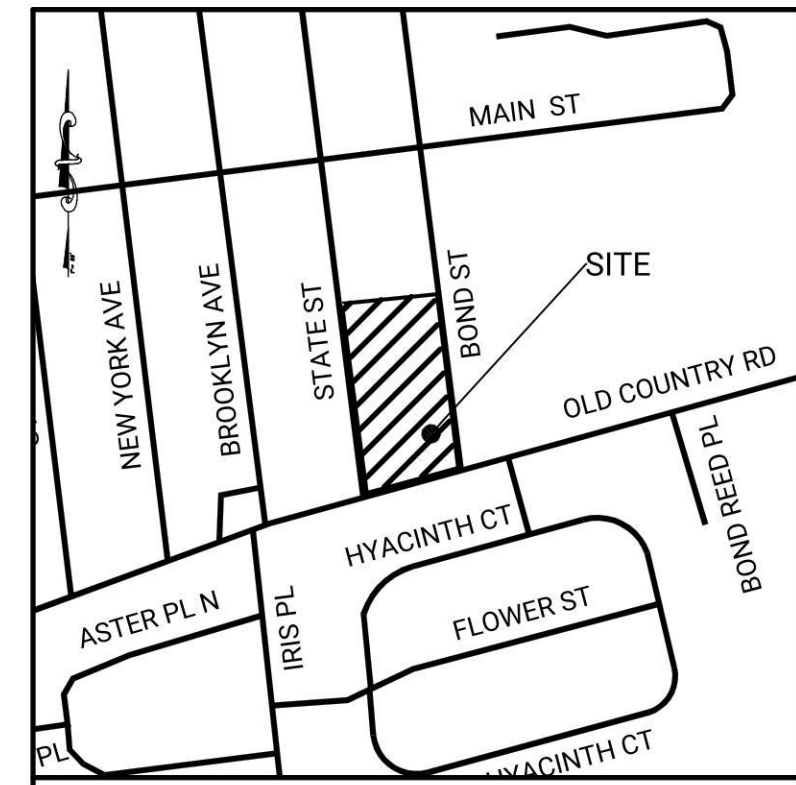
PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

10 FOOT X 20 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

**PARKING TABULATION**

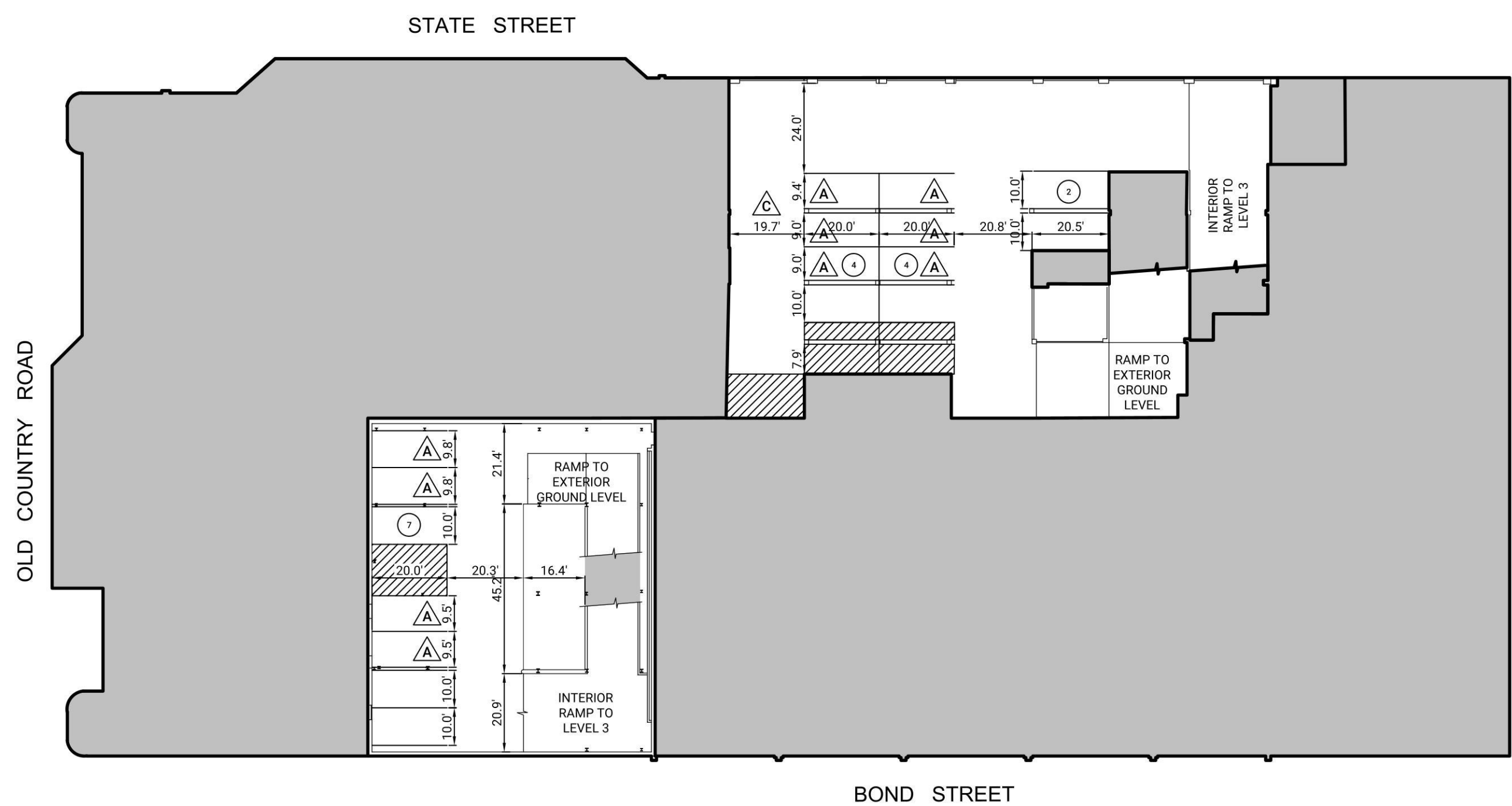
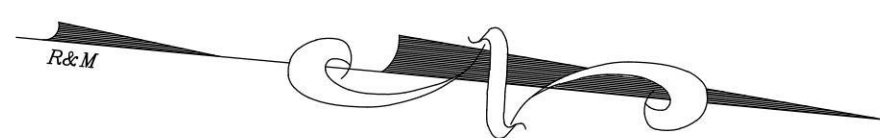
EXISTING PARKING	=	14 STALLS
NON-CONFORMING STALLS	=	2 STALLS
CONFORMING STALLS	=	16 STALLS
<b>TOTAL PARKING STALLS</b>	=	<b>16 STALLS</b>



**KEYMAP**  
SCALE: 1"=500'

**LEGEND**

■ NON-DRIVEABLE AREA



**PROPOSED LEVEL 2 PARKING PLAN**  
(SECOND FLOOR)  
SCALE: 1"=30'

**RELIEF REQUIRED**

TOWN OF NORTH HEMPSTEAD §70-103

- △ A PARKING STALL WIDTH
- △ B PARKING STALL DEPTH
- △ C ACCESS ISLE WIDTH

**PARKING TABULATION**

PROPOSED PARKING	=	11 STALLS *
NON-CONFORMING STALLS	=	6 STALLS
CONFORMING STALLS	=	17 STALLS
<b>TOTAL PARKING STALLS</b>	=	<b>17 STALLS</b>

\* VARIANCE REQUIRED

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA
No.	REVISION DESCRIPTION	DATE	BY

OWNER:  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



Wayne A. Muller, P.E.  
NY State License No. 071597

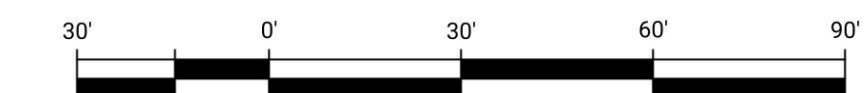
**LEVEL 2 FLOOR PLAN**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE



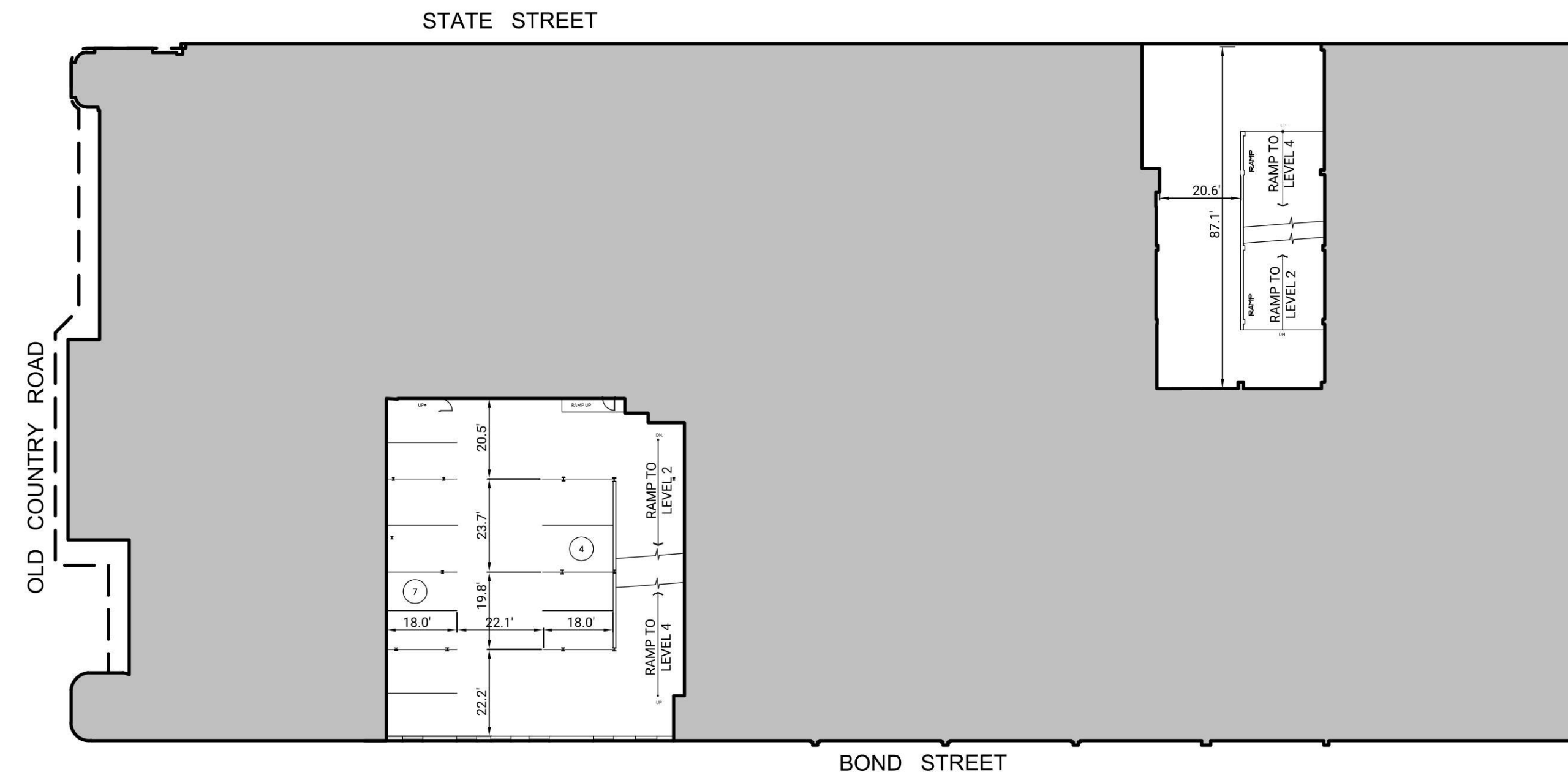
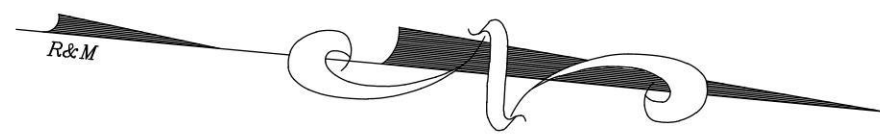
DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	1"=30'	SHEET:	<b>SP-6</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:15pm by pargenels

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES ON MAY 4, 2023, AND BY SITE INVESTIGATION BY R&M ENGINEERING ON MARCH 15, 2023.





**EXISTING LEVEL 3 PARKING PLAN**  
(THIRD FLOOR)  
SCALE: 1"=30'

**PARKING SIZE COMPLIANCE TABLE**

TOWN OF NORTH HEMPSTEAD §70-103  
9 FOOT X 18 FOOT PARKING STALLS

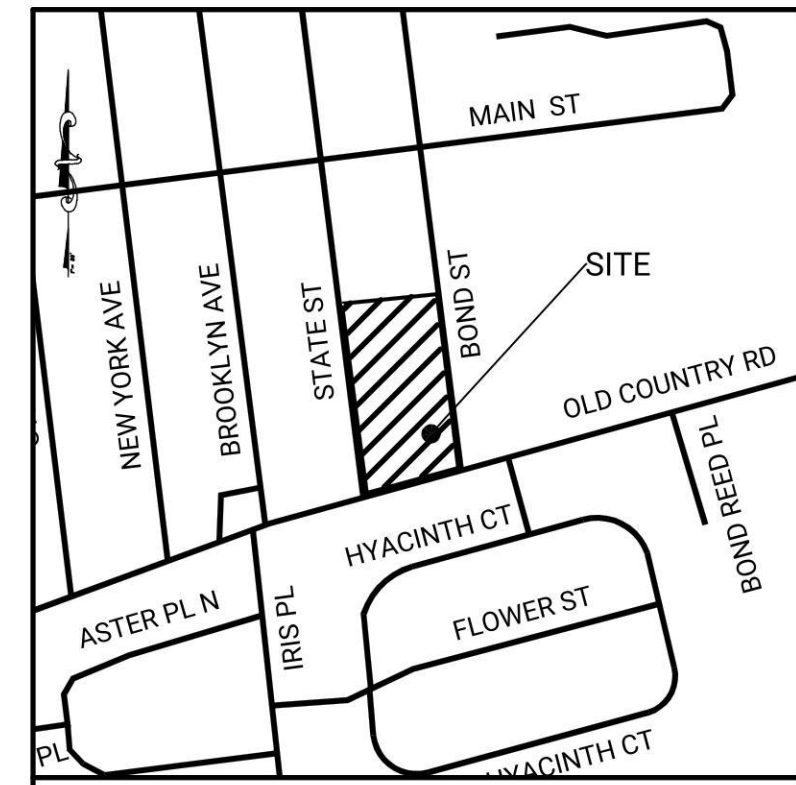
PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

10 FOOT X 20 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

**PARKING TABULATION**

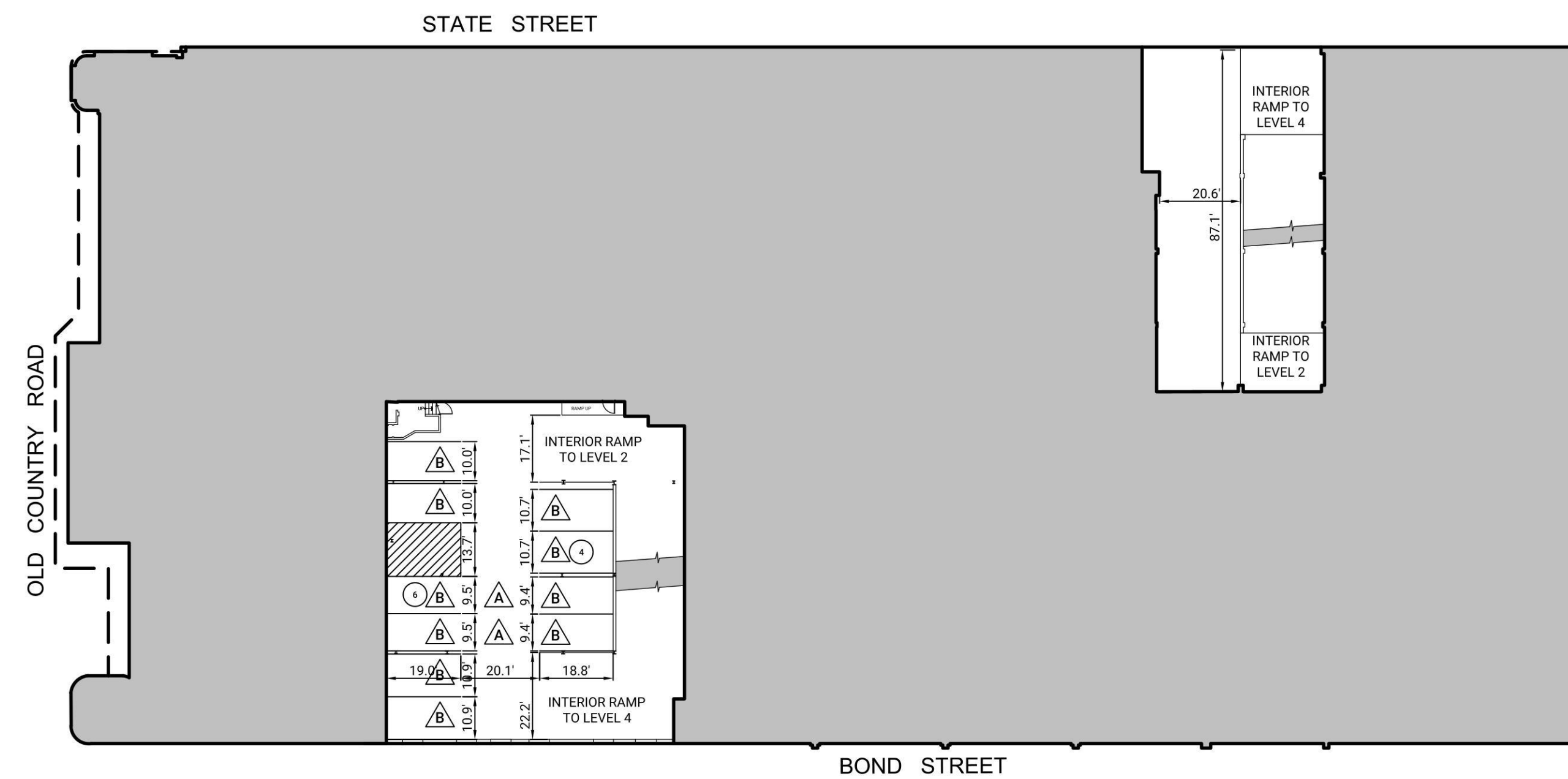
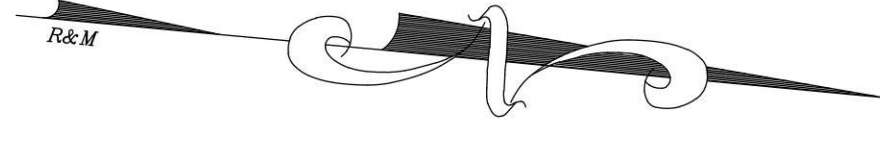
EXISTING PARKING	=	11 STALLS
NON-CONFORMING STALLS	=	0 STALLS
CONFORMING STALLS	=	0 STALLS
<b>TOTAL PARKING STALLS</b>	<b>=</b>	<b>11 STALLS</b>



**KEYMAP**  
SCALE: 1"=500'

**LEGEND**

■ NON-DRIVEABLE AREA



**PROPOSED LEVEL 3 PARKING PLAN**  
(THIRD FLOOR)  
SCALE: 1"=30'

**RELIEF REQUIRED**

- TOWN OF NORTH HEMPSTEAD §70-103
- PARKING STALL WIDTH
  - PARKING STALL DEPTH
  - ACCESS ISLE WIDTH

**PARKING TABULATION**

PROPOSED PARKING	=	10 STALLS
NON-CONFORMING STALLS	=	0 STALLS
CONFORMING STALLS	=	0 STALLS
<b>TOTAL PARKING STALLS</b>	<b>=</b>	<b>10 STALLS</b>

**DISAPPROVED**  
Michael Maracic  
07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

**OWNER:**  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**APPLICANT:**  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



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NY State License No. 071597

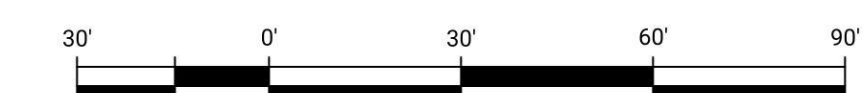
**LEVEL 3 FLOOR PLAN**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

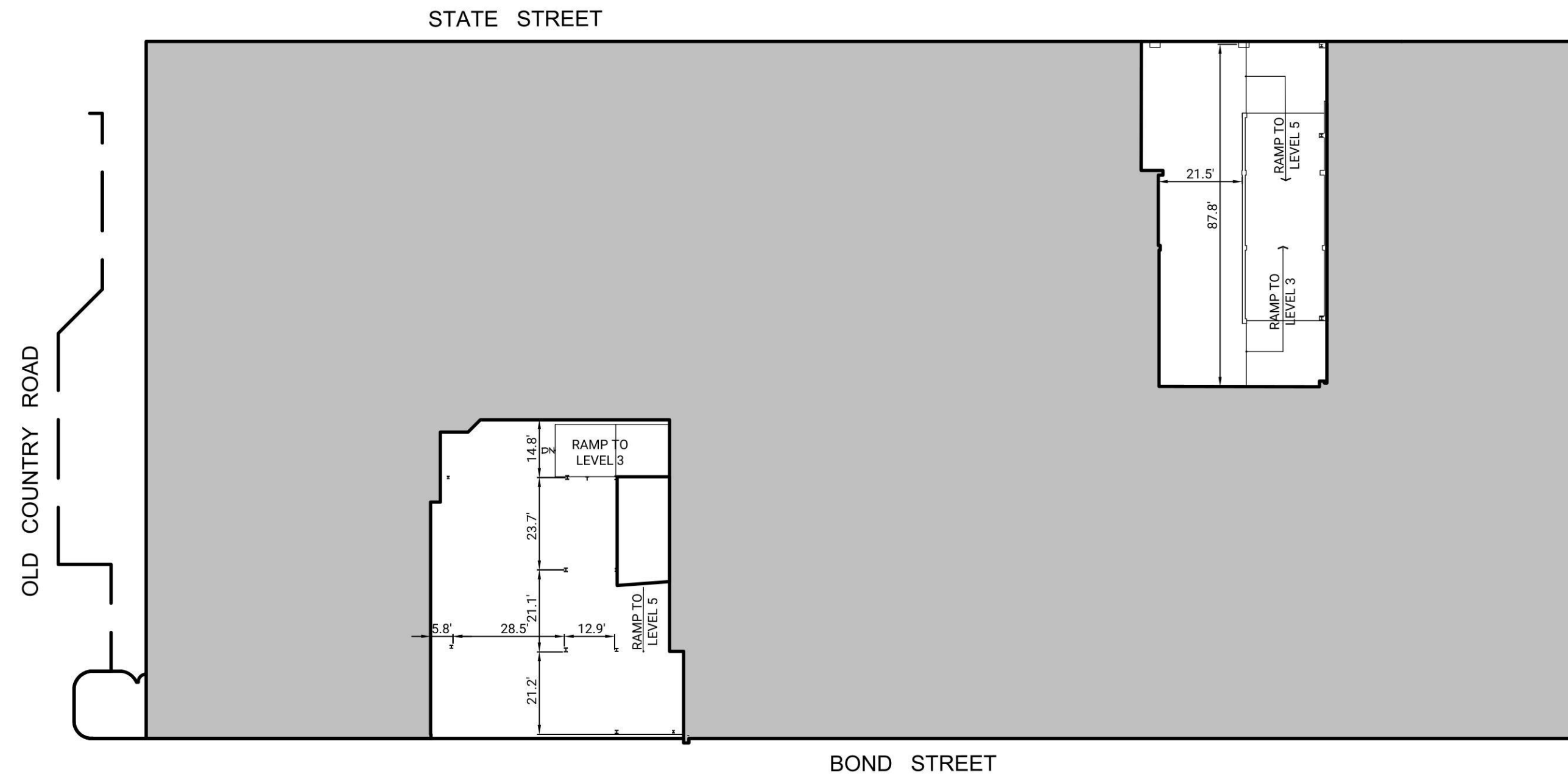
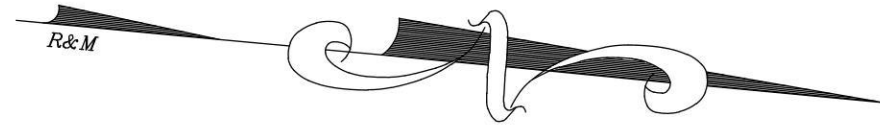
**R&M ENGINEERING**  
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50 Elm Street  
Huntington, NY 11743  
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Fax: (631) 271-0592  
www.rmengeering.com

DWN. BY: PVA	CHKD. BY: WAM	SCALE: 1"=30'	SHEET: <b>SP-7</b>
DATE: 8/30/2023	DATE: 8/30/2023	JOB No.: 2022-124	



Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:15pm by pargenola

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES ON MAY 4, 2023, AND BY SITE INVESTIGATION BY R&M ENGINEERING ON MARCH 15, 2023.



