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# Town of North Hempstead



## Board of Zoning Appeals

210 Plandome Road  
Manhasset, NY 11030  
(516) 869-7667  
Fax (516) 869-7812

### **CALENDAR FOR NOVEMBER 20, 2024**

#### **RESIDENTIAL CALENDAR**

**APPEAL #21628 – Jeong Bae; 33 Short Dr., Manhasset; Section 3, Block 63, Lot 231; Zoned: Residence-A**

Variance § 70-30.C to legalize a one-story portico too close to the street.

**APPEAL #21629 – Kara Becker; 85 Ivy Way, Port Washington; Section 5, Block 72, Lot 244; Zoned: Residence-A**

Variance § 70-202.1.C to construct retaining walls that are too tall.

**APPEAL #21613 – Elham Gilardi; 42 Snapdragon Ln., Roslyn Heights; Section 7, Block 226, Lot 9; Zoned: Residence-AA**

Variances § 70-21.A, 70-22.3.A, 70-22.3.B, 70-22.7, 70-102.C(1) & 70-102.C(2) to construct a new home that would be too close to the side property line and with total side yards that are too small, violates the sky exposure plane (both sides), is taller than the horizontal distance between the side property line and the home, with an eave height that is too high; and to legalize pool equipment located in a side yard and too close to a side property line; and to legalize pool barrier fencing extending beyond the rear building line.

**APPEAL #21630 - Nasir Iqbal; 191 Executive Drive, Manhasset Hills; Section 8, Block 280, Lot 18; Zoned: Residence-A**

Variance from 70-30.B to construct a new dwelling that is too close to the street.

**APPEAL #21631 - Leroy Barroca; 71 Percheron Lane, Roslyn Heights; Section 9, Block 538, Lot 15; Zoned: Residence-AA**

Variances from §§70-22.3(A), 70-22.6 and 70-101.A to legalize a new dwelling that is within the sky plane, having too much front yard paving and a chimney that is too close to the side property line.

**APPEAL #21632 - Cecil C. Southern III; 135 Atlantic Avenue, Garden City Park; Section 33, Block 143, Lot 526; Zoned: Residence-C**

Variance from §70-51.A to construct additions that are too close to the side property line.

COMMERCIAL CALENDAR