**EXISTING LEVEL 4 PARKING PLAN**  
**(FOURTH FLOOR)**  
SCALE: 1"=30'

**PARKING SIZE COMPLIANCE TABLE**

TOWN OF NORTH HEMPSTEAD §70-103  
9 FOOT X 18 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

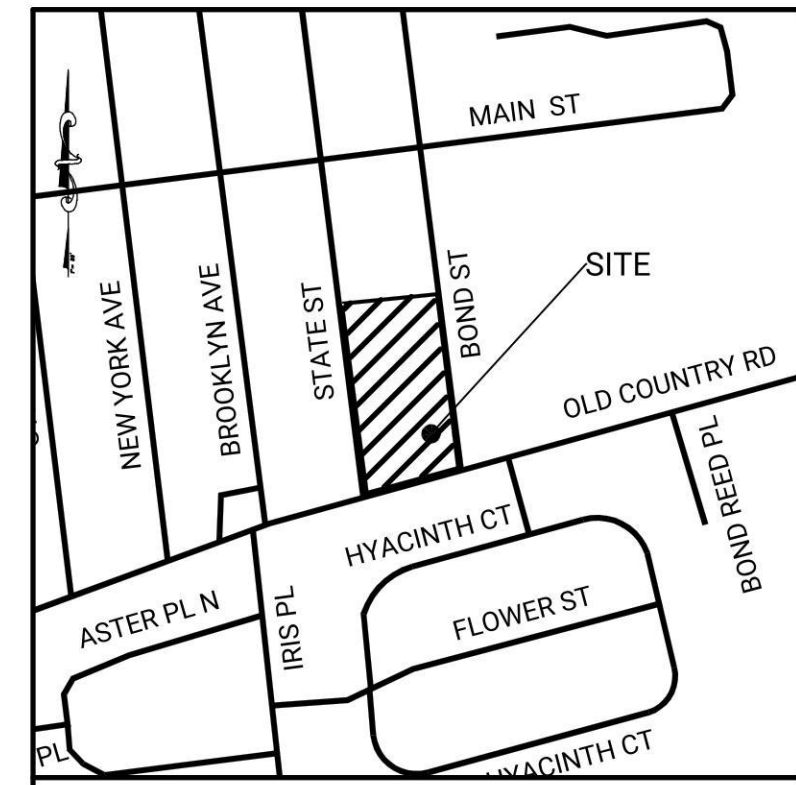
10 FOOT X 20 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

**PARKING TABULATION**

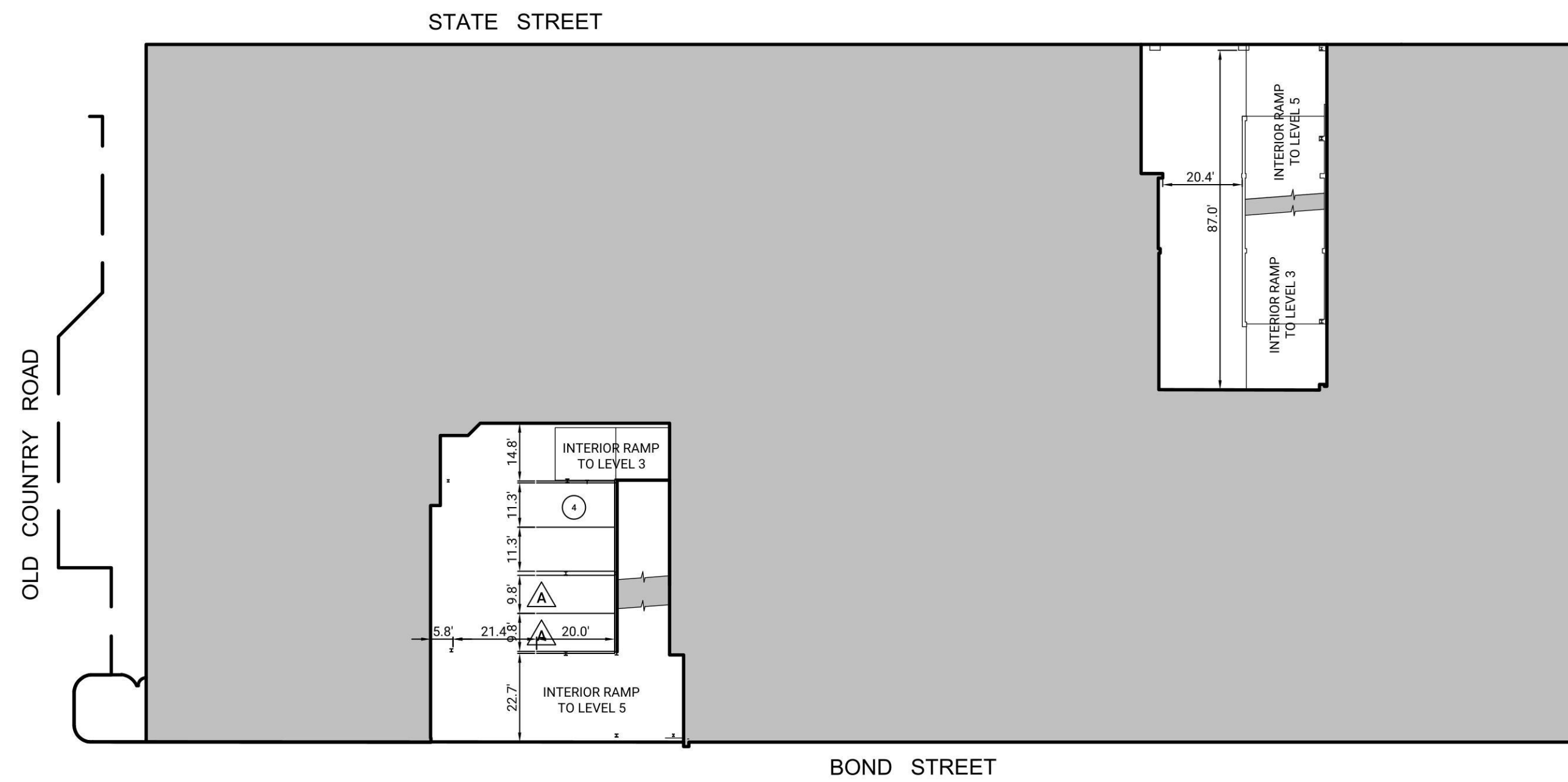
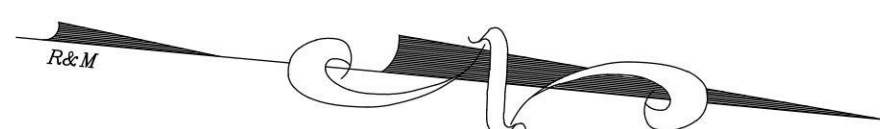
EXISTING PARKING

NON-CONFORMING STALLS	=	0 STALLS
CONFORMING STALLS	=	0 STALLS
<b>TOTAL PARKING STALLS</b>	=	<b>0 STALLS</b>



**KEYMAP**  
SCALE: 1"=500'

**LEGEND**  
NON-DRIVEABLE AREA



**PROPOSED LEVEL 4 PARKING PLAN**  
**(FOURTH FLOOR)**  
SCALE: 1"=30'

**RELIEF REQUIRED**

TOWN OF NORTH HEMPSTEAD §70-103

- PARKING STALL WIDTH
- PARKING STALL DEPTH
- ACCESS ISLE WIDTH

**PARKING TABULATION**

PROPOSED PARKING

NON-CONFORMING STALLS	=	2 STALLS *
CONFORMING STALLS	=	2 STALLS
<b>TOTAL PARKING STALLS</b>	=	<b>4 STALLS</b>

\* VARIANCE REQUIRED

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

OWNER:  
1025 R LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 R LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



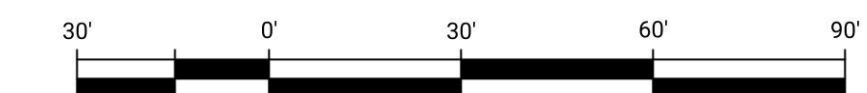
Wayne A. Muller, P.E.  
NY State License No. 071597

**LEVEL 4 FLOOR PLAN**  
**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

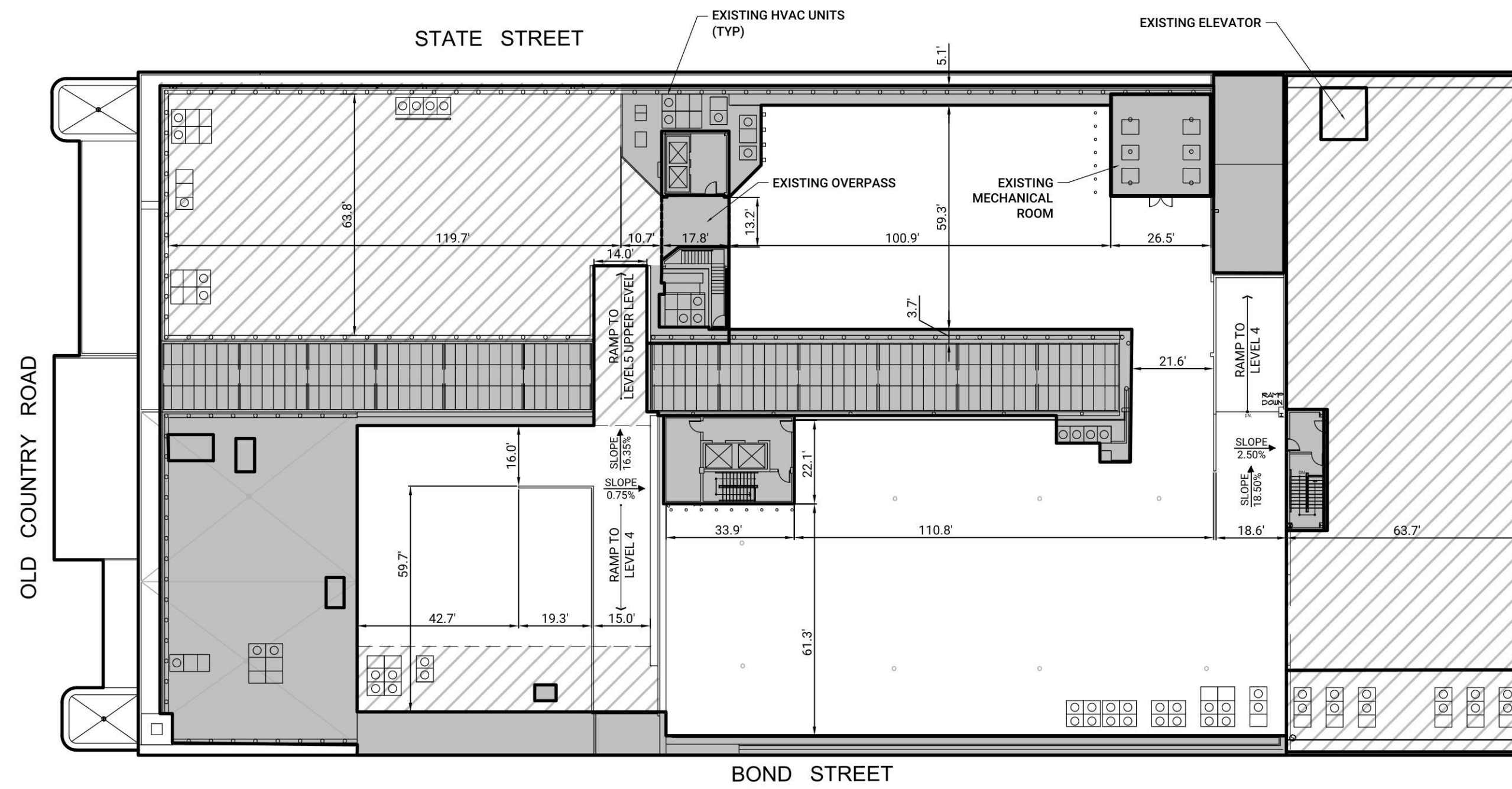
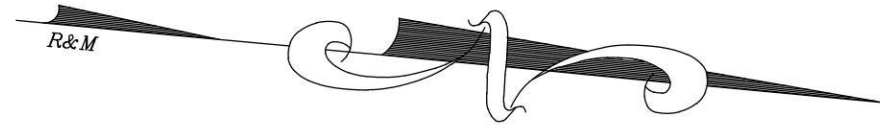
**R&M ENGINEERING**  
Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
Office: (631) 271-0576  
Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHK'D. BY:	WAM	SCALE:	1"=30'	SHEET:	<b>SP-8</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:15pm by pargenels

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES ON MAY 4, 2023, AND BY SITE INVESTIGATION BY R&M ENGINEERING ON MARCH 15, 2023.



**EXISTING LEVEL 5 PARKING PLAN**  
(ROOF)  
SCALE: 1"=30'

**PARKING SIZE COMPLIANCE TABLE**

TOWN OF NORTH HEMPSTEAD §70-103  
9 FOOT X 18 FOOT PARKING STALLS

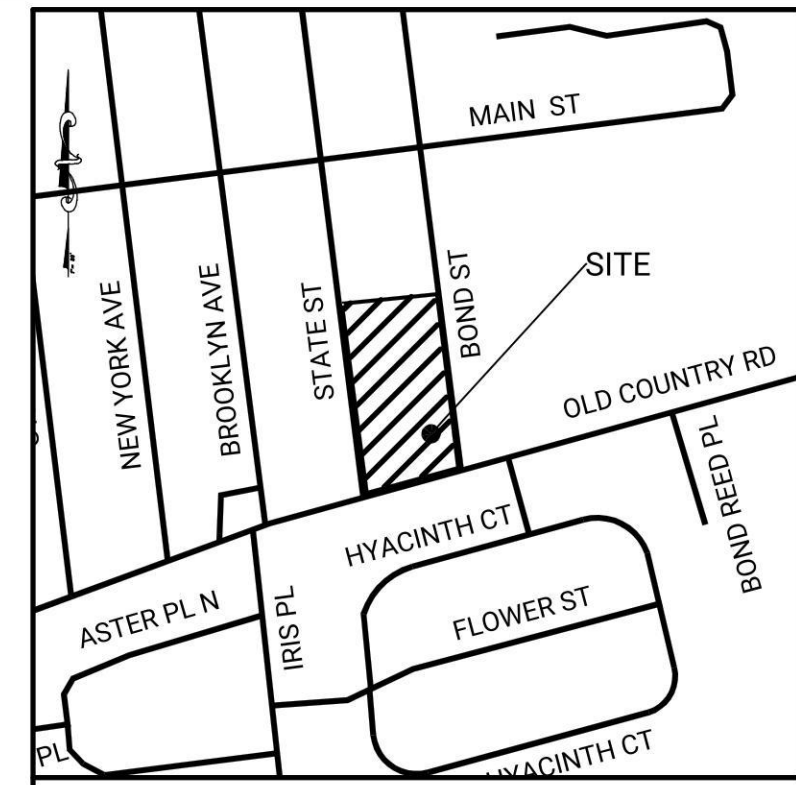
PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

10 FOOT X 20 FOOT PARKING STALLS

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

**PARKING TABULATION**

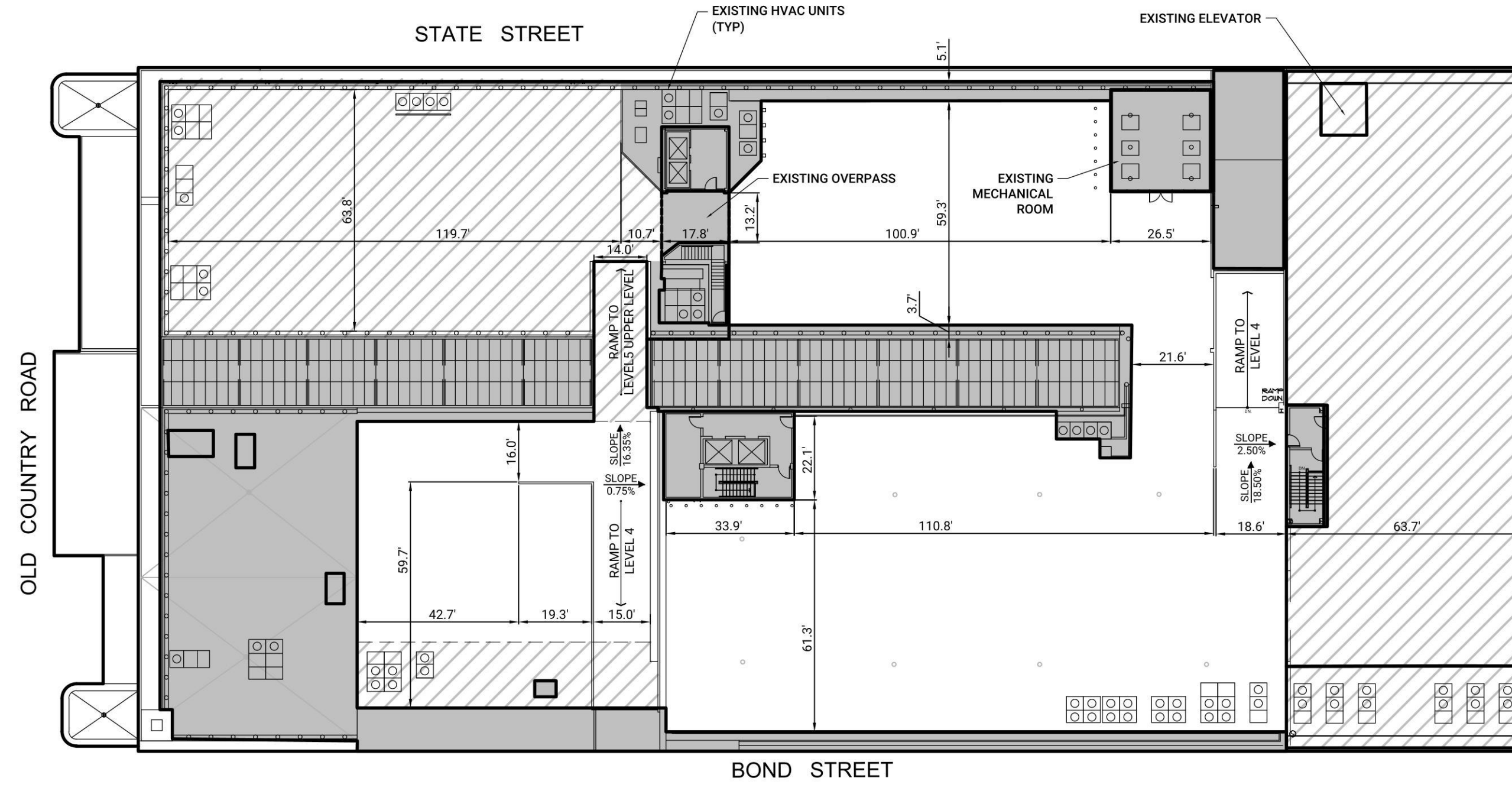
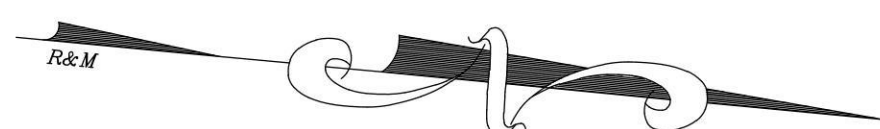
EXISTING PARKING	=	0 STALLS
NON-CONFORMING STALLS	=	0 STALLS
CONFORMING STALLS	=	0 STALLS
<b>TOTAL PARKING STALLS</b>	=	<b>0 STALLS</b>



**KEYMAP**  
SCALE: 1"=500'

**LEGEND**

- NON-DRIVEABLE AREA
- VINYL ROOFING MEMBRANE AREA (NON-DRIVEABLE)



**PROPOSED LEVEL 5 PARKING PLAN**  
(ROOF)  
SCALE: 1"=30'

**PARKING TABULATION**

PROPOSED PARKING	=	0 STALLS
NON-CONFORMING STALLS	=	0 STALLS
CONFORMING STALLS	=	0 STALLS
<b>TOTAL PARKING STALLS</b>	=	<b>0 STALLS</b>

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	TONH COMMENTS	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA
No.	REVISION DESCRIPTION	DATE	BY

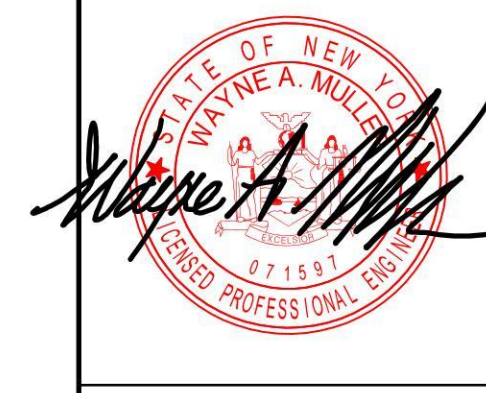
**OWNER:**  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**APPLICANT:**  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**LEVEL 5 FLOOR PLAN (ROOF)**

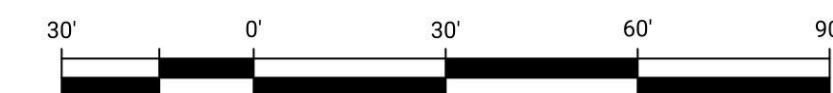
**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE



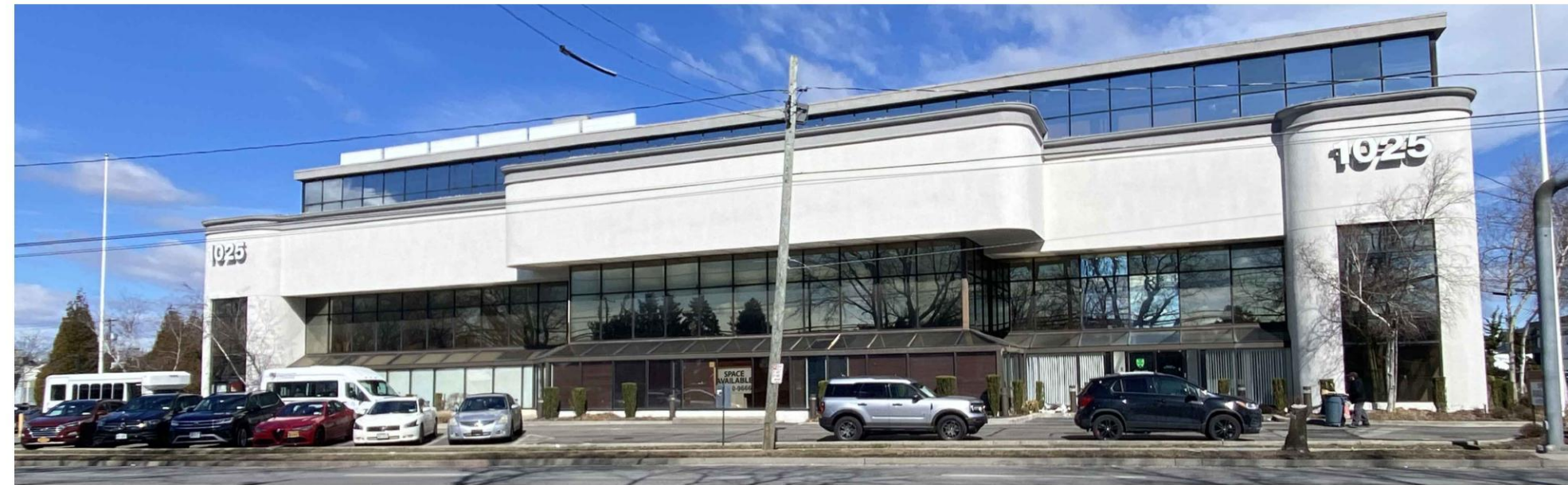
**R&M ENGINEERING**  
Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
Office: (631) 271-0576  
Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	1"=30'	SHEET:	<b>SP-9</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:15pm by pargeneks

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES ON MAY 4, 2023, AND BY SITE INVESTIGATION BY R&M ENGINEERING ON JANUARY 12, 2024.



**FRONT ELEVATION**  
**(LOOKING NORTH FROM OLD COUNTRY ROAD)**  
 SCALE: NTS



**RIGHT SIDE ELEVATION**  
**(LOOKING WEST FROM BOND STREET)**  
 SCALE: NTS



**REAR ELEVATION**  
**(LOOKING SOUTH FROM MAIN STREET)**  
 SCALE: NTS



**LEFT SIDE ELEVATION**  
**(LOOKING EAST FROM STATE STREET)**  
 SCALE: NTS

**DISAPPROVED**  
 Michael Maracic  
 07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

**OWNER:**  
 1025 # LLC  
 1025 OLD COUNTRY ROAD  
 WESTBURY, NY 11590

**APPLICANT:**  
 1025 # LLC  
 1025 OLD COUNTRY ROAD  
 WESTBURY, NY 11590



Wayne A. Muller, P.E.  
 NY State License No. 071597

**ELEVATION PLAN**

**1025 OLD COUNTRY ROAD**  
 SITUATED IN  
**WESTBURY**  
 TOWN OF NORTH HEMPSTEAD,  
 NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

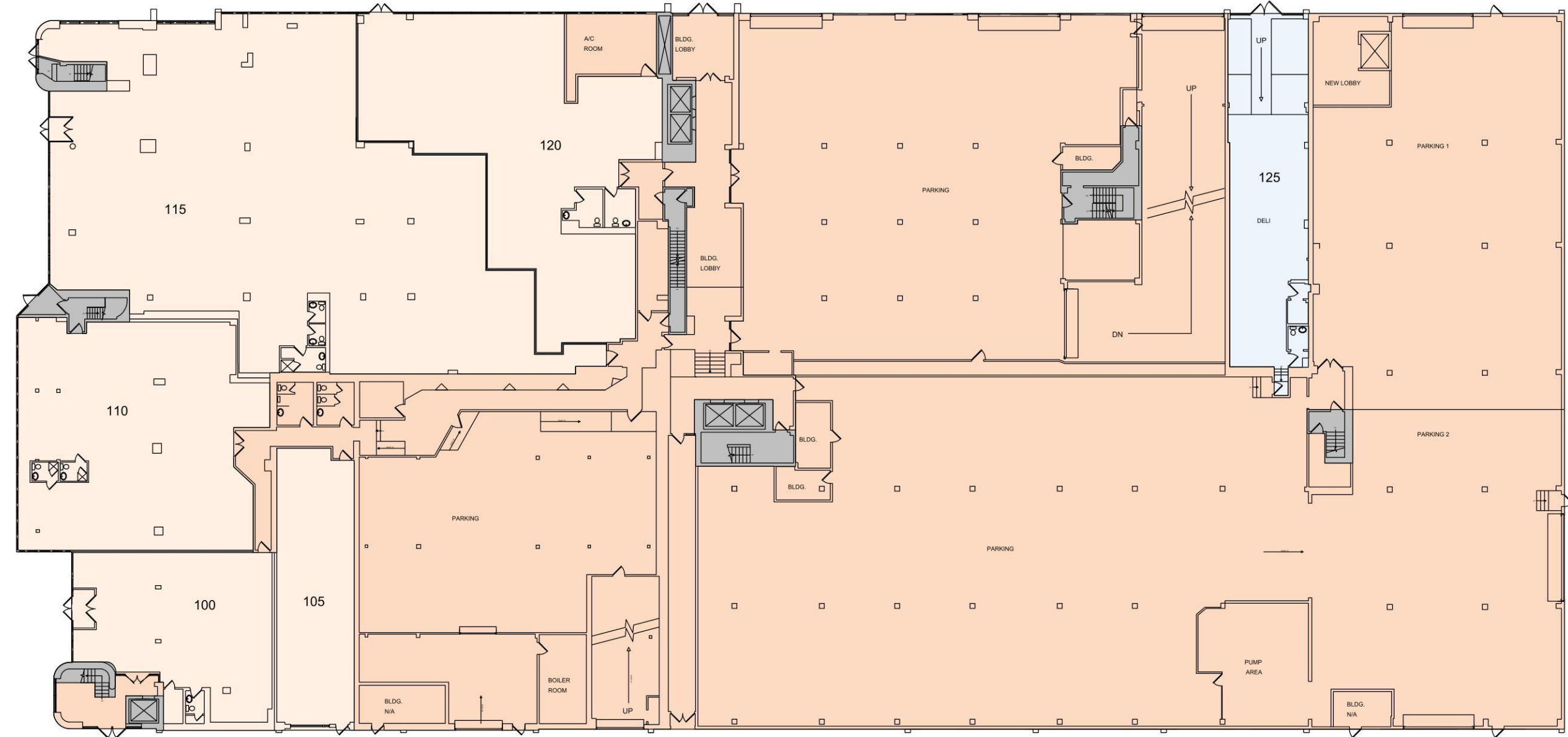
**R&M ENGINEERING**

Robinson & Muller  
 Engineers, P.C.  
 50 Elm Street  
 Huntington, NY 11743  
 Office: (631) 271-0576  
 Fax: (631) 271-0592  
 www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	Not to Scale	SHEET:
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124	<b>SP-10</b>

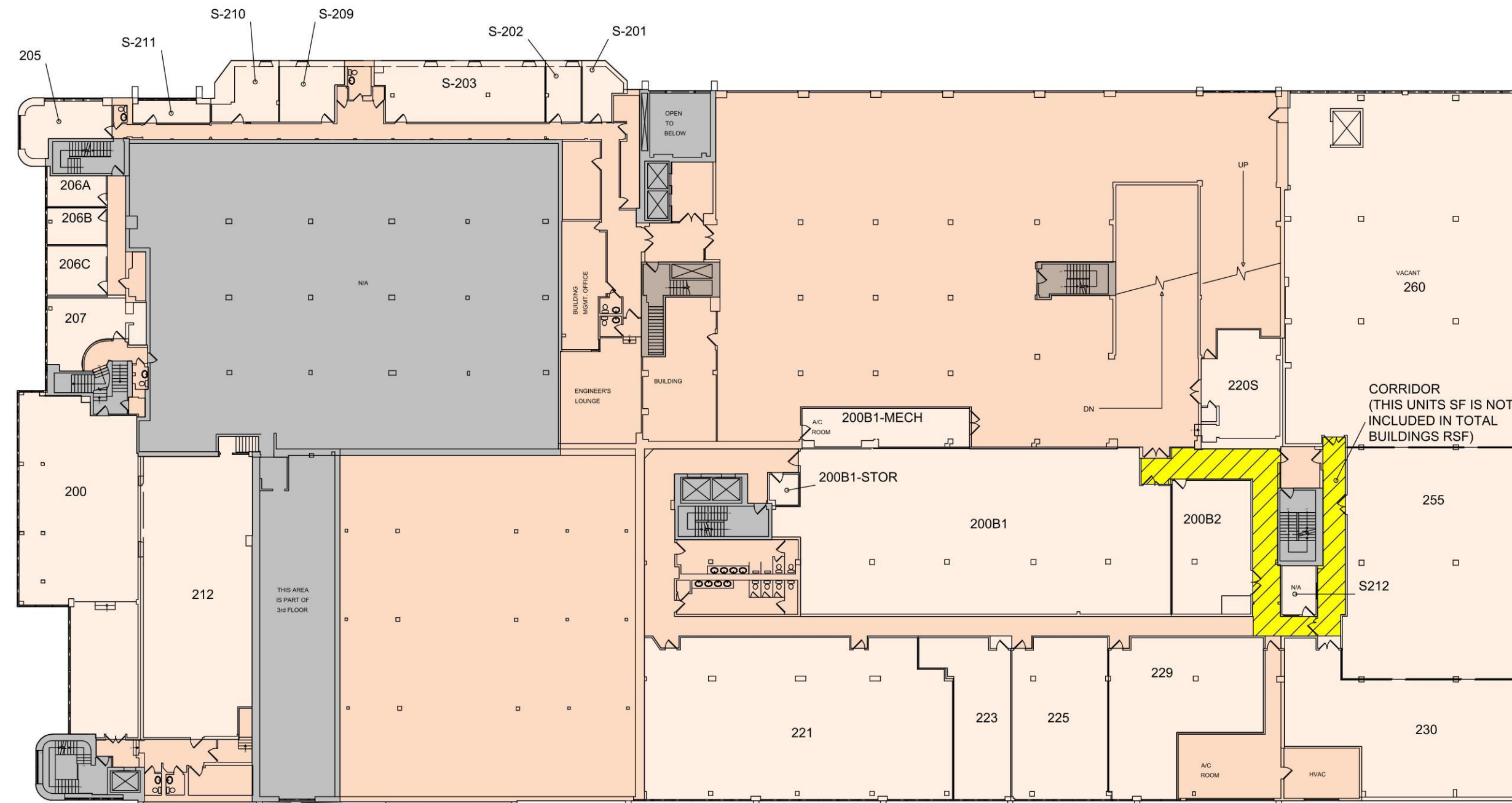
THIS ELEVATION PLAN IS BASED UPON SITE INVESTIGATION BY R&M ENGINEERING ON MARCH 15, 2023.

Drawing Name: P:\2022 Projects\2022-124\1025\1025.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:17pm by pargenels



**MEASURE UP CORP. - LEVEL 1 FLOOR PLAN**

SCALE: 1"=30'



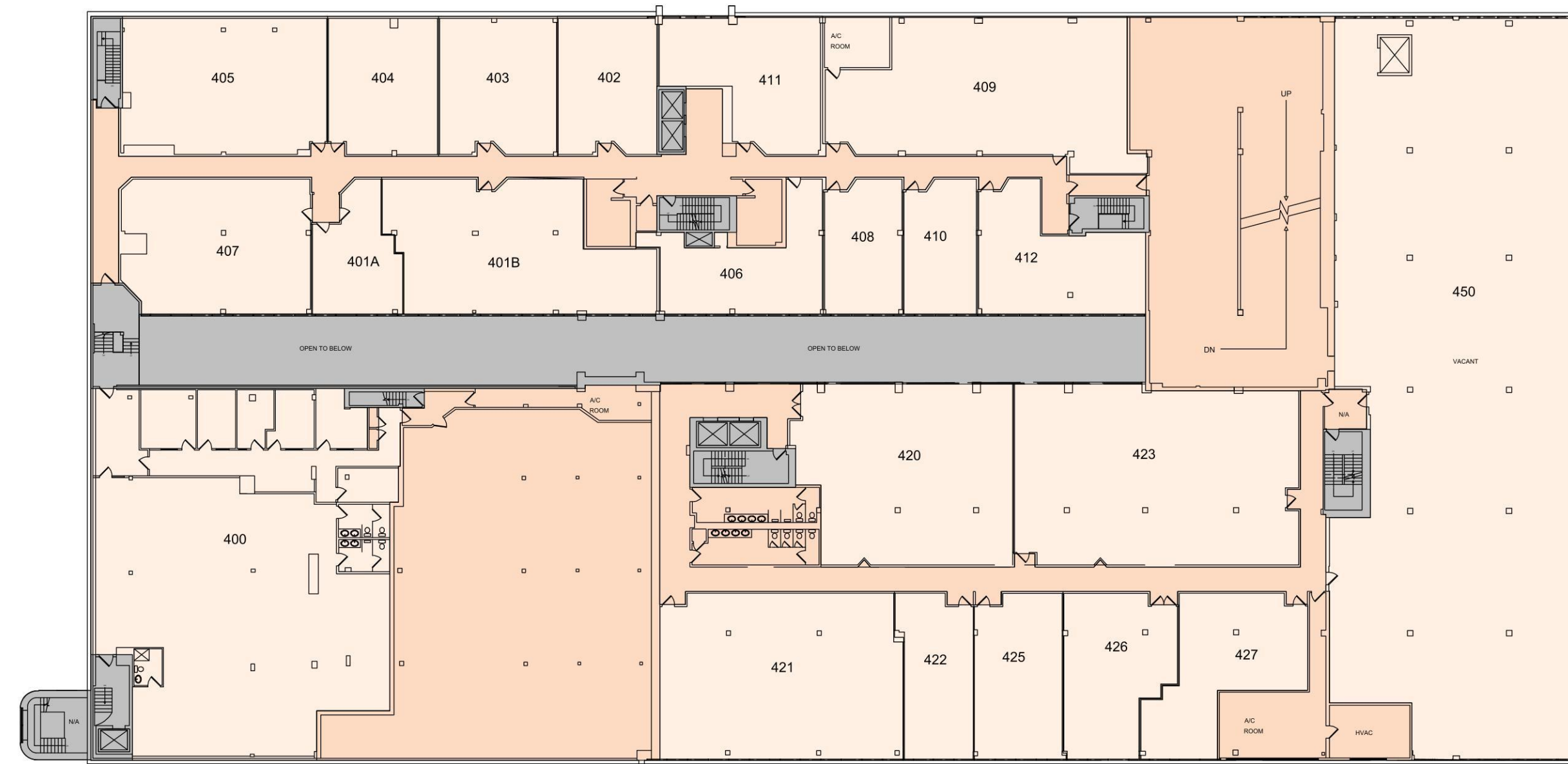
**MEASURE UP CORP. - LEVEL 2 FLOOR PLAN**

SCALE: 1"=30'



**MEASURE UP CORP. - LEVEL 3 FLOOR PLAN**

SCALE: 1"=30'



**MEASURE UP CORP. - LEVEL 4 FLOOR PLAN**

SCALE: 1"=30'

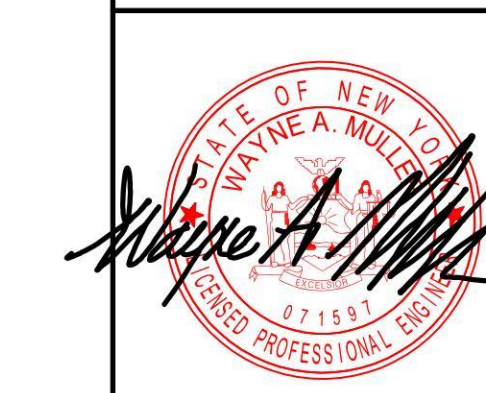
**DISAPPROVED**

Michael Maracic  
07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

**OWNER:**  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**APPLICANT:**  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



**Wayne A. Muller, P.E.**  
NY State License No. 071597

**MEASURE UP FLOOR PLANS**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

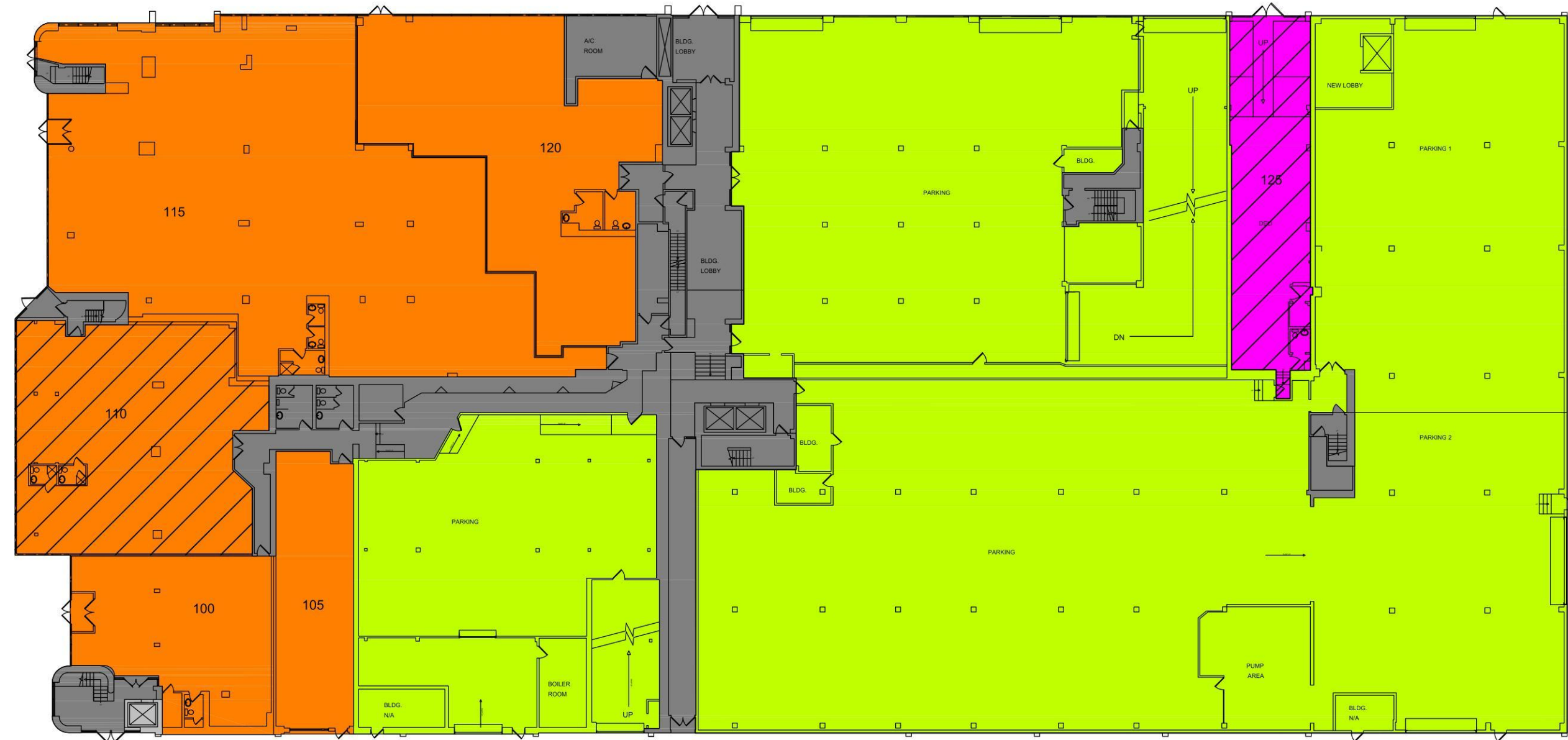


**Robinson & Muller**  
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Office: (631) 271-0576  
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www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	Not to Scale	SHEET:
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124	<b>SP-11</b>

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP., BUILDING MEASUREMENT SERVICES, DATED MAY 4, 2023.

Drawing Name: P:\2022 Projects\2022-15A\15A\15A\15A.dwg Last Modified: May 30, 2024 - 2:15pm Plotted on: May 30, 2024 - 2:17pm by pargenels



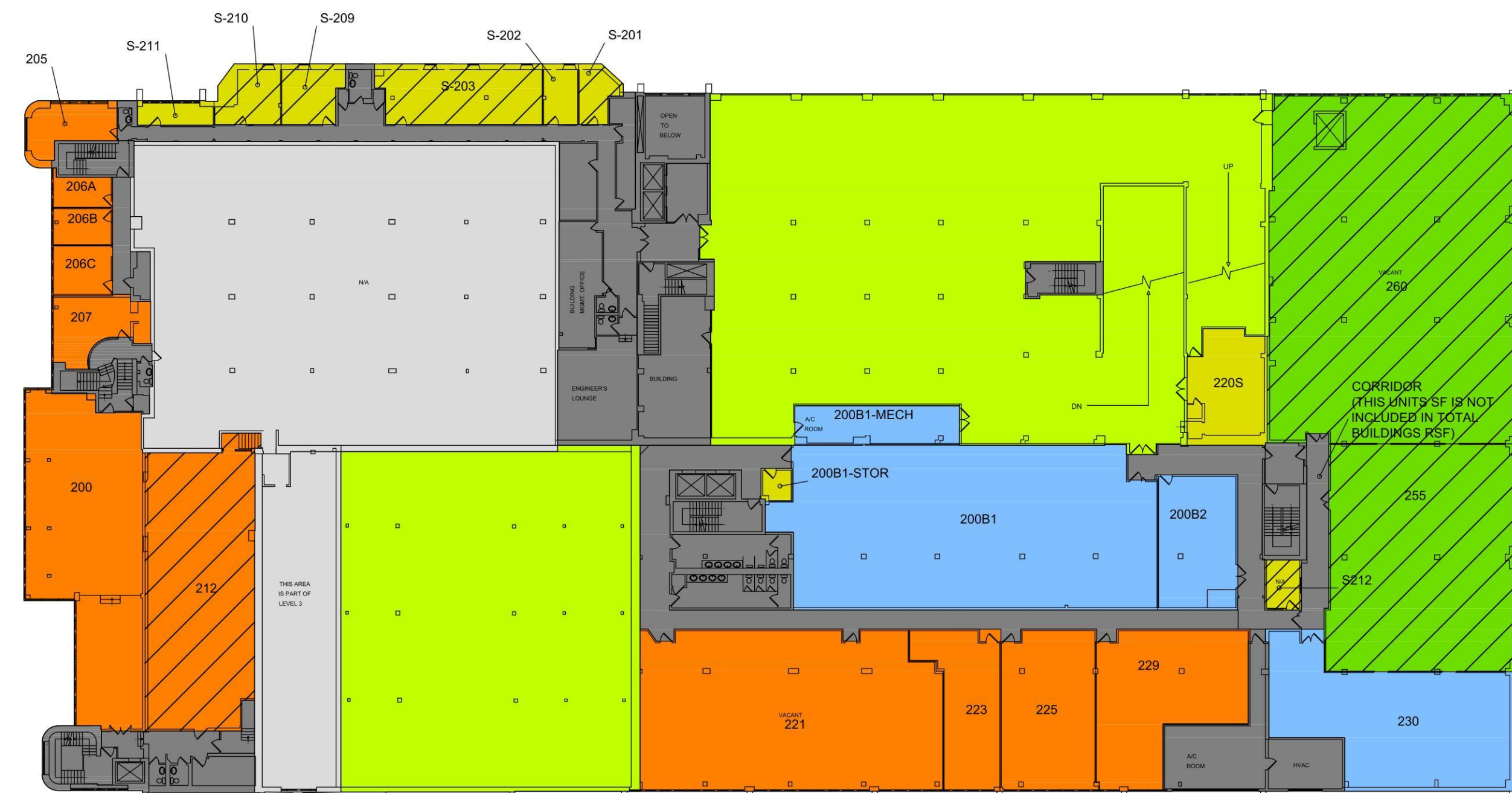
**MEASURE UP CORP. - LEVEL 1 FLOOR PLAN**

SCALE: 1"=30'

LEVEL 1 - RENT ROLL			
Suite	Type	Tenant	GFA
100	OFFICE	E TAGS INC.	1,943.00
105	OFFICE	HEAVENLY HANDS, INC.	1,396.00
110	OFFICE	VACANT	3,415.00
115	OFFICE	LI ALZHEIMER'S FOUNDATION, INC.	8,399.00
120	OFFICE	CONTINENTAL MORTGAGE BANKERS	3,844.00
125	RETAIL	VACANT	1,811.00
LEVEL 1 - TOTAL RENTABLE SPACE			
TOTAL OFFICE SPACE			18,997.00
TOTAL STORAGE SPACE			-
TOTAL RETAIL SPACE			1,811.00
TOTAL RENTABLE SPACE			20,808.00
LEVEL 1 - TOTAL NON-RENTABLE SPACE			
VOID FLOOR SPACE			-
PARKING AREA			42,027.00
COMMON SPACE			6,570.00
TOTAL NON-RENTABLE SPACE			48,597.00
LEVEL 1 - GROSS FLOOR AREA			
TOTAL RENTABLE SPACE			20,808.00
TOTAL NON-RENTABLE SPACE			48,597.00
GROSS FLOOR AREA			69,405.00
GROSS FLOOR AREA			69,405.00

**PARKING REQUIREMENT**

TOWN OF NORTH HEMPSTEAD (§70-103)			
LEVEL 1			
DATA CENTER:	WAREHOUSE	0.0 SF @ 1 STALL / 600 SF	= 0.0 STALLS
STORAGE SPACE:	WAREHOUSE	0.0 SF @ 1 STALL / 600 SF	= 0.0 STALLS
OFFICE SPACE:	NON-MEDICAL OFFICE	15,582 SF @ 1 STALL / 200 SF	= 77.9 STALLS
EXISTING VACANT OFFICE SPACE:	NON-MEDICAL OFFICE	3,415 SF @ 1 STALL / 200 SF	= 17.1 STALLS
COMMON SPACE:	NON-MEDICAL OFFICE	6,570 SF @ 1 STALL / 200 SF	= 32.9 STALLS
FUTURE OFFICE SPACE:	NON-MEDICAL OFFICE	0.0 SF @ 1 STALL / 200 SF	= 0.0 STALLS
EXISTING VACANT RETAIL SPACE:	RETAIL STORE	1,811 SF @ 1 STALL / 300 SF	= 6.1 STALLS
PARKING RELAXATION:	NON-MEDICAL OFFICE	1,000 SF @ 1 STALL / 200 SF	= -5 STALLS
TOTAL STALLS REQUIRED			= 129.0 STALLS
			= 129 STALLS



**MEASURE UP CORP. - LEVEL 2 FLOOR PLAN**

SCALE: 1"=30'

LEVEL 2 - RENT ROLL			
Suite	Type	Tenant	GFA
200	OFFICE	PROTO FINANCIAL CORP.	2,227.00
200B1	DATA CENTER	ANCOTEL USA	4,026.00
200B2	DATA CENTER	ANCOTEL USA	723.00
205	OFFICE	GOLD STAR	293.00
206A	OFFICE	LI HISPANIC CHAMBERS	129.00
206B	OFFICE	MOXIE SALES LLC	153.00
206C	OFFICE	GOLI REALTY	207.00
207	OFFICE	NM BEAUTY BAR, INC.	356.00
212	OFFICE	BUILDING MANAGEMENT OFFICE	2,067.00
220S	STORAGE	BRISCOE	585.00
221	OFFICE	LI COUNCIL ON ALCOHOL & DR	3,179.00
223	OFFICE	M2 NGAGE TELECOMMUNICATIONS	694.00
225	OFFICE	TAP DISTRIBUTION LLC	1,024.00
229	OFFICE	BRISCOE PROTECTIVE LLC	1,255.00
230	DATA CENTER	ANCOTEL USA	1,857.00
255	FUTURE OFFICE	VACANT	2,857.00
260	FUTURE OFFICE	VACANT	5,740.00
S-201	STORAGE	CONTINENTAL MORTGAGE BANKERS	138.00
S-202	STORAGE	CONTINENTAL MORTGAGE BANKERS	145.00
S-203	STORAGE	VACANT	657.00
S-209	STORAGE	CONTINENTAL MORTGAGE BANKERS	237.00
S-210	STORAGE	BENCHMARK REALTY	251.00
S-211	STORAGE	HAROLD SOMER - STORAGE	126.00
S-212	STORAGE	VACANT	123.00
LEVEL 2 - TOTAL RENTABLE SPACE			
TOTAL OFFICE SPACE			11,584.00
TOTAL STORAGE SPACE			2,262.00
TOTAL DATA CENTER SPACE			6,606.00
TOTAL FUTURE OFFICE SPACE			8,597.00
TOTAL RENTABLE SPACE			29,049.00
LEVEL 2 - TOTAL NON-RENTABLE SPACE			
VOID FLOOR SPACE			14,184.00
PARKING AREA			19,000.00
COMMON SPACE			7,154.00
TOTAL NON-RENTABLE SPACE			40,338.00
LEVEL 2 - GROSS FLOOR AREA			
TOTAL RENTABLE SPACE			29,049.00
TOTAL NON-RENTABLE SPACE			40,338.00
GROSS FLOOR AREA			69,387.00

**PARKING REQUIREMENT**

TOWN OF NORTH HEMPSTEAD (§70-103)			
LEVEL 2			
DATA CENTER:	WAREHOUSE	6,606 SF @ 1 STALL / 600 SF	= 11.0 STALLS
STORAGE SPACE:	WAREHOUSE	1,482 SF @ 1 STALL / 600 SF	= 2.5 STALLS
EXISTING VACANT STORAGE SPACE:	WAREHOUSE	780 SF @ 1 STALL / 600 SF	= 1.3 STALLS
OFFICE SPACE:	NON-MEDICAL OFFICE	11,584 SF @ 1 STALL / 200 SF	= 57.9 STALLS
EXISTING VACANT OFFICE SPACE:	NON-MEDICAL OFFICE	0.0 SF @ 1 STALL / 200 SF	= 0.0 STALLS
COMMON SPACE:	NON-MEDICAL OFFICE	7,154 SF @ 1 STALL / 200 SF	= 35.8 STALLS
FUTURE OFFICE SPACE:	NON-MEDICAL OFFICE	8,597 SF @ 1 STALL / 200 SF	= 43.0 STALLS
RETAIL SPACE:	RETAIL STORE	0.0 SF @ 1 STALL / 300 SF	= 0.0 STALLS
TOTAL STALLS REQUIRED			= 151.5 STALLS
			= 152 STALLS

**TENANT USE LEGEND**

	OFFICE SPACE		DATA CENTER		STORAGE SPACE		PARKING AREA
	COMMON AREA		VOID FLOOR SPACE		EXISTING VACANT SPACE		FUTURE OFFICE SPACE

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP., BUILDING MEASUREMENT SERVICES, DATED MAY 4, 2023.

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	GENERAL COORDINATION	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA

OWNER:  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

Wayne A. Muller, P.E.  
NY State License No. 071597

**BUILDING USE FLOOR PLANS**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

**R&M ENGINEERING**  
Robinson & Muller  
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50 Elm Street  
Huntington, NY 11743  
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Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	Not to Scale	SHEET:	<b>SP-12</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



**MEASURE UP CORP. - LEVEL 3 FLOOR PLAN**  
SCALE: 1"=30'



**MEASURE UP CORP. - LEVEL 4 FLOOR PLAN**  
SCALE: 1"=30'

**TENANT USE LEGEND**

	COMMON AREA		VOID FLOOR SPACE		PARKING AREA
	DATA CENTER		STORAGE SPACE		RETAIL SPACE
	OFFICE SPACE		EXISTING VACANT SPACE		FUTURE OFFICE SPACE

LEVEL 3 - RENT ROLL			
Suite	Type	Tenant	GFA
300A	OFFICE	ELITE CONSULTING ASSOC., INC.	348.00
300B	OFFICE	JASON COHEN	254.00
300C	OFFICE	KATHY J. POLANCO	292.00
300S	STORAGE	DSS MANAGEMENT, INC.	261.00
301	OFFICE	EMQUE SYSTEMS SERVICES INC.	1,180.00
302	OFFICE	NATIONAL STANDARD ABSTRACT LLC	989.00
303	OFFICE	BLUEFIBER	594.00
304	OFFICE	DSS MANAGEMENT, INC.	1,042.00
307	OFFICE	DEPENDABLE PICTURES LLC	747.00
308	OFFICE	HIOSSEN, INC	3,048.00
309	OFFICE	PAYLOGIX	1,363.00
311	OFFICE	THE CAMPAGNA AGENCY	1,199.00
312	OFFICE	FLORIO FINANCIAL, INC.	1,147.00
313	OFFICE	FRANKLIN MERCHANT CAPITAL LLC	1,757.00
314	OFFICE	KAS PETS LLC	1,425.00
315	OFFICE	GASSLER & O'ROURKE, PC	1,422.00
316	OFFICE	MCHADE PHARMACEUTICAL	666.00
320	OFFICE	CARDINAL CLAIMS SERVICE, INC.	1,687.00
321	OFFICE	MCS CLAIM SERVICES INC	1,720.00
325	OFFICE	COMMUNITY MAINSTREAM ASSOC., I	6,021.00
330	OFFICE	COMMUNITY MAINSTREAM ASSOC., I	1,425.00
335	OFFICE	COMMUNITY MAINSTREAM ASSOC., I	1,726.00
350	FUTURE OFFICE	VACANT	8,940.00
LEVEL 3 - TOTAL RENTABLE SPACE			
TOTAL OFFICE SPACE			30,052.00
TOTAL STORAGE SPACE			261.00
TOTAL FUTURE OFFICE SPACE			8,940.00
TOTAL RENTABLE SPACE			39,253.00
LEVEL 3 - TOTAL NON-RENTABLE SPACE			
VOID FLOOR SPACE			7,030.00
PARKING AREA			11,426.00
COMMON SPACE			10,961.00
TOTAL NON-RENTABLE SPACE			29,417.00
LEVEL 3 - GROSS FLOOR AREA			
TOTAL RENTABLE SPACE			39,253.00
TOTAL NON-RENTABLE SPACE			29,417.00
GROSS FLOOR AREA			68,670.00

LEVEL 4 - RENT ROLL			
Suite	Type	Tenant	GFA
400	OFFICE	Family and Children Assoc	6,046.00
401A	OFFICE	DETERMINED FREIGHT SOLUTIONS	576.00
401B	OFFICE	PARTNERS ABSTRACT	1,815.00
402	OFFICE	EZP LLC	807.00
403	OFFICE	PROSKY & RSENFELD LLP	961.00
404	OFFICE	HAROLD SOMER, ESQ.	900.00
405	OFFICE	CAMPOLO MIDDLETON & MCCORMICK	1,686.00
406	OFFICE	COURTNEY INTERNATIONAL	855.00
407	OFFICE	VAN HORN & FRIEDMAN PC	1,522.00
408	OFFICE	RLM NY INC	622.00
409	OFFICE	SEI INC.	2,584.00
410	OFFICE	BRUCE E. MARX, STEVEN BOROFKY	583.00
411	OFFICE	TUCH & COHEN LLP	1,073.00
412	OFFICE	LOVE YOUR BEARD, INC.	992.00
420	OFFICE	VACANT	2,224.00
421	OFFICE	FAVOCAPITAL INC.	2,376.00
422	OFFICE	ANTHONY MATTURRO, ESQ_PC	701.00
423	OFFICE	VACANT	2,992.00
425	OFFICE	TILDEN INTERNATIONAL, INC.	865.00
426	OFFICE	MAP ESTATE REALTY	969.00
427	OFFICE	INNOVATIVE ACCOUNTING & TAX	1,049.00
450	FUTURE OFFICE	VACANT	10,812.00
LEVEL 4 - TOTAL RENTABLE SPACE			
TOTAL OFFICE SPACE			32,198.00
TOTAL STORAGE SPACE			-
TOTAL FUTURE OFFICE SPACE			10,812.00
TOTAL RENTABLE SPACE			43,010.00
LEVEL 4 - TOTAL NON-RENTABLE SPACE			
VOID FLOOR SPACE			6,468.00
PARKING AREA			10,329.00
COMMON SPACE			6,183.00
TOTAL NON-RENTABLE SPACE			22,980.00
LEVEL 4 - GROSS FLOOR AREA			
TOTAL RENTABLE SPACE			43,010.00
TOTAL NON-RENTABLE SPACE			22,980.00
GROSS FLOOR AREA			65,990.00

**PARKING REQUIREMENT**

TOWN OF NORTH HEMPSTEAD (§70-103)

LEVEL 3

	DATA CENTER:	WAREHOUSE	0.0 SF @ 1 STALL / 600 SF	= 0.0	STALLS
	STORAGE SPACE:	WAREHOUSE	261 SF @ 1 STALL / 600 SF	= 0.5	STALLS
	OFFICE SPACE:	NON-MEDICAL OFFICE	30,052 SF @ 1 STALL / 200 SF	= 150.3	STALLS
	EXISTING VACANT OFFICE SPACE:	NON-MEDICAL OFFICE	0.0 SF @ 1 STALL / 200 SF	= 0.0	STALLS
	COMMON SPACE:	NON-MEDICAL OFFICE	10,961 SF @ 1 STALL / 200 SF	= 54.8	STALLS
	FUTURE OFFICE SPACE:	NON-MEDICAL OFFICE	8,940 SF @ 1 STALL / 200 SF	= 44.7	STALLS
	RETAIL SPACE:	RETAIL STORE	0.0 SF @ 1 STALL / 300 SF	= 0.0	STALLS
<b>TOTAL STALLS REQUIRED = 250.3 STALLS</b>					
<b>= 251 STALLS</b>					

**PARKING REQUIREMENT**

TOWN OF NORTH HEMPSTEAD (§70-103)

LEVEL 4

	DATA CENTER:	WAREHOUSE	0.0 SF @ 1 STALL / 600 SF	= 0.0	STALLS
	STORAGE SPACE:	WAREHOUSE	0.0 SF @ 1 STALL / 600 SF	= 0.0	STALLS
	OFFICE SPACE:	NON-MEDICAL OFFICE	26,982 SF @ 1 STALL / 200 SF	= 134.9	STALLS
	EXISTING VACANT OFFICE SPACE:	NON-MEDICAL OFFICE	5,216 SF @ 1 STALL / 200 SF	= 26.1	STALLS
	COMMON SPACE:	NON-MEDICAL OFFICE	6,183 SF @ 1 STALL / 200 SF	= 30.9	STALLS
	FUTURE OFFICE SPACE:	NON-MEDICAL OFFICE	10,812 SF @ 1 STALL / 200 SF	= 54.1	STALLS
	RETAIL SPACE:	RETAIL STORE	0.0 SF @ 1 STALL / 300 SF	= 0.0	STALLS
<b>TOTAL STALLS REQUIRED = 246.0 STALLS</b>					
<b>= 246 STALLS</b>					

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	GENERAL COORDINATION	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA
No.	REVISION DESCRIPTION	DATE	BY

OWNER:  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 E LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



Wayne A. Muller, P.E.  
NY State License No. 071597

**BUILDING USE FLOOR PLANS**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

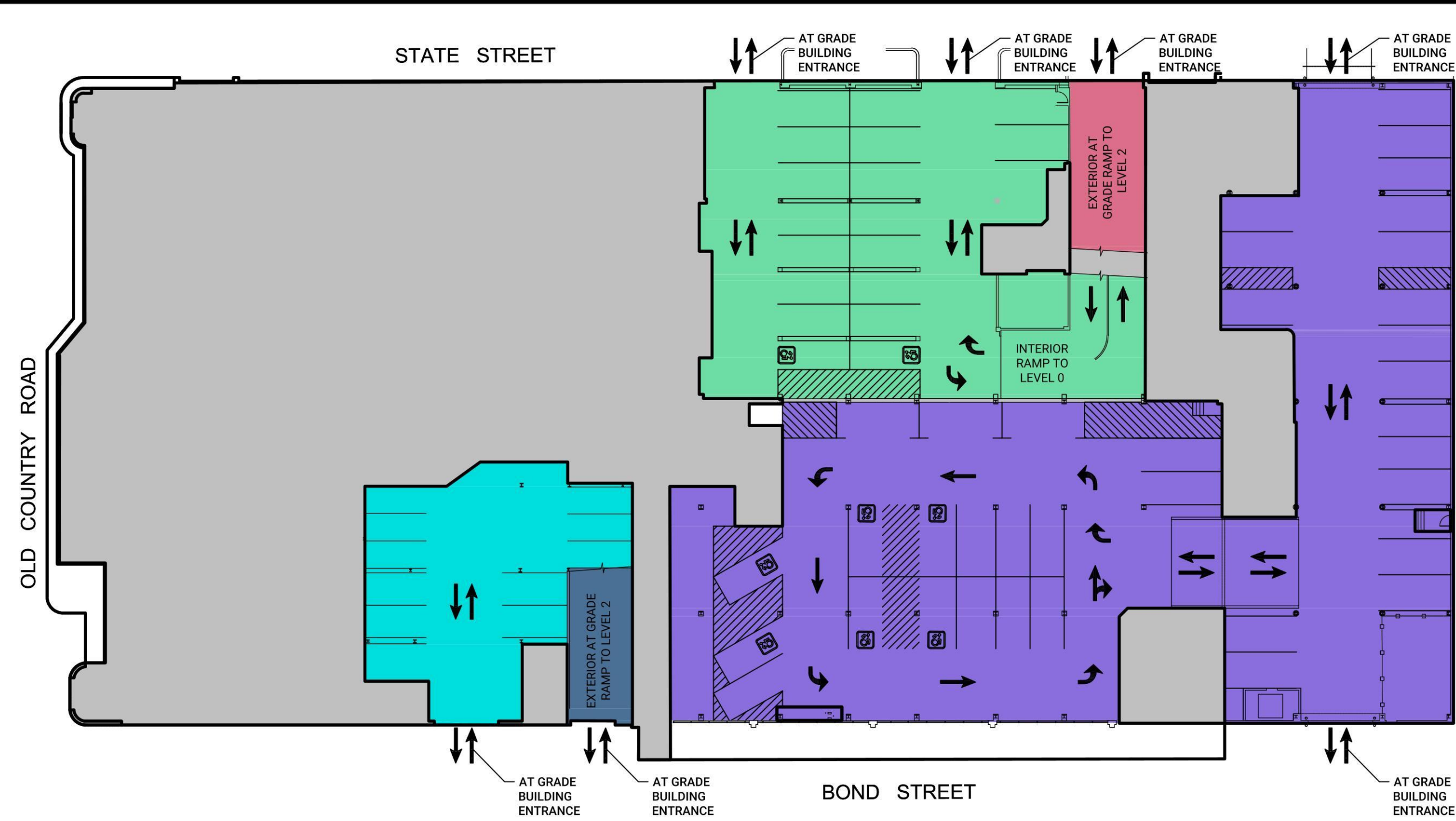


Robinson & Muller  
Engineers, P.C.  
50 Elm Street  
Huntington, NY 11743  
Office: (631) 271-0576  
Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	Not to Scale	SHEET:	<b>SP-13</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		

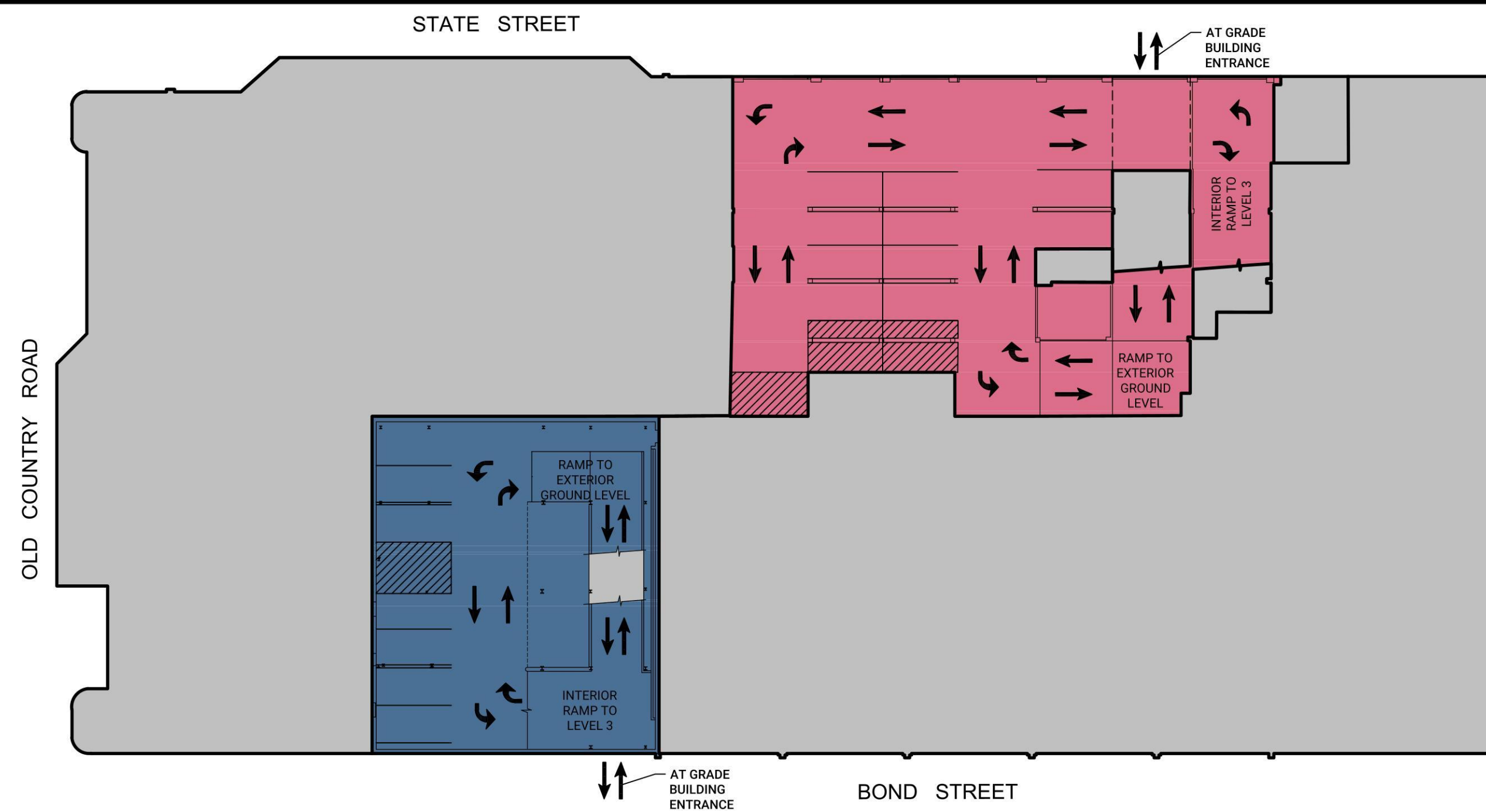
Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 31, 2024 - 2:25pm by pargrubs

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP., BUILDING MEASUREMENT SERVICES, DATED MAY 4, 2023.



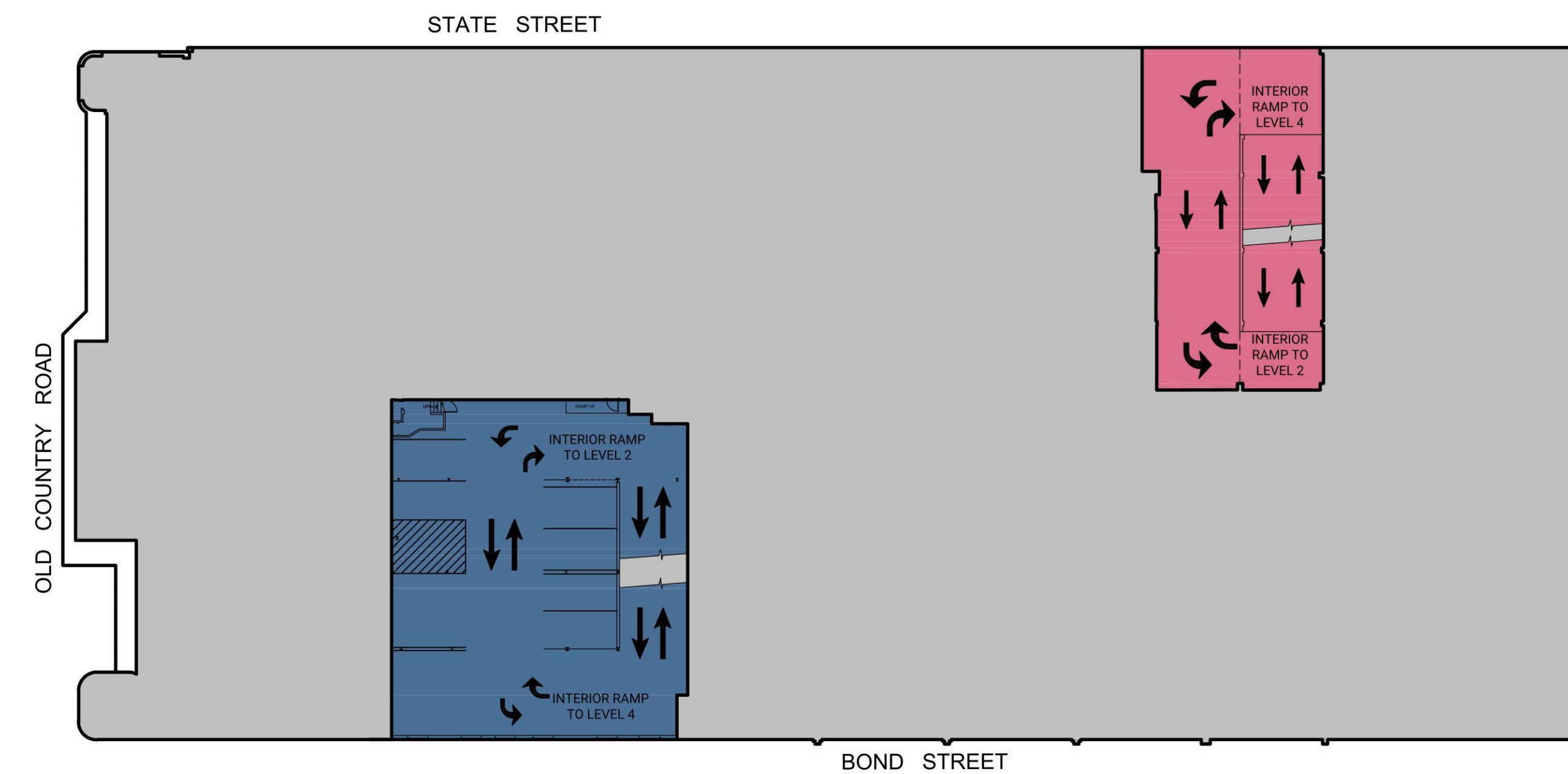
**LEVEL 1 - CIRCULATION FLOOR PLAN**

SCALE: 1"=30'



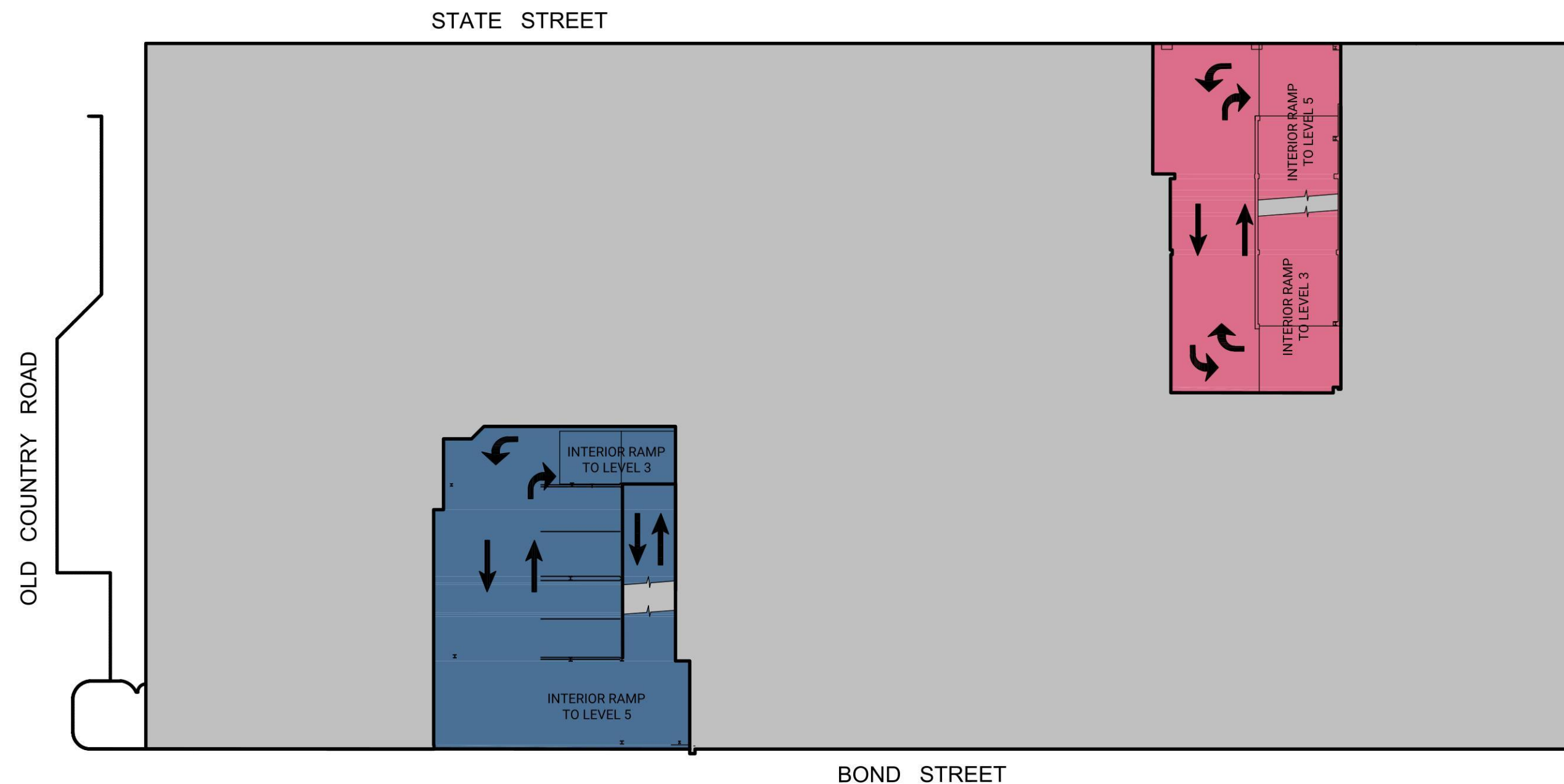
**LEVEL 2 - CIRCULATION FLOOR PLAN**

SCALE: 1"=30'



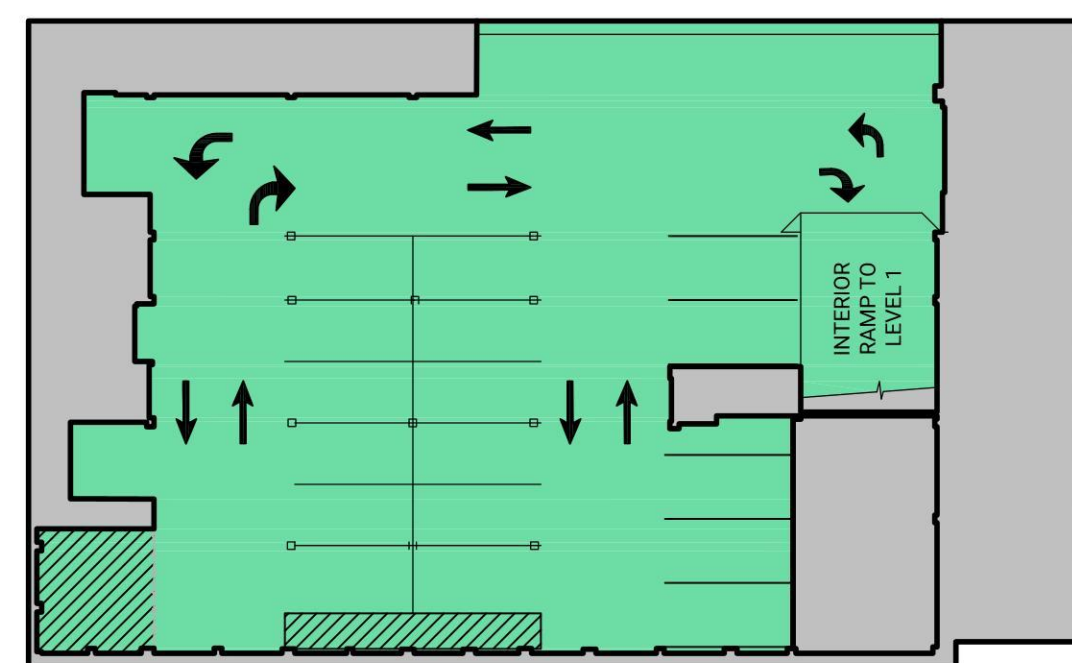
**LEVEL 3 - CIRCULATION FLOOR PLAN**

SCALE: 1"=30'



**LEVEL 4 - CIRCULATION FLOOR PLAN**

SCALE: 1"=30'



**LEVEL 0 - CIRCULATION FLOOR PLAN**

SCALE: 1"=30'

- PARKING FLOW SECTION 1  
(FROM EXTERIOR GRADE TO LEVEL 1)
- PARKING FLOW SECTION 2  
(FROM EXTERIOR GRADE TO LEVEL 2 THROUGH LEVEL 5)
- PARKING FLOW SECTION 3  
(FROM EXTERIOR GRADE TO LEVEL 1 DOWN TO LEVEL 0)
- PARKING FLOW SECTION 4  
(FROM EXTERIOR GRADE TO LEVEL 2 THROUGH LEVEL 5)
- PARKING FLOW SECTION 5  
(FROM EXTERIOR GRADE TO LEVEL 1 EXCLUSIVELY)

THIS FLOOR PLAN IS BASED UPON A FLOOR PLAN PREPARED BY MEASURE UP CORP, BUILDING MEASUREMENT SERVICES, DATED MAY 4, 2023.

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	NO CHANGE THIS SHEET	4/11/24	PVA
2.	NO CHANGE THIS SHEET	2/06/24	PVA
1.	TONH COMMENTS	8/30/23	PVA
No.	REVISION DESCRIPTION	DATE	BY

**OWNER:**  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**APPLICANT:**  
1025 # LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

Wayne A. Muller, P.E.  
NY State License No. 071597

**CIRCULATION FLOOR PLANS**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCKS 79 & 80, LOTS SEE TABLE

**R&M ENGINEERING**

Robinson & Muller  
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Huntington, NY 11743  
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Fax: (631) 271-0592  
www.rmengineering.com

DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	Not to Scale	SHEET:	<b>SP-14</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		



**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE AND WITH THE RULES AND REGULATIONS OF ALL LOCAL AGENCIES, DEPARTMENTS, OR LAWS HAVING JURISDICTION OVER ANY PORTION OR SPECIFIC PHASE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE WORK WITH PUBLIC UTILITY COMPANIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL OBTAIN AND AND ALL PERMITS REQUIRED FOR THE PERFORMANCE OF THE WORK AND PAY ALL FEES IN CONNECTION THEREOF.
- CONTRACTOR SHALL COORDINATE THESE CONSTRUCTION DRAWINGS WITH MECHANICAL DRAWINGS.
- SIZE AND LOCATION OF ALL EQUIPMENTS PADS AND PENETRATIONS THROUGH THE STRUCTURE SHALL BE VERIFIED BY ALL CONTRACTORS. ALL PENETRATIONS SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- CONTRACTORS SHALL NOT MAKE DEVIATIONS FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- IF THERE IS A DISCREPANCY ON ANY OF THE CONSTRUCTION DRAWINGS, THE ENGINEERING SHALL BE NOTIFIED IMMEDIATELY SO THAT THE DISCREPANCY CAN BE RESOLVED.
- WRITTEN DIMENSIONS CONFIRMED BY FIELD CONDITIONS TAKE PRECEDENCE. IF DISCREPANCY ARISES BASED ON FIELD CONDITIONS, CONSULT WITH ENGINEER BEFORE PROCEEDING WITH WORK OR ORDERING MATERIALS.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.
- ANY ITEM OF WORK NECESSARY FOR PROPER COMPLETION OF CONSTRUCTION, WHICH IS NOT SPECIFICALLY COVERED ON THE DRAWINGS OR IN THE SPECIFICATIONS, SHALL BE CONSIDERED INCLUDED IN THIS WORK AND SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS AND UNTIL COMPLETION OF ALL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND MISALIGNMENT.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR "MEANS & METHODS" OF CONSTRUCTION.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OR THE WORK OF THE CONTRACTOR, OWNER, OR ANY OTHER SUBCONTRACTORS NOR SHALL THEY GUARANTEE THEIR PERFORMANCE.
- CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF SHE OR SHE CANNOT COMPLY WITH ALL REQUIREMENTS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THIS PROJECT MADE BY THE OWNER, CONTRACTOR, OR ANY SUBCONTRACTOR OR MATERIAL SUPPLIER UNLESS PROPERLY AUTHORIZED, IN WRITING, BY THE ENGINEER.
- CONTRACTOR TO CHECK FOR ANY PROJECT BULLETIN UPDATED ON A DAILY BASIS.
- CONTRACTOR SHALL CONFIRM THAT ALL SUBCONTRACTORS ARE USING THE LATEST DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS RELATED TO NEW WORK AND PROVIDE FIELD DIMENSIONS AS REQUIRED.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO MATERIAL ORDERING AND FABRICATION.

**EXISTING CONDITIONS:**

- ALL EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BEFORE WORK IS BEGUN. ANY OBSTRUCTION ENCOUNTERED DURING EXCAVATION, DEMOLITION, OR CONSTRUCTION, SUCH AS CESSPOOL, DRY WELLS, OTHER UTILITIES, ETC., SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY SO THAT CORRECTIVE MEASURES OR ADJUSTMENTS CAN BE MADE BEFORE CONTINUING WITH WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS MEASUREMENTS AT THE JOB SITE AND SHALL TAKE ANY AND ALL MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND TO PERFORM THEIR WORK PROPERLY. ANY VARIATIONS BETWEEN THE CONSTRUCTION DRAWINGS AND THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ENGINEERS ATTENTIONS.
- ALL EXISTING FILL MATERIAL BELOW SLAB ON GRADE, WHICH IS SUITABLE FOR BEARING, SHALL BE EXCAVATED. CONTRACTOR SHALL REFER TO SUBSURFACE INVESTIGATION INCLUDED WITH CONTRACT DOCUMENTS.

**CONCRETE NOTES:**

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND ACI-301 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL CONCRETE SHALL BE 5,000 PSI CONTROLLED STONE OR GRAVEL CONCRETE, AIR ENTRAINED WHERE EXPOSED.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60, EXCEPT STIRRUPS AND TIES WHICH MAY BE GRADE 40.
- PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SECURELY IN PLACE WHILE PLACING CONCRETE.
- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT, AND FREEZING TEMPERATURES.
- EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACE SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMED ARE REMOVED.

**STRUCTURAL STEEL NOTES:**

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS INCLUDING THE CODE OF STANDARD PRACTICE AND SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR 1490 BOLTS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING MINIMUM YIELD STRENGTHS AND SPECIFICATION, UNLESS OTHERWISE NOTED.

	YIELD	ASTM SPEC.
2.A. STRUCTURAL STEEL SHAPES:	50 KSI	A-992
2.B. PLATES & CONNECTION MATERIAL:	36 KSI	A-36
2.C. STRUCTURAL STEEL PIPE:	36 KSI	A-53 GR B
2.D. STRUCTURAL STEEL TUBING:	46 KSI	A-500
2.E. ANCHOR ROBS	36 KSI	F-1554
- ALL BOLTED STEEL BEAM AND COLUMN CONNECTIONS SHALL BE ERRECTED WITH 3/4" DIAMETER ASTM A-325 HIGH STRENGTH SLIP CRITICAL (FRICTION) BOLTS, UNLESS OTHERWISE NOTED.
- ALL WELDING SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE, LATEST REVISION. ELECTRODES SHALL BE E70 SERIES.
- THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ADEQUACY OF ALL CONNECTIONS THAT ARE NOT FULLY DETAILED ON THE CONTRACT DRAWINGS. ALL CONNECTIONS NOT FULLY DETAILED ON THE DRAWING SHALL BE DESIGNED BY THE FABRICATOR'S PROFESSIONAL ENGINEER, LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMIT CONNECTIONS NOT SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS TO THE STRUCTURAL ENGINEER OF RECORD (SER) FOR REVIEW PRIOR TO THE SUBMITTAL OF ERECTION AND PIECE DRAWINGS.
- SHEAR CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE REACTION OF THE BEAM FOR THE MAXIMUM SAFE UNIFORM LOAD UNLESS A GREATER REACTION IS SHOWN ON THE DRAWINGS.
- ALL STEEL SHALL RECEIVED A SHOP COAT OF APPROVED PAINT EXCEPT SURFACES TO BE WELDED, HIGH STRENGTH BOLTED OR SPRAY FIREPROOFED FOR FIELD COAT, SEE SPECS.
- ALL CONTACT SURFACES WITHIN HIGH-STRENGTH BOLT CONNECTIONS AND WELDING AREAS SHALL BE FREE OF OIL, PAINT, LACQUER OR GALVANIZING.
- ENDS OF BEAMS & WEBS SHALL BE REINFORCED WHERE CUTS OR COPES REDUCE STRENGTH BELOW REQUIRED VALUES.
- COLUMNS AND BEAMS SHALL BE REINFORCED AS REQUIRED TO ACHIEVE THE FULL CAPACITY OF CONNECTING HANGARS, POSTS, AND MOMENT CONNECTIONS.
- ALL BEAMS, EXCEPT CANTILEVER BEAMS, SHALL BE FABRICATED & ERRECTED WITH NATURAL CAMBER UP. ALL CANTILEVER BEAMS SHALL BE FABRICATED SO THAT THE NATURAL CAMBER RAISES THE CANTILEVER END.
- DETAILED FABRICATION SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL. FABRICATION SHALL NOT PROCEED UNTIL SHOP DRAWINGS ARE APPROVED.
- ALL EXTERIOR EXPOSED STEEL SHALL BE PAINTED WITH ZINC RICH PAINT APPROVED BY ARCHITECT )OR GALVANIZING TO BE APPROVED BY ARCHITECT/)
- PROVIDE HOLES AS REQUIRED TO RECEIVE MISCELLANEOUS DETAILS INDICATED ON ARCHITECTURAL AND MECHANICAL DRAWINGS.
- WHERE DIMENSIONS ARE NOT INDICATED, BEAMS SHALL BE EQUALLY SPACED.
- OXYGEN CUTTING OF STRUCTURAL STEEL IS NOT ALLOWED IN THE FIELD EXCEPT WITH WRITTEN CONSENT AND APPROVAL OF THE ENGINEER.

**SUBMITTALS:**

- PRIOR TO PROCEEDING WITH WORK, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE ENGINEER FOR REVIEW:
  - MIX DESIGNS FOR ALL GRADES OF CONCRETE INCLUDING CERTIFIED TEST DATA ON STRENGTH OF SAMPLE BATCHES.
  - ERECTIONS AND SHOP DRAWINGS FOR ALL REINFORCING STEEL AND CONCRETE.
  - MANUFACTURER'S CATALOG DATA, TOGETHER WITH CERTIFIED TEST DATA, FOR ANY PROPRIETARY PRODUCT PROPOSED AS A SUBSTITUTE FOR SPECIFIED MATERIALS.
  - STEEL MATERIAL DATA SHEETS.
- REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH DESIGN INTENT. REVIEW OF THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF COMPLETING THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THE SHOP DRAWING SUBMITTAL SCHEDULE
- SUBMIT THE FOLLOWING TO THE ENGINEER FOR RECORD PURPOSES:
  - MILL CERTIFICATES AND TEST REPORTS FOR REINFORCING STEEL.
  - MILL CERTIFICATES AND TEST REPORTS FOR STRUCTURAL STEEL.
  - RESULTS OF 7-DAY & 28 DAY CONCRETE COMPRESSIVE STRENGTH TESTS, SUBMIT WITHIN 48 HOURS OF TESTING.
  - WELDING CERTIFICATES.
- THE DETAILER SHALL NOT EXPECT TO RECEIVE OR HAVE ACCESS TO CAD FILES AND THE CAD FILES ARE NOT CONSIDERED PART OF THE DETAILERS CONTRACT DOCUMENTS.

**SPECIAL INSPECTIONS:**

- THE OWNER SHALL PROVIDE FOR SPECIAL INSPECTIONS OF THE FOLLOWING WORK AND ANY OTHER WORK AS MAY BE REQUIRED BY THE DEPARTMENT OF BUILDINGS.
- SPECIAL INSPECTION OF MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION SHALL BE AS PER 1704 AND 1705 OF THE NEW YORK STATE BUILDING CODE AND SHALL INCLUDE THE FOLLOWING, UNLESS SPECIFICALLY NOTED OTHERWISE.

2.A. STRUCTURAL STEEL-WELDING	BC 1704.3.1
2.B. STRUCTURAL STEEL DETAILS	BC 1704.3.2
2.C. STRUCTURAL STEEL HIGH STRENGTH BOLTING	BC 1704.3.3
2.D. CONCRETE CONSTRUCTION	BC 1705.3 & TABLE 1705.3
2.E. SOILS	BC 1705.6 & TABLE 1705.6
- ALL REQUIRED INSPECTIONS AND TESTS SHALL BE PERFORMED BY AN APPROVED TESTING AND INSPECTION SERVICE.
- COPIES OF ALL INSPECTION AND TEST REPORTS SHALL BE FURNISHED TO THE ENGINEER UPON COMPLETION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL WORK WHICH IS DETERMINED BY TESTING AND INSPECTION NOT TO COMPLY WITH SPECIFIED STANDARDS.
- THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM SPECIAL INSPECTION OR GENERAL FIELD SUPERVISION.

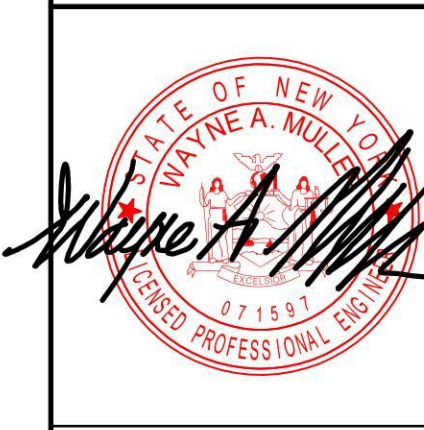
**NOTE:**  
THESE GENERATOR ENCLOSURE CONSTRUCTION NOTES AND SPECIFICATIONS ARE BASED UPON AN APPROVED SET OF CONSTRUCTION DRAWINGS BY PLANNING AND DESIGN, INC. ON 1/26/2022 AND APPROVED UNDER PERMIT #ACB22-00006 ON 7/22/2022.

**DISAPPROVED**  
Michael Maracic  
07/12/2024

4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	TONH COMMENTS	4/11/24	PVA
2.	SHEET NOT PROVIDED	2/06/24	PVA
1.	SHEET NOT PROVIDED	8/30/23	PVA
No.	REVISION DESCRIPTION	DATE	BY

OWNER:  
1025 R LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

APPLICANT:  
1025 R LLC  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590



Wayne A. Muller, P.E.  
NY State License No. 071597

**CONSTRUCTION NOTES**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCK 79 & 80, LOTS SEE TABLE



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DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	Not to Scale	SHEET:	<b>SP-15</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		

**SPECIAL INSPECTIONS NOTE:**

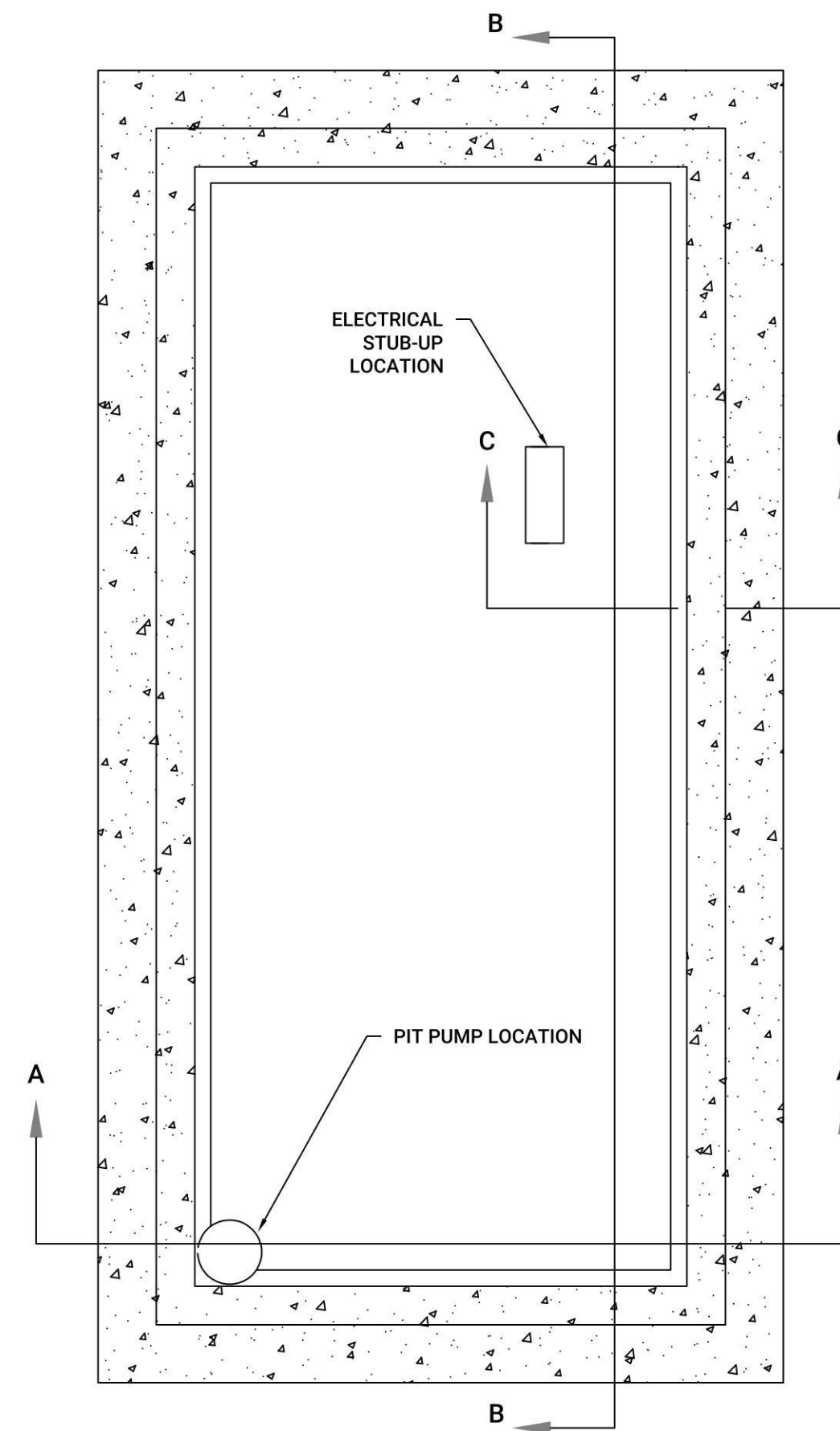
CONTRACTOR SHALL ABIDE AND FOLLOW ALL SPECIAL INSPECTION ON SOIL, STEEL AND CONCRETE IN ACCORDANCE FOR ALL WORK INVOLVED. REFER TO SHELL SP-17 FOR SPECS:

CONCRETE	IBC 1705.3
STRUCTURAL STEEL WELDING	BC 1704.3.1
STRUCTURAL STEEL DETAILS	BC 1704.3.2
STRUCTURAL STEEL HIGH STRENGTH BOLTING	BC 1704.3.3
SOIL	BC 1705.6

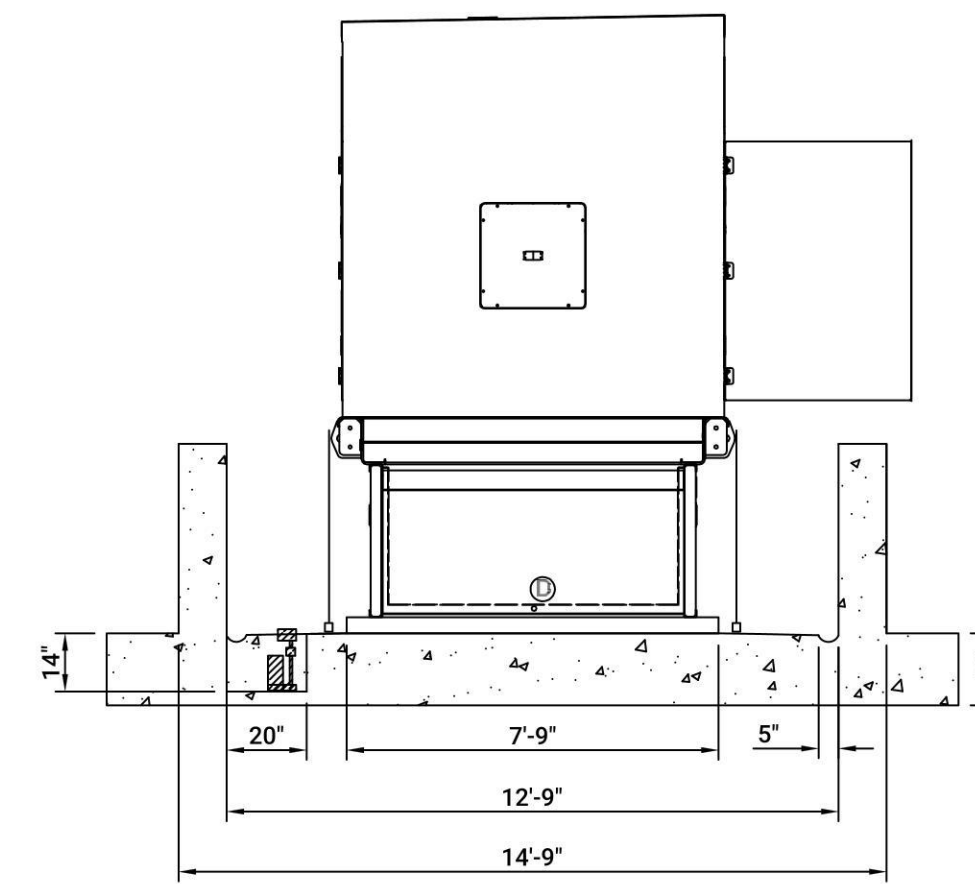
**PIT WATER ROUTING AND PREVENTION:**

TO PREVENT POOLING AND EXCESS OF WATER FROM RUNOFF, AT THE BOTTOM OF THE PIT THE CONTRACTOR SHALL:

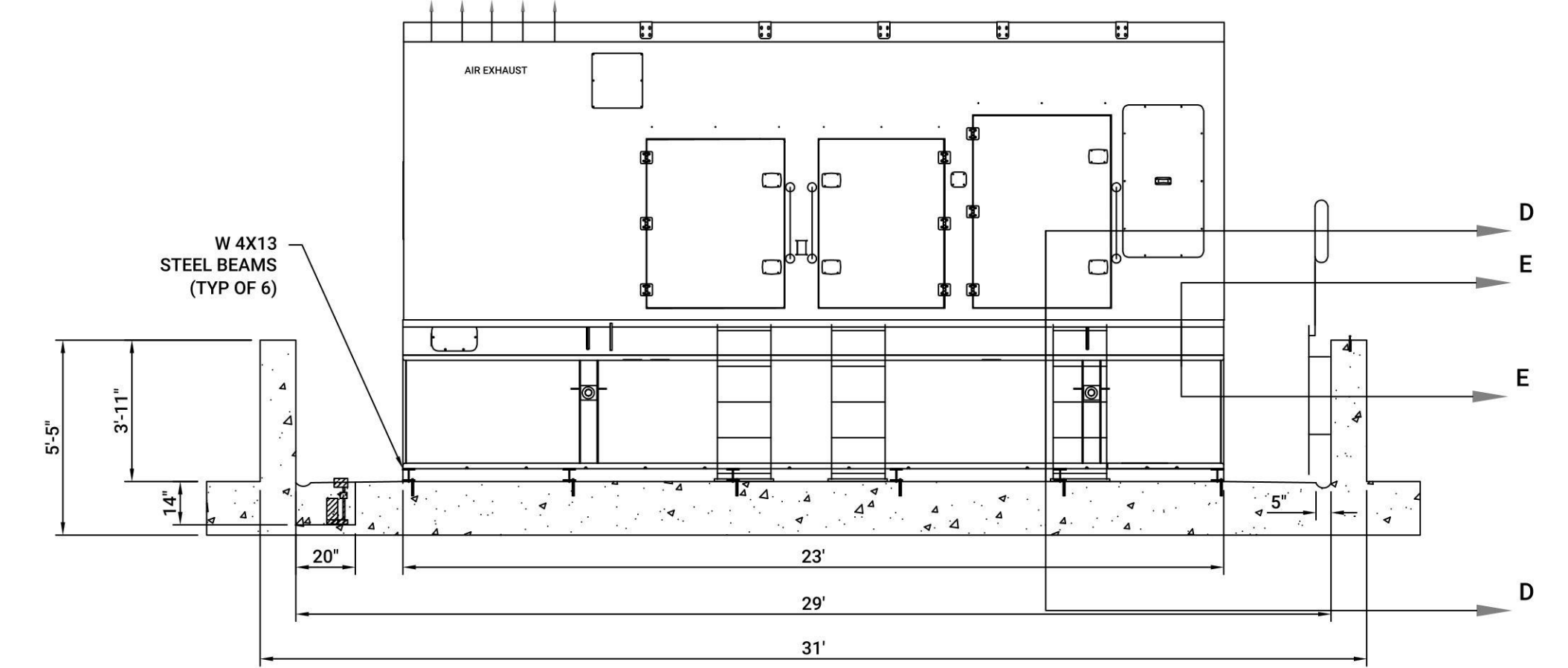
1. FROM THE FOOT-PRINT OF THE GENERATOR TO EACH OF THE PIT WALLS PROVIDE ON THE SLAB A 1/8" PITCH PER FOOT.
2. PORTION OF THE CEMENT SLAB DIRECTLY UNDER THE GENERATOR SHALL REMAIN LEVEL AND TRUE AND HAVE NO PITCH.
3. WHERE THE SLAB AND THE WALLS MEET, THE CONTRACTOR SHALL PROVIDE A 5" GROOVE FULLY IN THE SLAB WHICH SHALL BE PITCHED AND LEAD TO (1) 20" ROUND BY 14" DEEP WELL TO FIT (1) SUMP PUMP (REFER TO SUMP PUMP SCHEDULE ON DRAWING M-203 BY OTHERS).
4. ALSO REFER TO C-302 DRAWING DETAILS #1, 3, 4, 5 AND 6 BY OTHERS.
5. UPON COMPLETION OF CONCRETE CURING THE CONTRACTOR SHALL CLEAN AND THEN PRIME THE WALLS AND SLAB WITH ARM015X BY ARMORPOXY. ONCE THE PRIMER HAS CURED APPLY A TOP COAT OF GRAY TINTED ARM321X FROM ARMORPOXY.



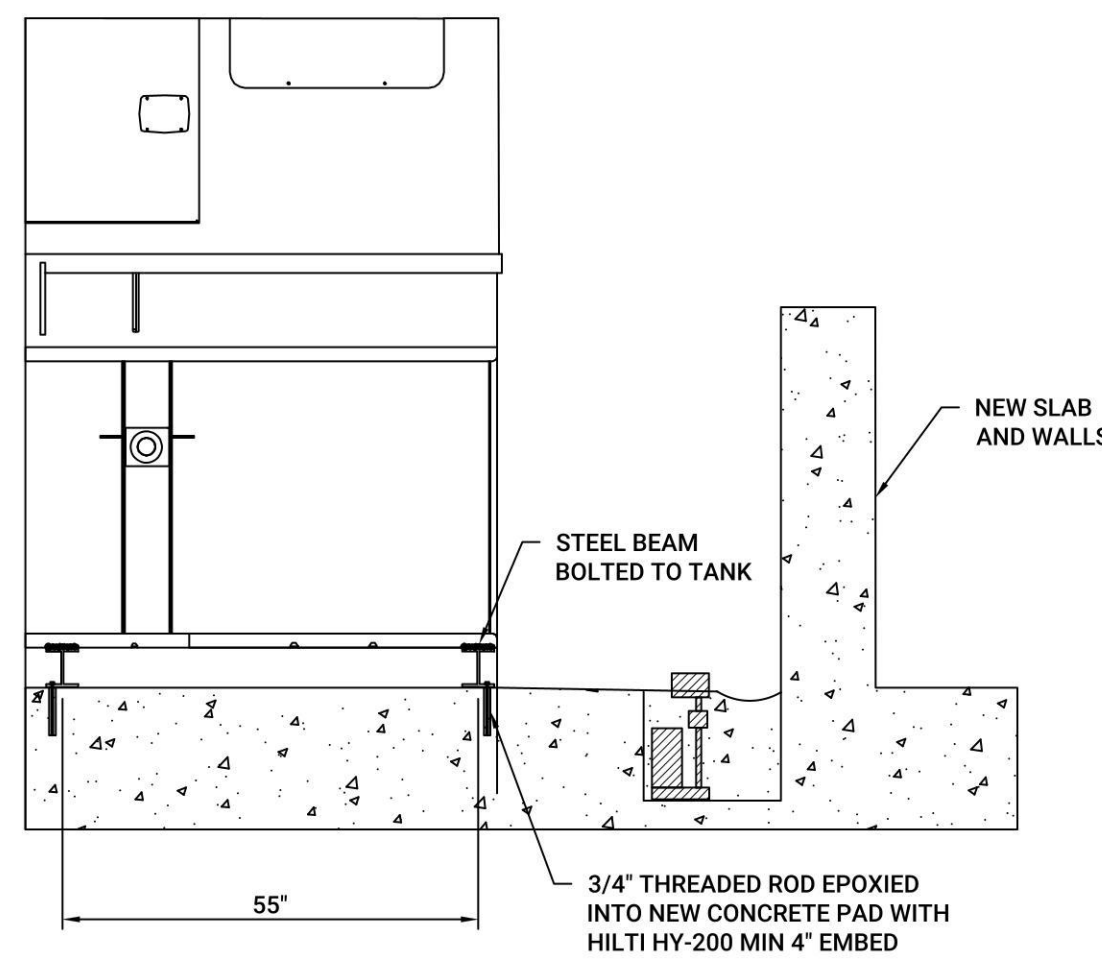
**1PIT ONLY PLAN VIEW**  
SCALE: 1/4" = 1'-0"



**PIT, FUEL TANK AND GENERATOR SECTION A-A VIEW**  
SCALE: 1/4" = 1'-0"



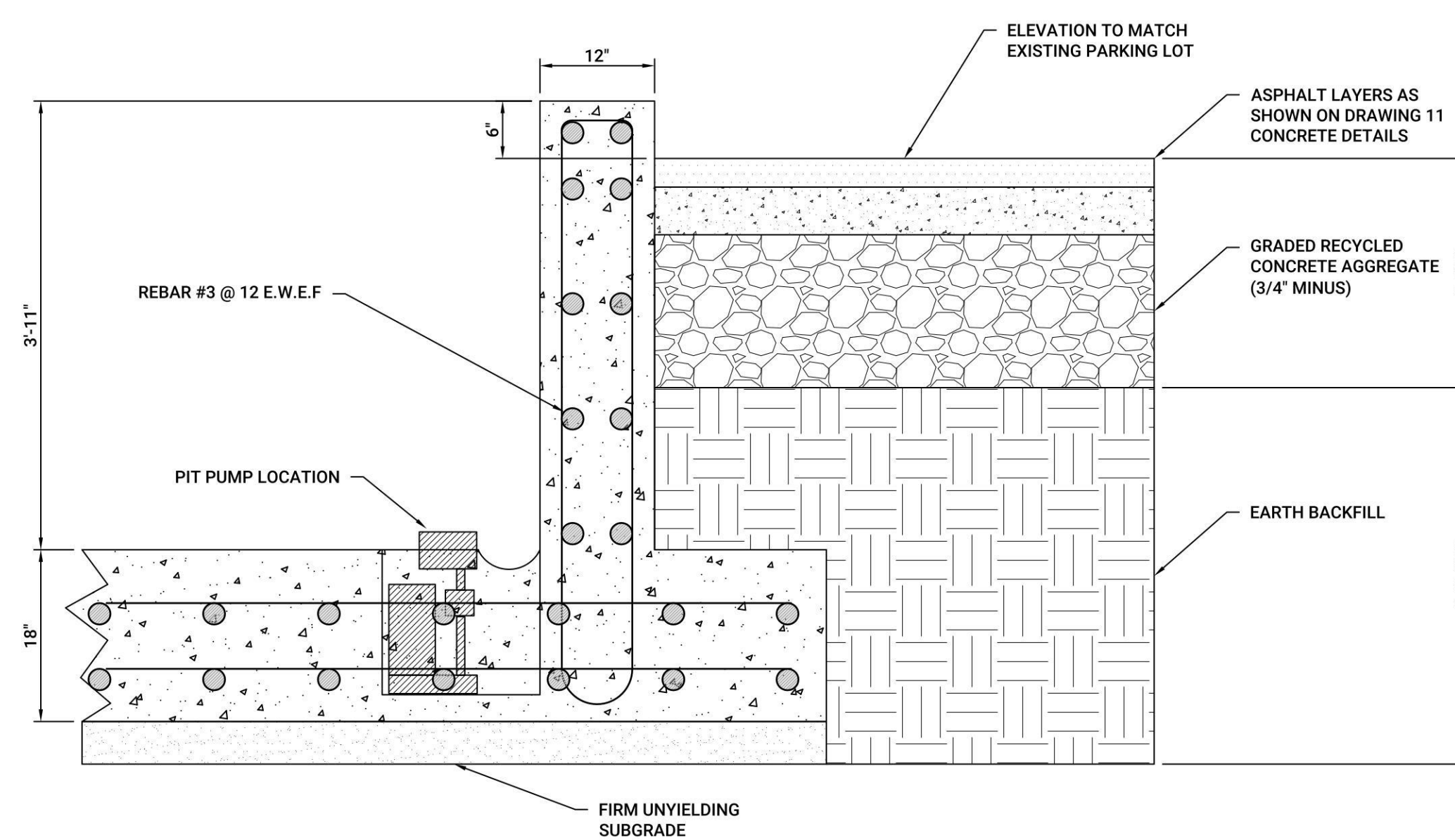
**PIT, FUEL TANK AND GENERATOR SECTION B-B VIEW**  
SCALE: 1/4" = 1'-0"



**FUEL TANK MOUNTING DETAIL SECTION D-D VIEW**  
SCALE: DIMS AS SHOWN

**INSTALLATION NOTE:**

THE FUEL TANK SHALL HAVE (6) 7'-9" W 4X13 STEEL BEAMS FIELD WELDED TO THE BOTTOM OF THE FUEL TANK THEN PRIMED AND PAINTED AS A RUST INHIBITOR. THE PLACEMENT OF THESE BEAMS SHALL BE SPACED EQUALLY AT 55" SUCH TO CREATE A STABLE MOUNTING ENVIRONMENT. AFTER THE TANK AND GENERATOR HAVE BEEN RIGGED TO PLACE THE (6) STEEL BEAMS SHALL THEN BE ANCHOR BOLTED TO THE CONCRETE SLAB.



**PIT CONSTRUCTION DETAIL SECTION C-C VIEW**  
SCALE: DIMS AS SHOWN

**NOTE:**  
THESE GENERATOR ENCLOSURE CONSTRUCTION DETAILS ARE BASED UPON AN APPROVED SET OF CONSTRUCTION DRAWINGS BY PLANNING AND DESIGN, INC. ON 1/26/2022 AND APPROVED UNDER PERMIT #ACB22-00006 ON 7/22/2022.

**DISAPPROVED**  
Michael Maracic  
07/12/2024

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No.	REVISION DESCRIPTION	DATE	BY

**OWNER:**  
1025 IL L.C.  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**APPLICANT:**  
1025 IL L.C.  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**CONSTRUCTION DETAILS**

**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

NCTM: SECTION 11, BLOCK 79 & 80, LOTS SEE TABLE



Wayne A. Muller, P.E.  
NY State License No. 071597

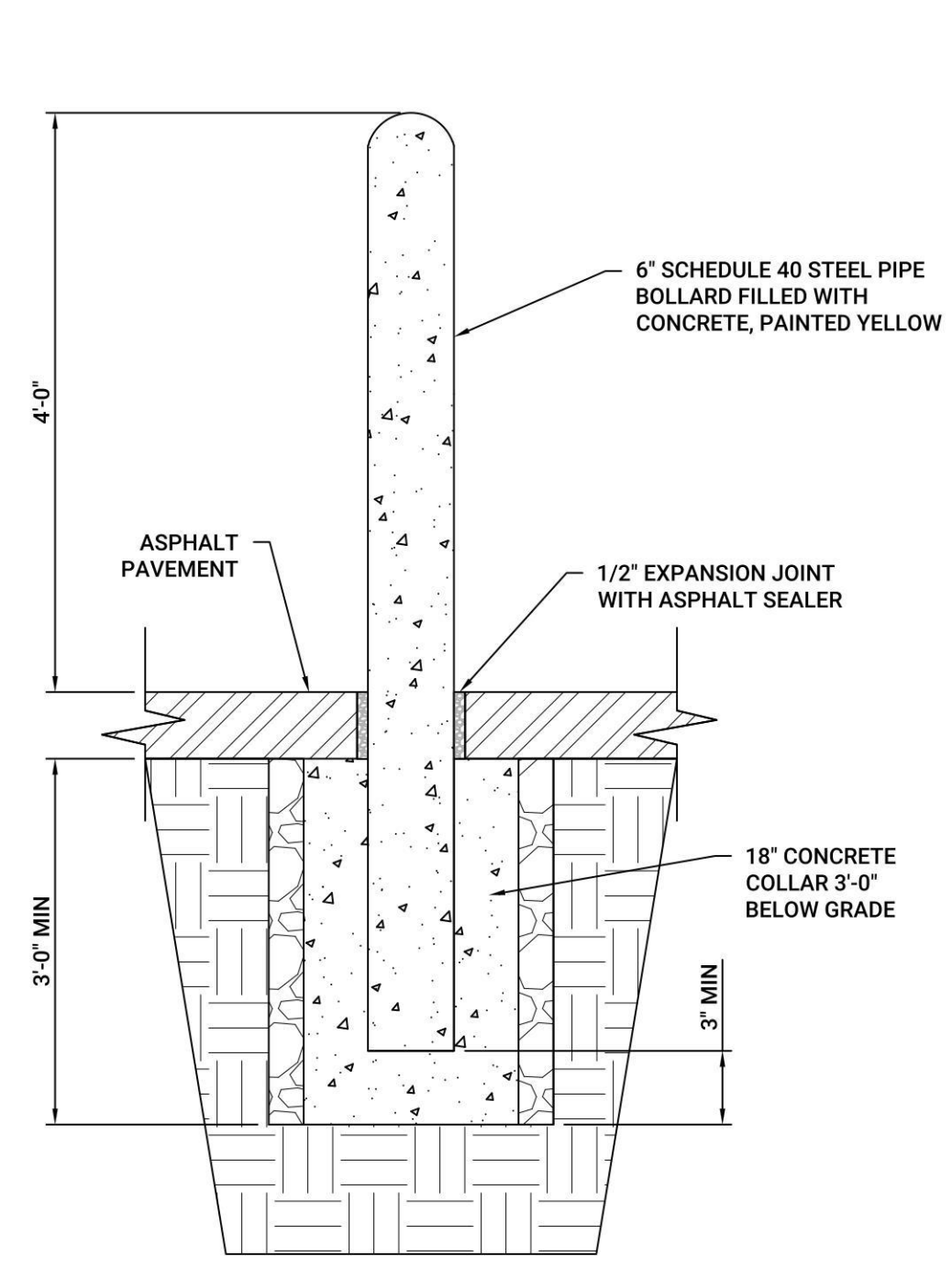


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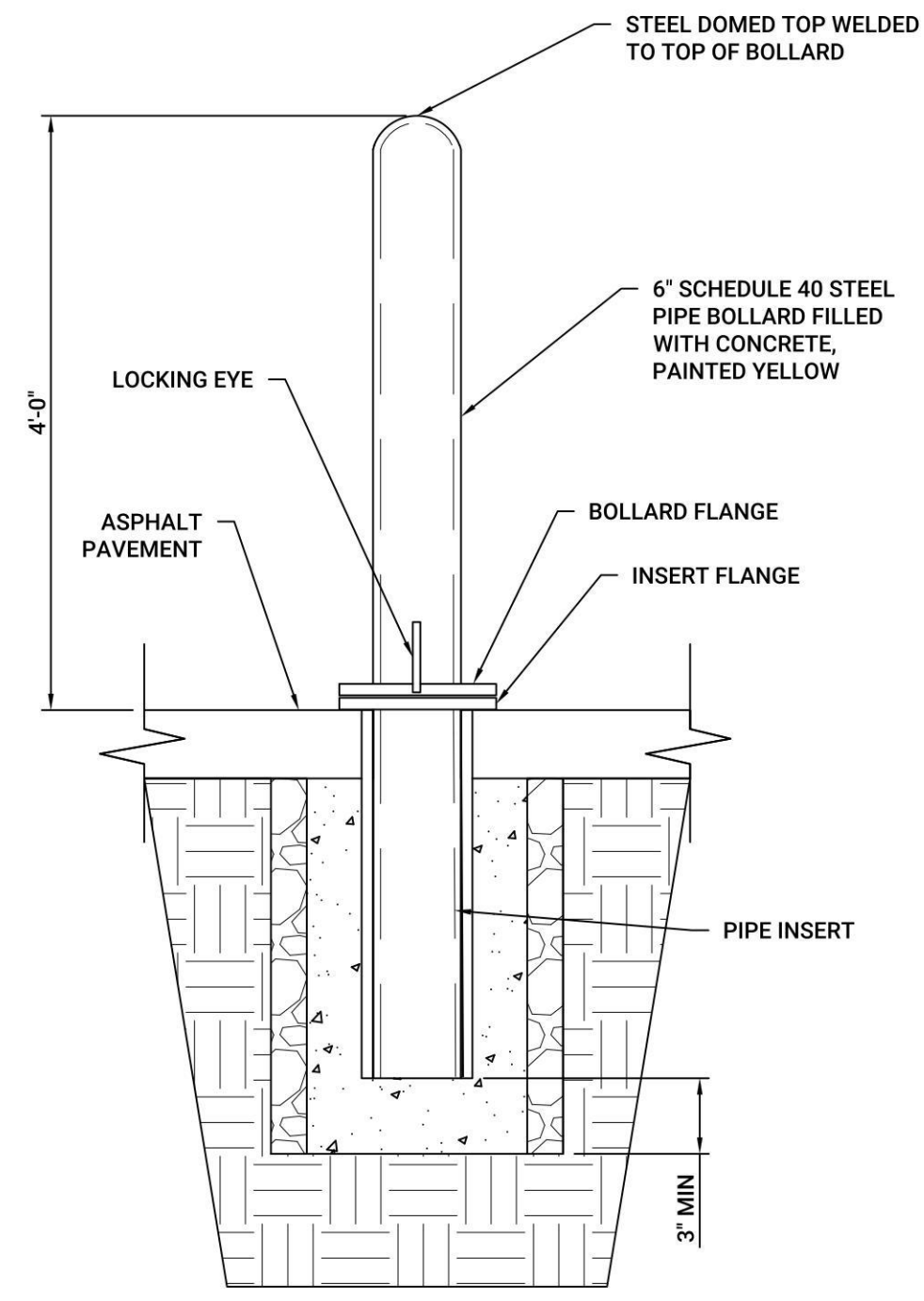
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DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124	<b>SP-16</b>



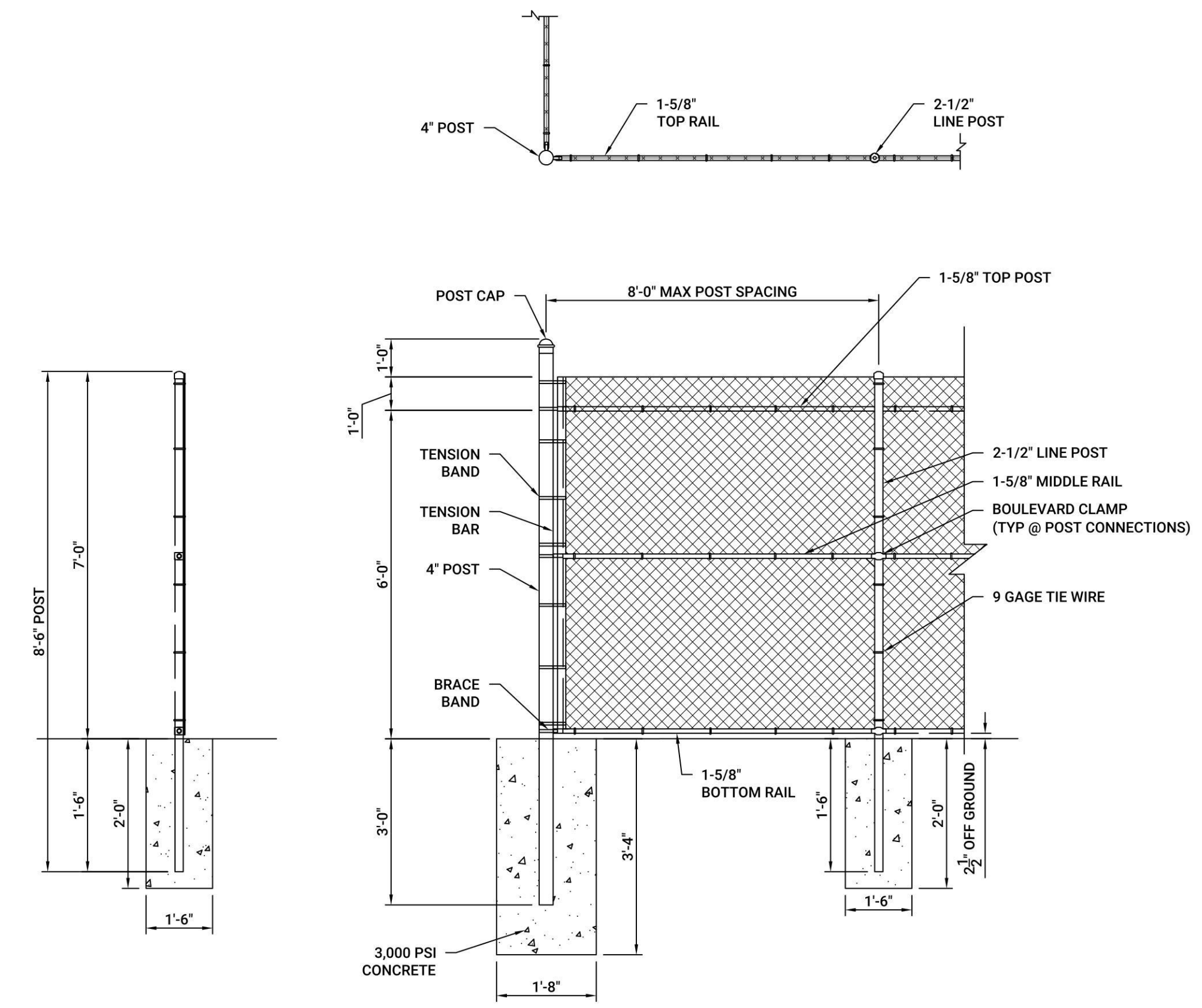
Drawing Name: P:\2022 Projects\2022-15A\15A\15A.dwg Last Modified: May 30, 2024 -- 2:19pm Plotted on: May 30, 2024 -- 2:19pm by pargereis



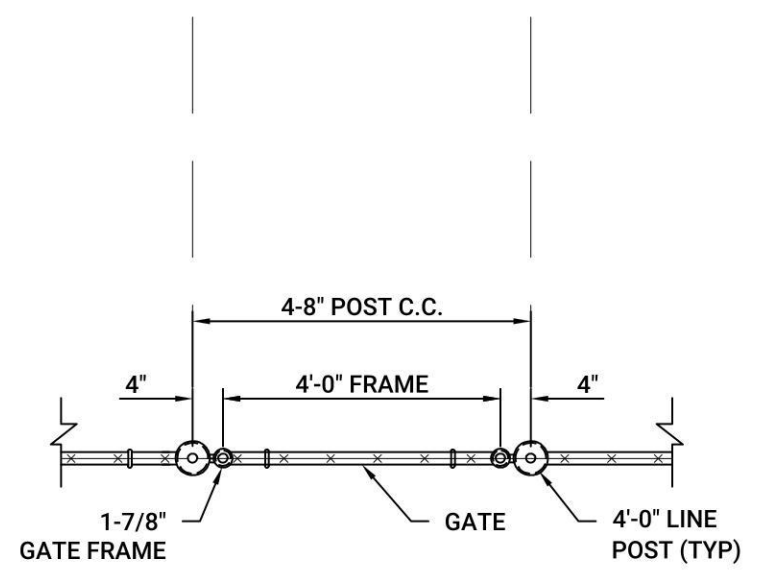
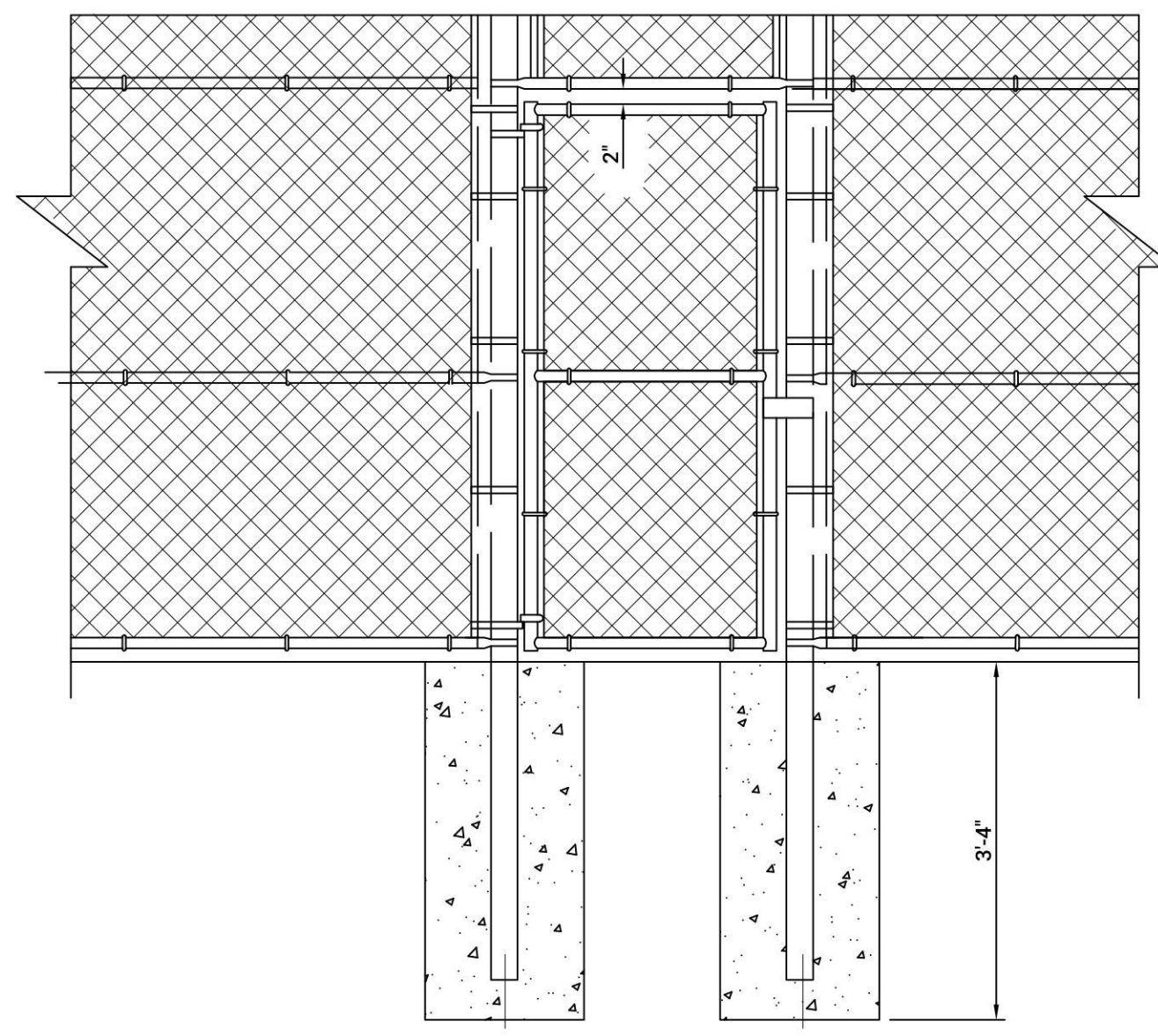
**FIXED BOLLARD DETAIL**  
SCALE: DIMS AS SHOWN



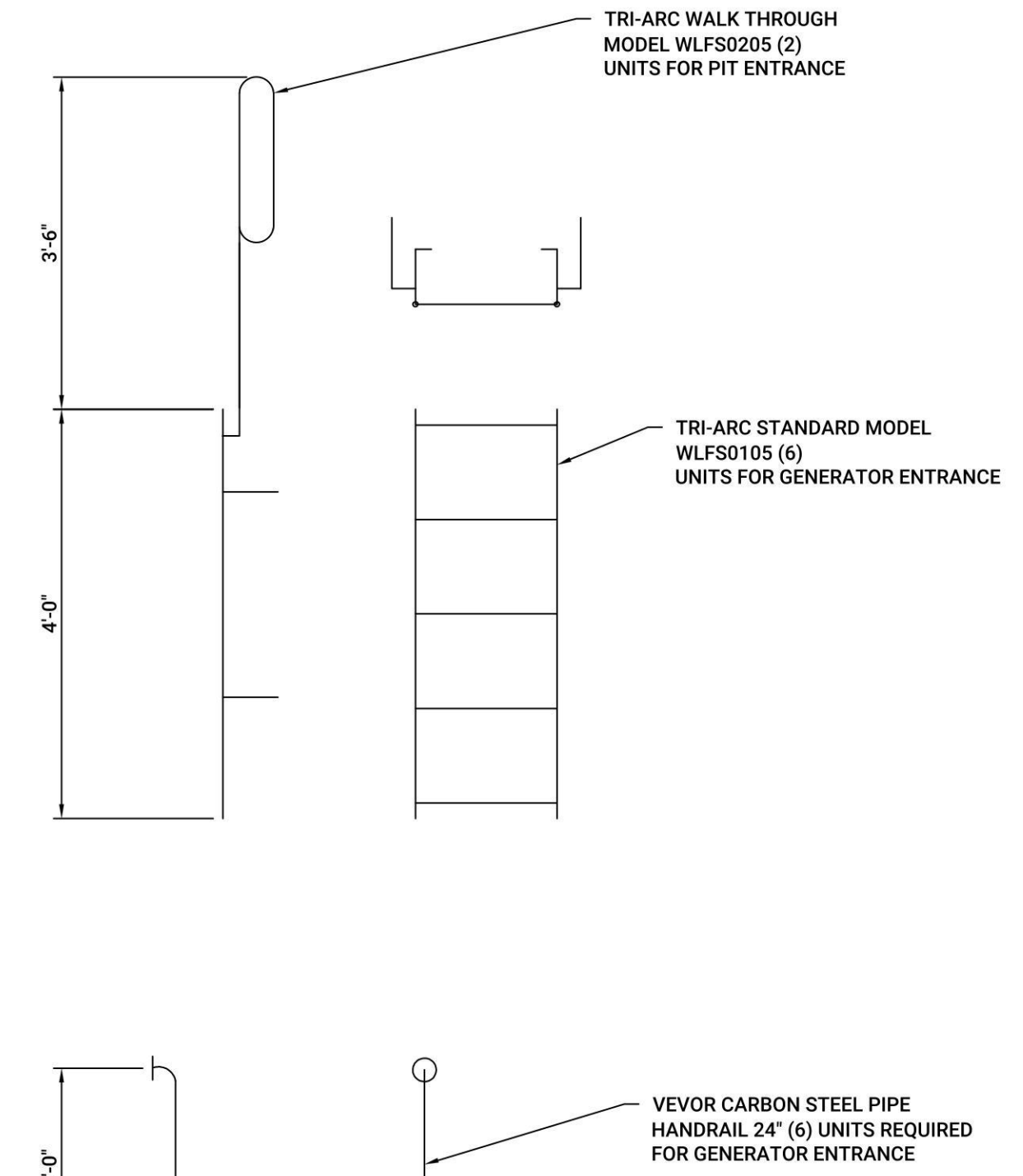
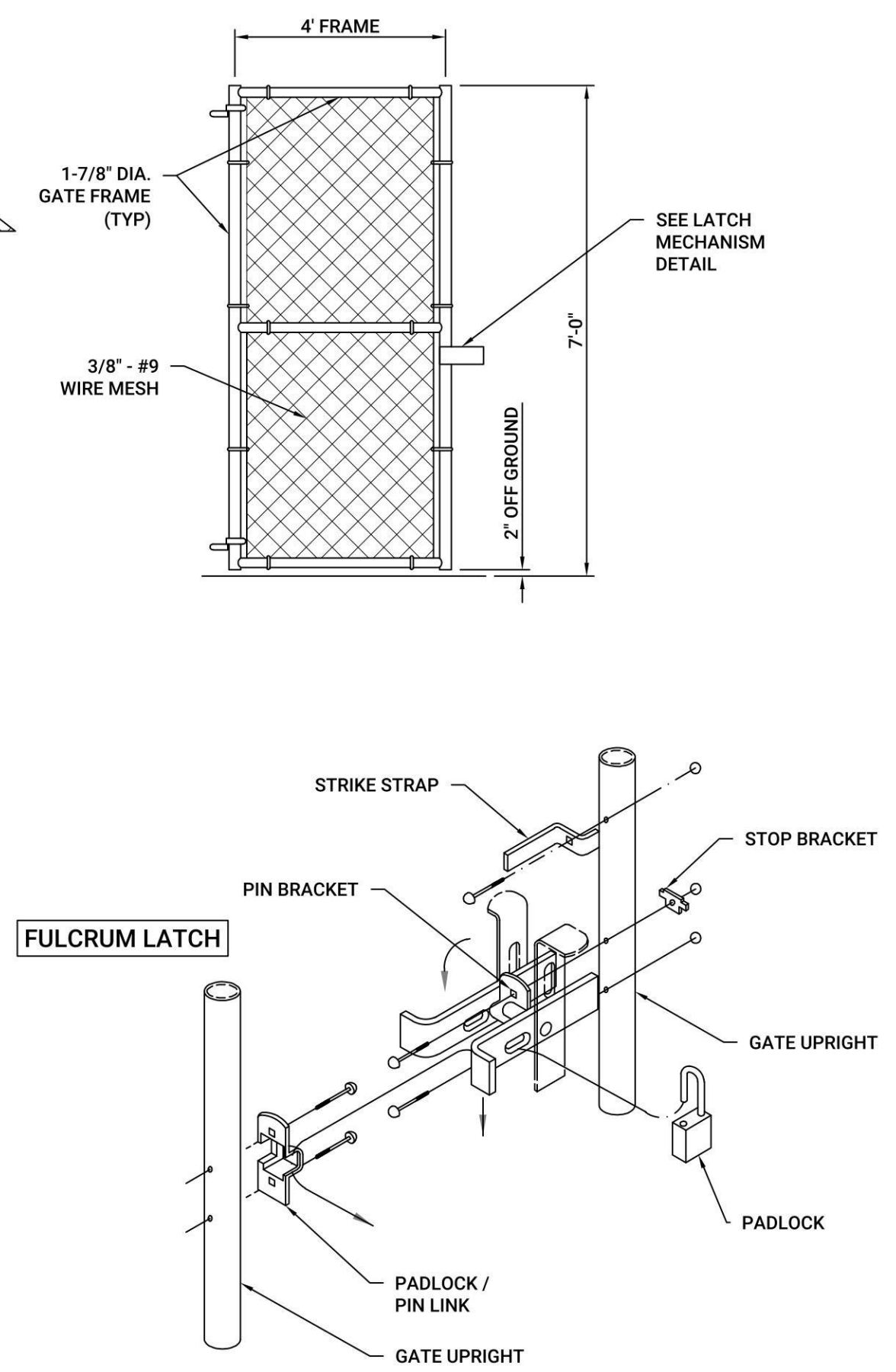
**REMOVABLE BOLLARD DETAIL**  
SCALE: DIMS AS SHOWN



**FENCE ENCLOSURE**  
SCALE: DIMS AS SHOWN



**TYPICAL MAIN GATE ELEVATION, PLAN AND LATCH**  
SCALE: DIMS AS SHOWN



**TYPICAL MAIN GATE ELEVATION, PLAN AND LATCH**  
SCALE: DIMS AS SHOWN

**NOTE:**  
CONTRACTOR TO PROVIDE AND INSTALL (2) TRI-ARC WALK-THRU SHIPS LADDER MODEL #WLFS0205 TO THE PIT WALL AS SHOWN. ALSO INSTALL (6) TRI-ARC STANDARD SHIPS LADDER MODEL #WLFS0105 TO THE GENERATOR. CONTRACTOR SHALL ALSO PROVIDE AND INSTALL (6) 24" VEVOR CARBON STEEL PIPE STAIR HANDRAILS TO EACH GENERATOR DOOR ENTRANCE FOR ACCESS.

**NOTE:**  
THESE GENERATOR ENCLOSURE CONSTRUCTION DETAILS ARE BASED UPON AN APPROVED SET OF CONSTRUCTION DRAWINGS BY PLANNING AND DESIGN, INC. ON 1/26/2022 AND APPROVED UNDER PERMIT #ACB22-00006 ON 7/22/2022.

**DISAPPROVED**  
Michael Maracic  
07/12/2024

No.	REVISION DESCRIPTION	DATE	BY
4.	NO CHANGE THIS SHEET	5/30/24	PVA
3.	TONH COMMENTS	4/11/24	PVA
2.	SHEET NOT PROVIDED	2/06/24	PVA
1.	SHEET NOT PROVIDED	8/30/23	PVA

**OWNER:**  
1025 B L.L.C.  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**APPLICANT:**  
1025 B L.L.C.  
1025 OLD COUNTRY ROAD  
WESTBURY, NY 11590

**CONSTRUCTION DETAILS**  
**1025 OLD COUNTRY ROAD**  
SITUATED IN  
**WESTBURY**  
TOWN OF NORTH HEMPSTEAD,  
NASSAU COUNTY, NEW YORK

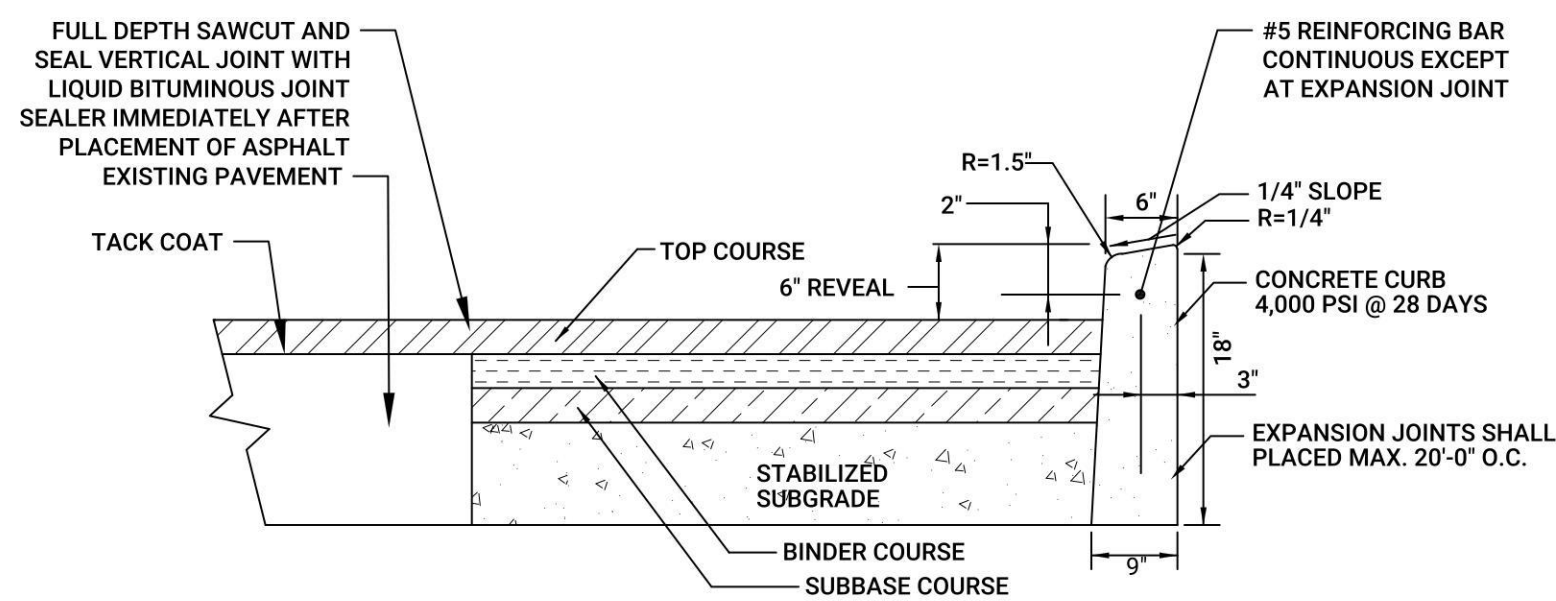
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DWN. BY:	PVA	CHKD. BY:	WAM	SCALE:	As Shown	SHEET:	<b>SP-17</b>
DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124		

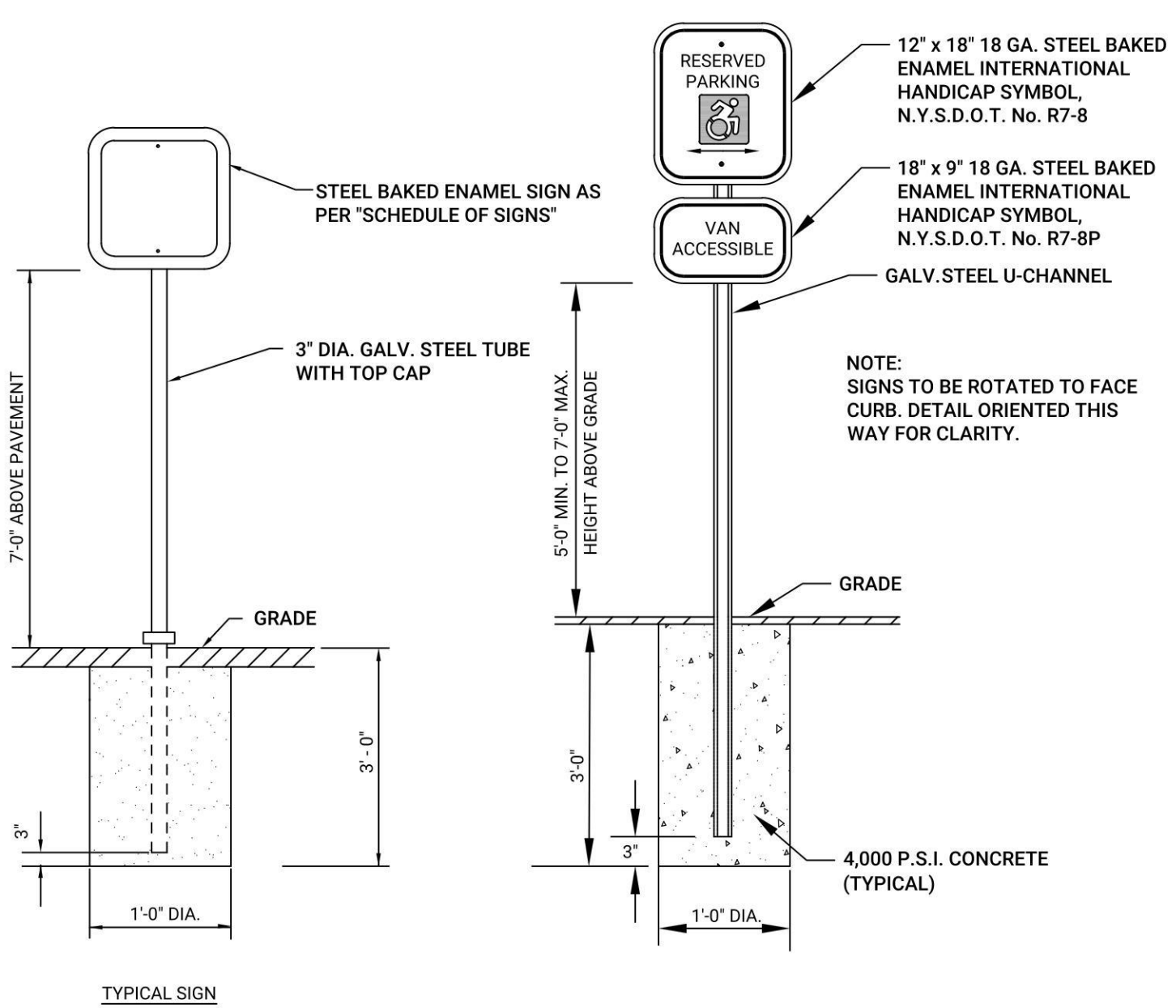
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**PAVEMENT SECTION:**  
 TOP COURSE:  
 1-1/2" COMPACTED ASPHALT TOP COURSE, NYSDOT TYPE 6F  
**BINDER COURSE:**  
 2" COMPACTED ASPHALT BINDER COURSE, NYSDOT TYPE 3  
**BASE COURSE:**  
 6" COMPACTED RECYCLED CONCRETE AGGREGATE OVER A MINIMUM 12" COMPACTED SUBGRADE

**ON-SITE CURB AND PAVEMENT DETAIL**  
 N.T.S.

- NOTES:**
- ALL WORK SHALL CONFORM TO TOWN OF OYSTER BAY SPECIFICATIONS.
  - DAMAGED BASE OR BINDER COURSE SHALL BE REMOVED AND REPLACED PRIOR TO PLACEMENT OF TOP COURSE.
  - TOP COURSE SHALL BE PLACED AFTER CONSTRUCTION HAS BEEN SUBSTANTIALLY COMPLETED AS DETERMINED BY THE OWNER OR OWNERS REPRESENTATIVE.
  - SUBBASE MATERIAL SHALL BE PLACED AND SPREAD FROM AN APPROVED STOCKPILE. MATERIAL SHALL BE TESTED FROM THE STOCKPILE BY AN APPROVED SOIL TESTING LABORATORY PRIOR TO PLACEMENT.
  - USE OF RECYCLED CONCRETE AS A SUBSTITUTE FOR STONE BLEND IS SUBJECT TO THE APPROVAL OF THE TOWN OF OYSTER BAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE APPROVAL SHOULD THE CONTRACTOR WANT TO USE RECYCLED CONCRETE. RECYCLED CONCRETE SHALL BE THE EQUIVALENT OF N.Y.S.D.O.T. TYPE 1011 MATERIAL "A". RECYCLED CONSTRUCTION DEBRIS, WHICH CONTAINS ASPHALT, CONCRETE, ETC. IS NOT TO BE CONSIDERED AS AN ACCEPTABLE ALTERNATE TO STONE BLEND.
  - AT THE WRITTEN REQUEST OF THE CONTRACTOR, THE SPECIFICATION FOR THE SUBBASE MATERIAL CAN BE MODIFIED TO INCLUDE THE USE OF RECYCLED ASPHALT MILLINGS AS AN ACCEPTABLE AGGREGATE. THE ADDITION OF THE ASPHALT MILLINGS TO THE SUBBASE MATERIAL SHALL NOT CAUSE A DEVIATION IN THE MECHANICAL GRADATION OF THE SUBBASE. PRIOR TO USING THE RECYCLED ASPHALT MILLINGS, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER, ENGINEER, AND MUNICIPALITY HAVING JURISDICTION. THE CONTRACTOR SHALL ALSO SUBMIT SIEVE ANALYSIS REPORTS TO THE ENGINEER FOR APPROVAL PRIOR TO USING AND PLACING THE RECYCLED ASPHALT MILLINGS.
  - CURB EXPANSION JOINTS SHALL BE PLACED MAX. 20'-0" O.C. MIN AND AT ALL P.T.'S, P.C.'S AND AT BOTH ENDS OF CURB CUTS.
  - LANDSCAPING MATERIALS, GRASS, SOD, MULCH, ETC SHALL BE FLUSH TO 1" BELOW TOP OF CURB/PAVING/DRAINAGE OPENINGS. ALL CONCRETE FOR CURB SHALL BE NASSAU COUNTY CLASS 'A'.
  - ALL CONCRETE FOR SIDEWALKS SHALL BE NASSAU COUNTY CLASS 'B'.



**HANDICAPPED PARKING SIGN**  
 N.T.S.

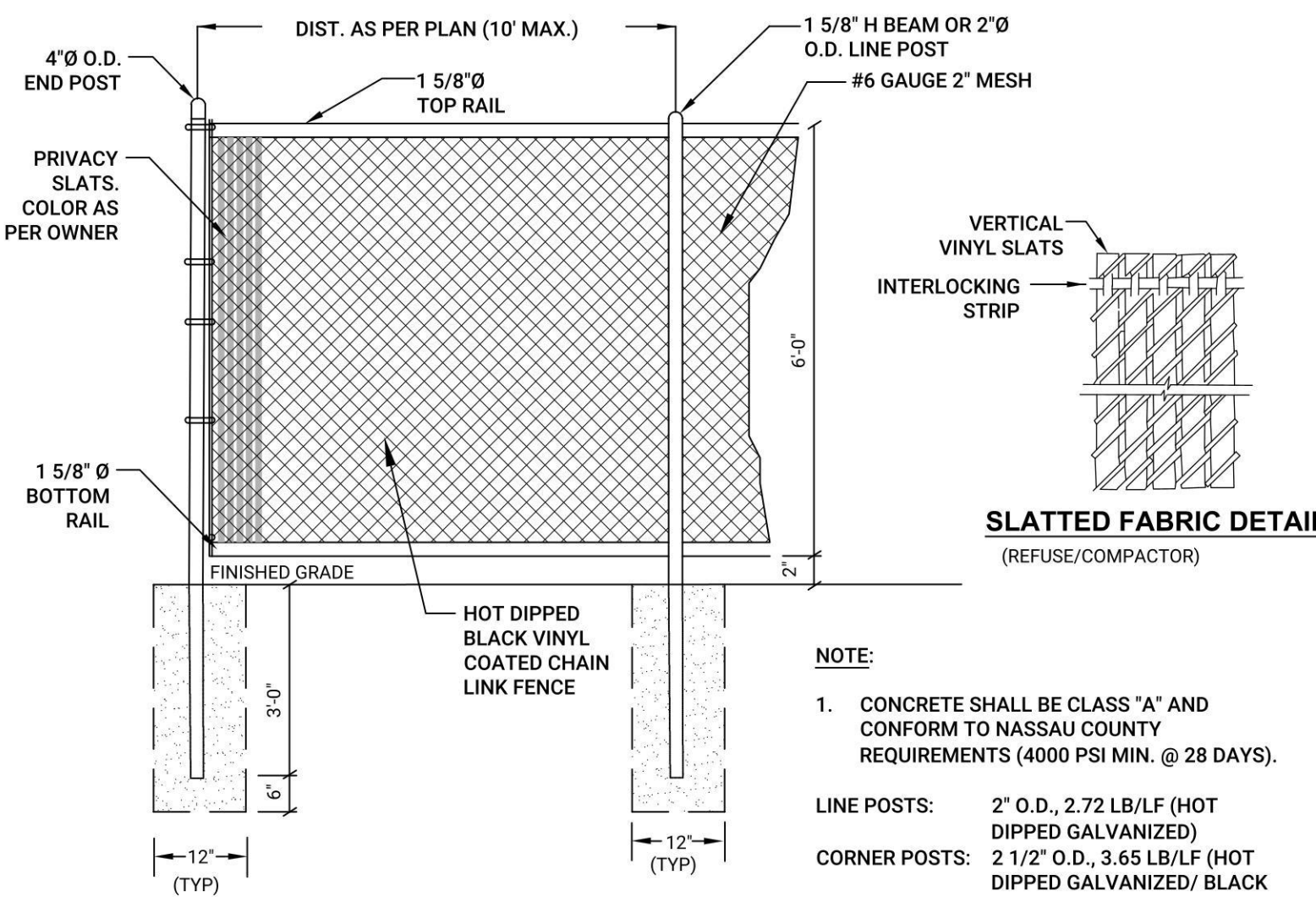
**SIGN DETAIL**  
 N.T.S.

- NOTES:**
- CONCRETE SHALL HAVE AN UNCONFINED COMPRESSIVE STRENGTH OF 3,500 PSI MIN. @ 28 DAYS.
  - REFER TO ALIGNMENT PLAN FOR ADDITIONAL NOTES, SIGN LOCATIONS, AND THE SCHEDULE OF SIGNS.
  - PAINT SHALL BE APPLIED IN TWO (2) COATS.
  - ALL SIGNS SHALL BE LOCATED A MINIMUM 2'-6" BEHIND THE FACE OF CURB.

**SCHEDULE OF SIGNS**

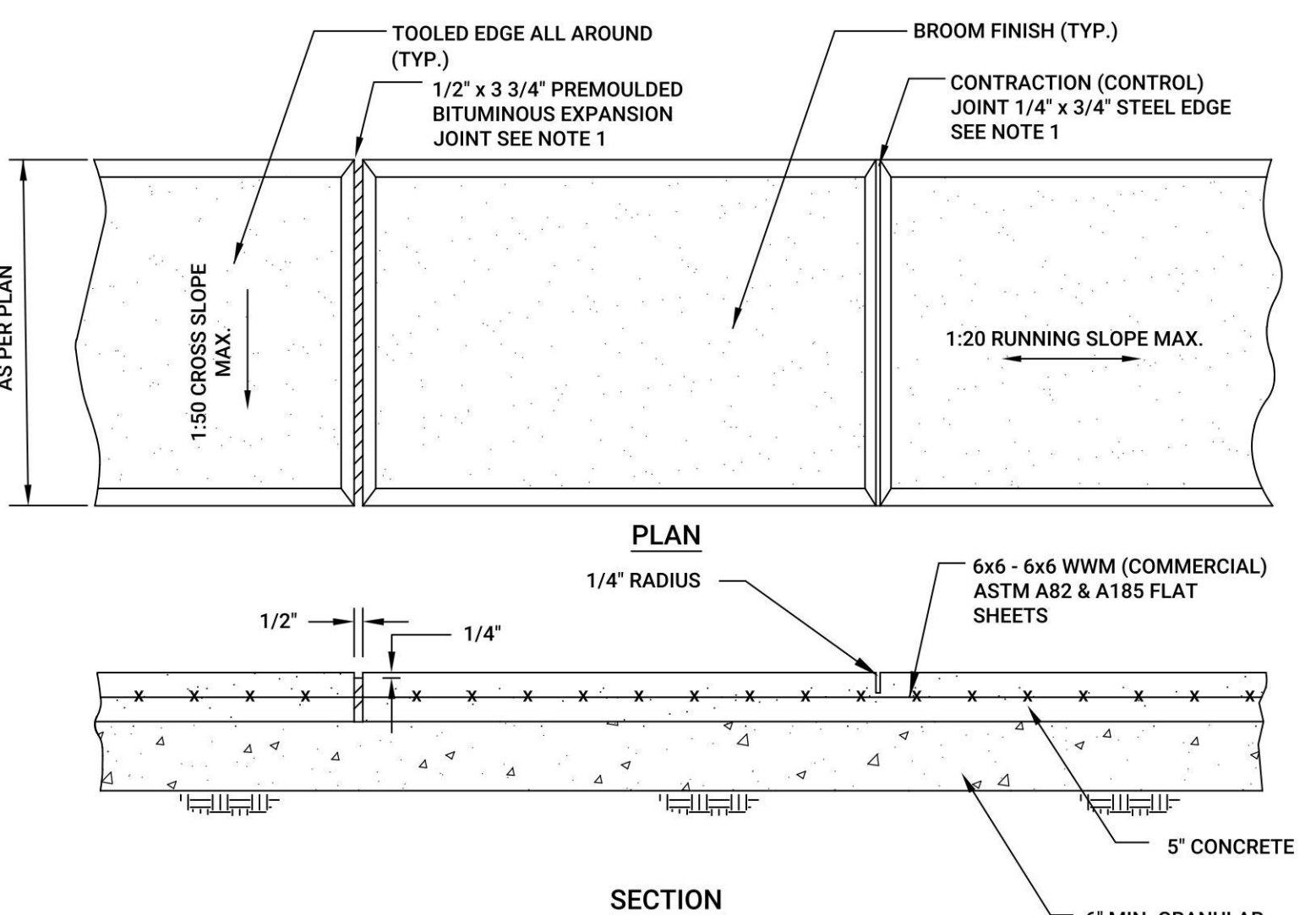
SYMBOL	TEXT	SIGN TYPE	M.U.T.C.D.	SIZE
1	HANDICAP PARKING WITH VAN ACCEPTABLE SUPPLEMENTAL PLAQUE	R7-8 R7-8P	R7-8 R7-8P	12" x 18" 12" x 6"
2	NO STOPPING ANYTIME	R7-1	R7-1	12" x 18"

- NOTES:**
- SIGN POST "MINUTE MAN" BREAKAWAY SYSTEM BY MARION STEEL COMPANY MARION, OHIO OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
  - ALL SIGNS SHALL HAVE A MOUNTING HEIGHT OF 7'-0", AS MEASURED FROM BOTTOM OF SIGN TO FINISHED GRADE.
  - ALL SIGNS ARE TO BE REFLECTORIZED.
  - A MINIMUM OF TWO CROSS BRACES SHALL BE PROVIDED ON ALL SINGLE CHANNEL SIGNS HAVING A DIMENSION GREATER THAN 24 INCHES.



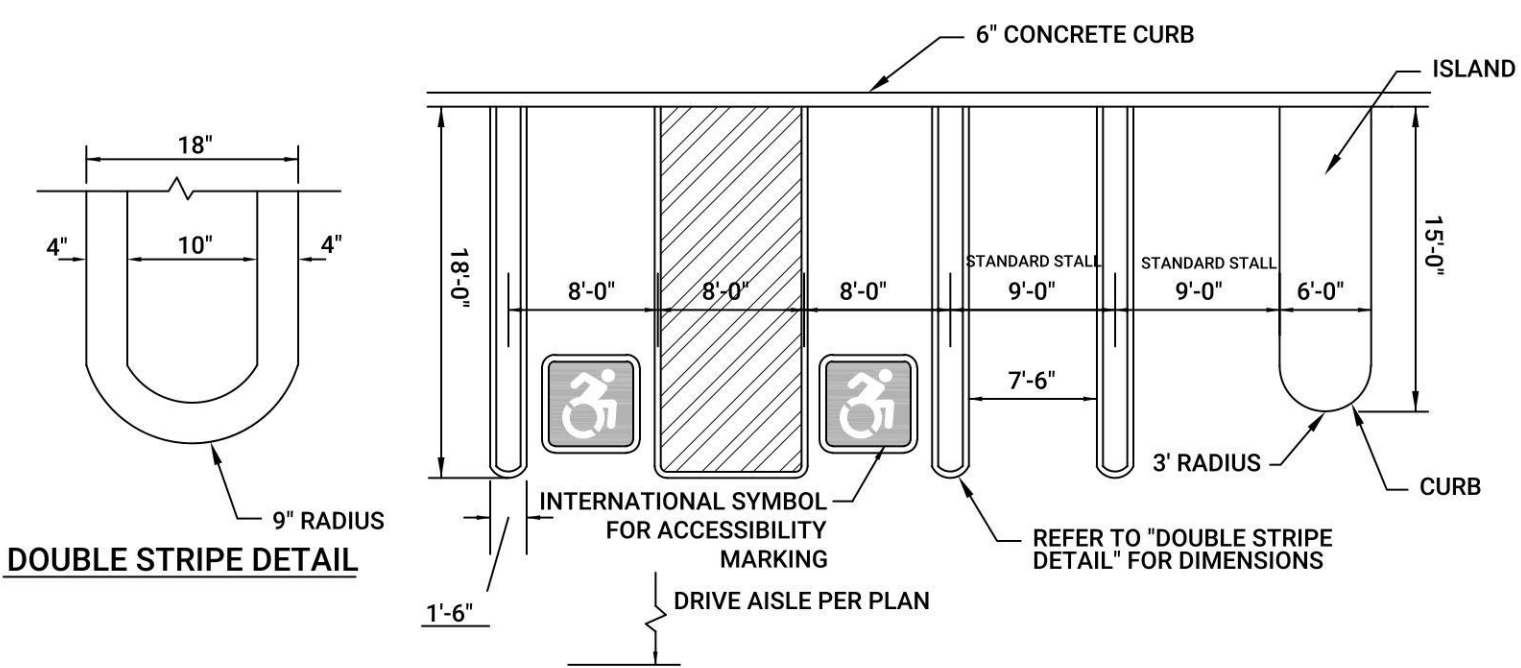
**CHAIN LINK FENCE DETAIL**  
 N.T.S.

- NOTE:**
- CONCRETE SHALL BE CLASS "A" AND CONFORM TO NASSAU COUNTY REQUIREMENTS (4000 PSI MIN. @ 28 DAYS).
- LINE POSTS:** 2" O.D., 2.72 LB/LF (HOT DIPPED GALVANIZED)  
**CORNER POSTS:** 2 1/2" O.D., 3.65 LB/LF (HOT DIPPED GALVANIZED/ BLACK VINYL COATED)  
**GATE POSTS:** 4" O.D., 9.10 LB/LF (HOT DIPPED GALVANIZED / BLACK VINYL COATED)



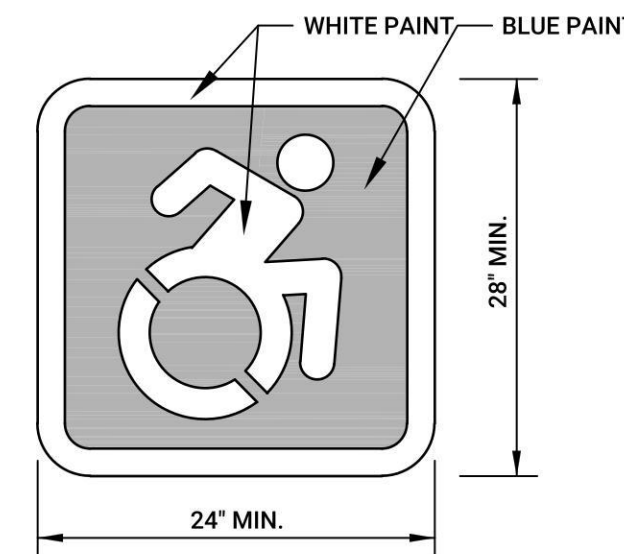
**CONCRETE SIDEWALK DETAIL**  
 N.T.S.

- NOTES:**
- CONTROL JOINTS ARE TO BE PLACED EVERY 5'-0" AND EXPANSION JOINTS SHALL BE LOCATED A MINIMUM 20'-0" O.C.
  - SIDEWALK SHALL HAVE A COARSE BROOM FINISH.
  - ALL CONCRETE SHALL BE 4,000 PSI @ 28 DAYS.



**PARKING AREA STRIPING AND ALIGNMENT DETAIL**  
 N.T.S.

- NOTES:**
- ALL PROPOSED PARKING DENOTED ON THE SITE PLAN SHALL BE IN ACCORDANCE WITH THIS DETAIL UNLESS OTHERWISE SPECIFIED.
  - HANDICAP PARKING STALLS AND ALL HANDICAP RAMPS SHALL BE IN CONFORMANCE WITH THE LATEST BUILDING CODE OF NEW YORK (2010 STANDARDS) AND ICC/ANSI A117.1-(2009 STANDARDS).
  - ALL STRIPING SHALL HAVE A MINIMUM OF TWO - (2) COATS OF PAINT.
  - ALL PARKING LOT STRIPING TO BE SHERWIN-WILLIAMS "SETFAST" ACRYLIC ALKYD TRAFFIC MARKING PAINT, #TM5612 - WHITE OR #TM5613 - YELLOW.
  - REFLECTIVE FILM MAY BE UTILIZED IN LIEU OF PAINT; IF PROVIDED FILM SHALL BE PLIANT POLYMER RETROREFLECTIVE FILM, STAMARK, MANUFACTURED BY 3M COMPANY, ST PAUL, MINNESOTA, OR APPROVED EQUAL.
  - REFLECTIVE FILM PARKING STALL LINES: SERIES 5730, WHITE, 60-MIL. IN ROLLS, PRECOATED WITH PRESSURE SENSITIVE ADHESIVE WITHOUT LINER. YELLOW TRAFFIC LINES SHALL BE: SERIES 5731, YELLOW.



**HANDICAP SYMBOL DETAIL**  
 N.T.S.

**PARKING SIZE COMPLIANCE TABLE**

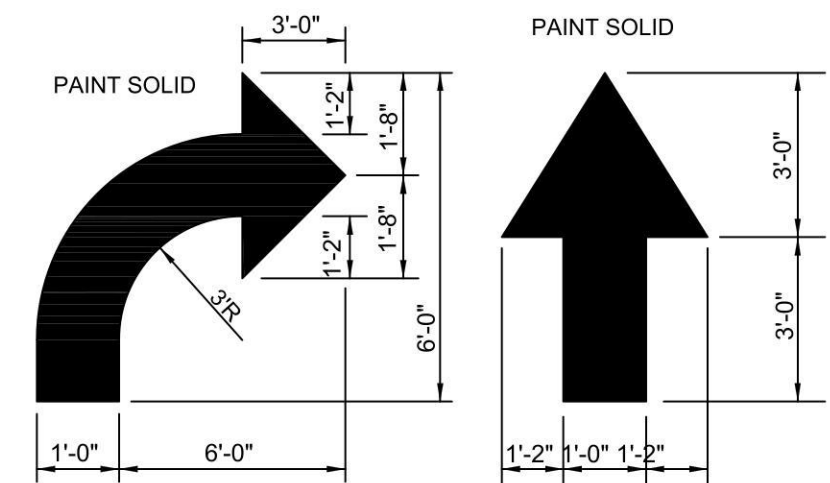
**TOWN OF NORTH HEMPSTEAD §70-103  
 9 FOOT X 18 FOOT PARKING STALLS**

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	9 (BY 23 LONG)	12
30	16 5/6	12
45	19 1/6	13
60	20 1/6	18
90	18	24

**10 FOOT X 20 FOOT PARKING STALLS**

PARKING ANGLE (DEGREES)	STALL TO CURB (FEET)	ACCESS ISLE WIDTH (FEET)
0	10 (BY 23 LONG)	12
30	18 2/3	12
45	21 1/4	13
60	22 1/3	18
90	20	20

MARKING	DESCRIPTION	NYSDOT ITEM NO.
4" (TYP.)	WDLL - DOTTED LINE (WHITE)	687.0101
4" (TYP.)	WBLL - BROKEN LINE (WHITE)	687.0101
4" (TYP.)	YBLL - BROKEN LINE (YELLOW)	687.0201
2'-0"	CROSSHATCHING (WHITE)	687.0101
2'-0"	CROSSHATCHING (YELLOW)	687.0201
4" (TYP.)	YSDL - FULL BARRIER LINE (YELLOW)	687.0201
4" (TYP.) OR 8" (TYP.)	WLL/WEL - SOLID LINE (WHITE)	687.0101
4" (TYP.) OR 8" (TYP.)	YLL/YEL - SOLID LINE (YELLOW)	687.0201
24" (TYP.)	SL - STOP LINE (WHITE)	688.01
12" (TYP.)	WHITE PREFORMED REFLECTORIZED PAVEMENT SYMBOLS	688.04
6" MIN. 12" (TYP.)	CW - CROSSWALK LINE (WHITE)	688.01



**PAVEMENT MARKING LEGEND**  
 N.T.S.

- NOTES:**
- PAINT: SHERWIN-WILLIAMS "SETFAST" ACRYLIC ALKYD TRAFFIC MARKING PAINT, #TM5612 - WHITE OR #TM5613 - YELLOW, SEE CRITERIA DRAWINGS FOR LOCATIONS OF COLORS.
  - APPLICATION: IMMEDIATELY BEFORE APPLYING THE PAINT, CLEAN THE PAVEMENT SURFACE. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE (5) DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT AND AT APPLICATION RATE AS INDICATED IN THE STATE DOT CONSTRUCTION SPECIFICATION. APPLY SECOND COAT JUST PRIOR TO STORE OPENING AT SAMS APPLICATION RATE AS INITIAL INSTALLATION.
  - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & THE NEW YORK STATE SUPPLEMENT TO THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITIONS.

**DISAPPROVED**  
 Michael Maracic  
 07/12/2024

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4.	NO CHANGE THIS SHEET	5/30/24	PVA
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1.	SHEET NOT PROVIDED	8/30/23	PVA

**OWNER:**  
 1025 E LLC  
 1025 OLD COUNTRY ROAD  
 WESTBURY, NY 11590

**APPLICANT:**  
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 WESTBURY, NY 11590

**Wayne A. Muller, P.E.**  
 NY State License No. 071597

**CONSTRUCTION DETAILS**

**1025 OLD COUNTRY ROAD**  
 SITUATED IN  
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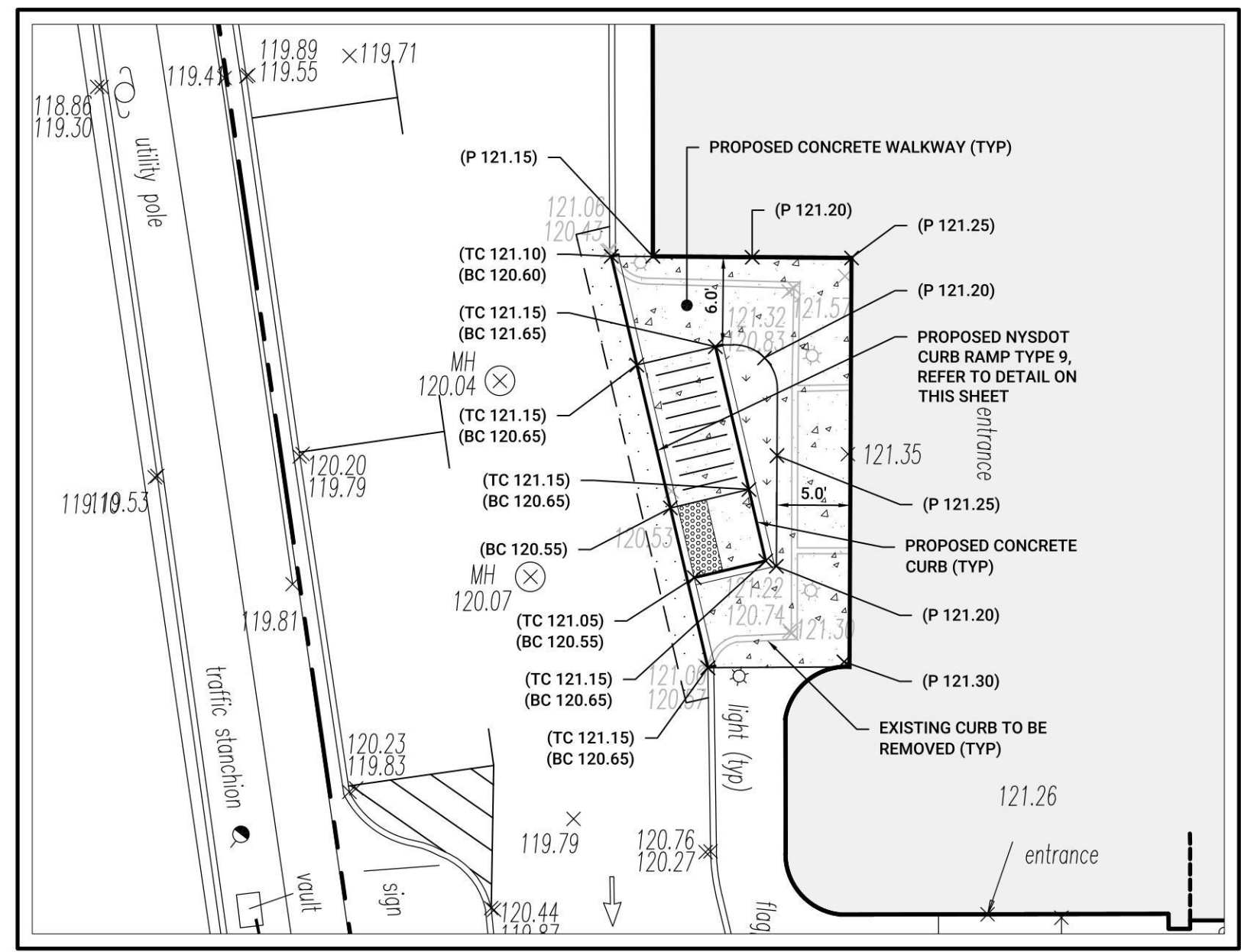
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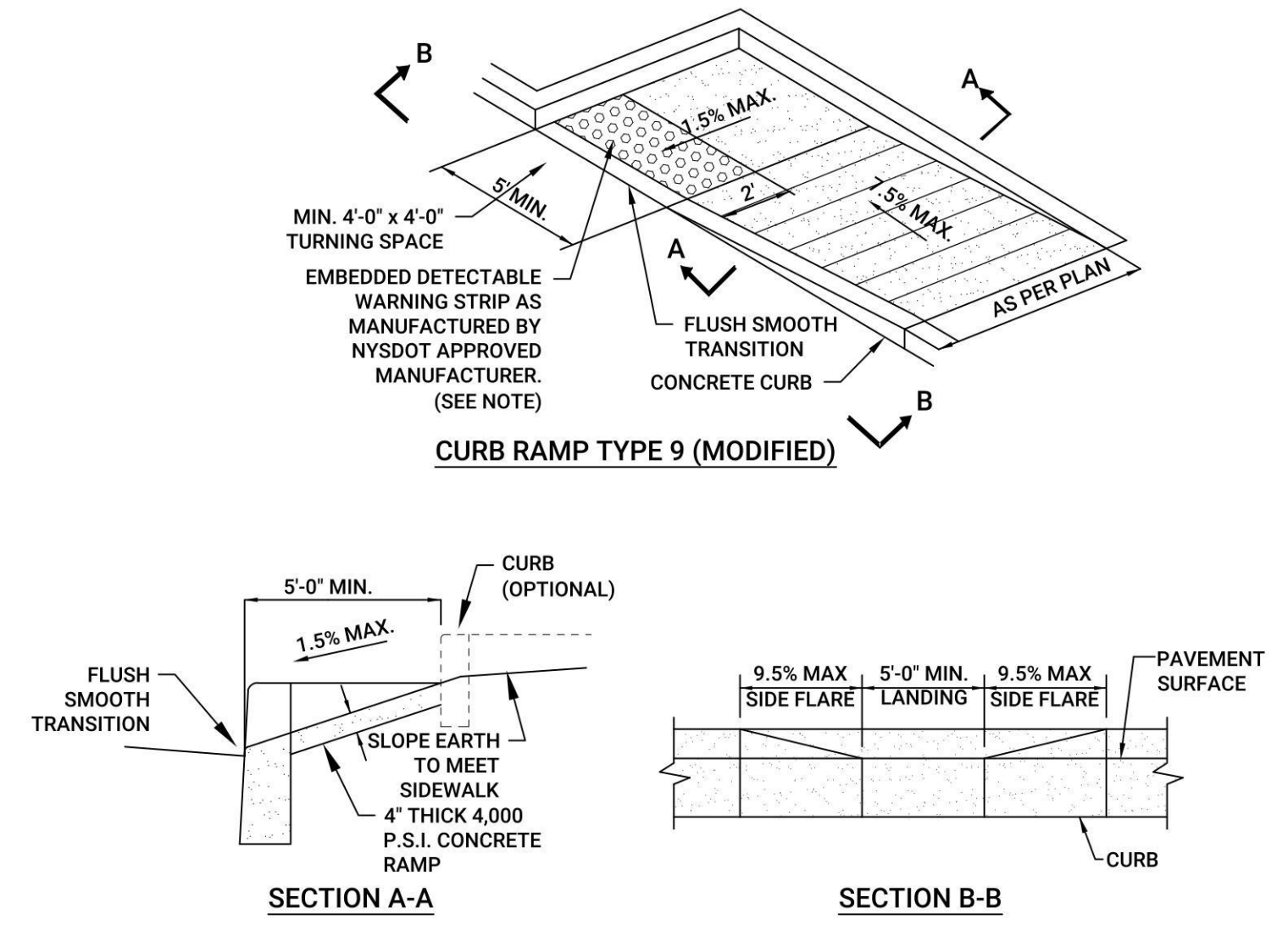
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DATE:	8/30/2023	DATE:	8/30/2023	JOB No.:	2022-124	<b>SP-18</b>

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**LOT B - ADA ACCESSIBLE CURB RAMP**  
(PLAN VIEW)  
SCALE: 1" = 10'



**CURB RAMP DETAIL**  
N.T.S.

- NOTES:**
- THE MAXIMUM SLOPE OF A SIDEWALK CURB RAMP IN NEW CONSTRUCTION SHALL BE 1:14. IF SPACE LIMITATIONS ON EXISTING SITES PROHIBIT THE USE OF 1:14 THE FOLLOWING SLOPES AND RISES MAY BE USED:
    - STEEPER THAN 1:14 (7.14%) BUT NO STEEPER THAN 1:10 (10%) 6" MAX. RISE, 5' MAX. RUN.
    - STEEPER THAN 1:10 (10%) BUT NO STEEPER THAN 1:8 (12.5%) 3" MAX. RISE, 2' MAX. RUN.
    - A SLOPE STEEPER THAN 1:8 (12.5%) IS NOT ALLOWED.
  - THE MIN. WIDTH OF A SIDEWALK CURB RAMP SHALL BE FIVE (5) FEET, EXCLUSIVE OF FLARED SIDES.
  - ALL SIDEWALK CURB RAMPS SHALL HAVE FLUSH, SMOOTH TRANSITIONS TO THE ADJACENT STREET OR HIGHWAY SURFACE. THE SURFACE OF ALL SIDEWALK CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT. (E.G. A COARSE BROOM FINISH PERPENDICULAR TO THE RAMP SLOPE IS ACCEPTABLE ON CEMENT CONCRETE CURB RAMPS).
  - EXISTING CONCRETE SHALL BE SAWCUT FULL DEPTH.
  - ALL HANDICAP RAMPS AND ACCESS WAYS SHALL BE IN COMPLIANCE WITH THE BUILDING CODE OF N.Y.S. AND ICC/ANSI A117.1-1998.
  - CURB RAMP TO BE INSTALLED AS PER NYSDOT 608-01. REFER TO NYSDOT STANDARD SHEETS 608-01 FOR FURTHER INFORMATION.
  - THE DETECTABLE WARNINGS SHALL BE OBTAINED FROM THE NYSDOT APPROVED MATERIALS LIST. THEY SHALL BE DARK GREY IN COLOR WHEN INSTALLED IN LIGHT CONCRETE CURB RAMPS AND BLENDED TRANSITIONS. NATURAL CAST IRON DETECTABLE WARNINGS MAY BE USED. MANUFACTURERS OF THESE PRODUCTS CAN BE FOUND AT THE NYSDOT APPROVED MATERIALS LISTS WEBSITE.

**DISAPPROVED**  
Michael Maracic  
07/12/2024

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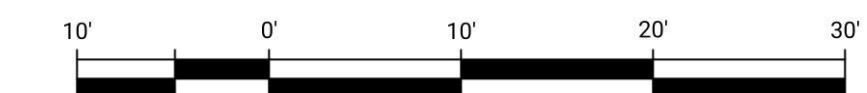
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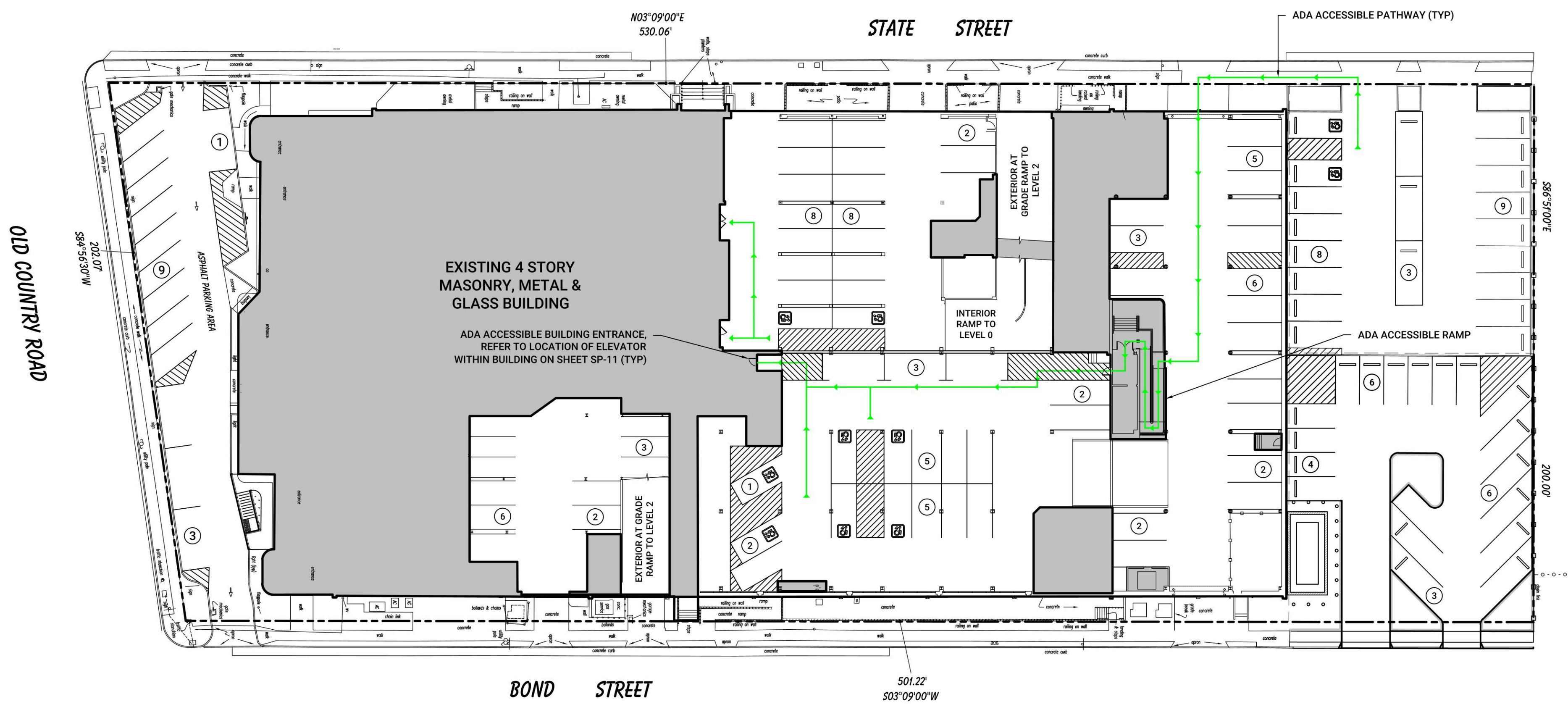
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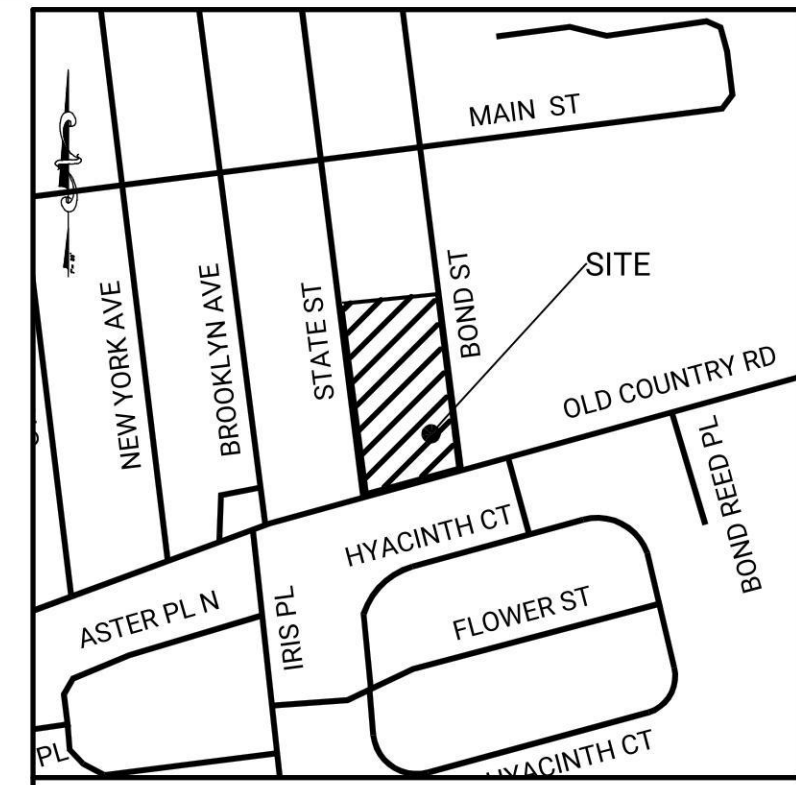


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**ADA ACCESSIBLE PATHWAY PLAN**  
(EXTERIOR TO FIRST FLOOR)  
SCALE: 1" = 30'



**KEYMAP**  
SCALE: 1" = 500'



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WESTBURY, NY 11590

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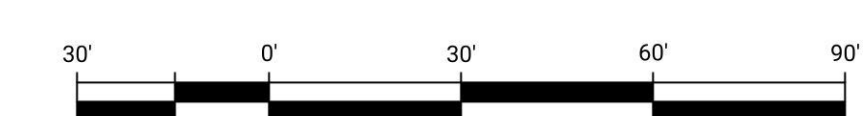
**ADA ACCESSIBLE PATHWAY PLAN**

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SITUATED IN  
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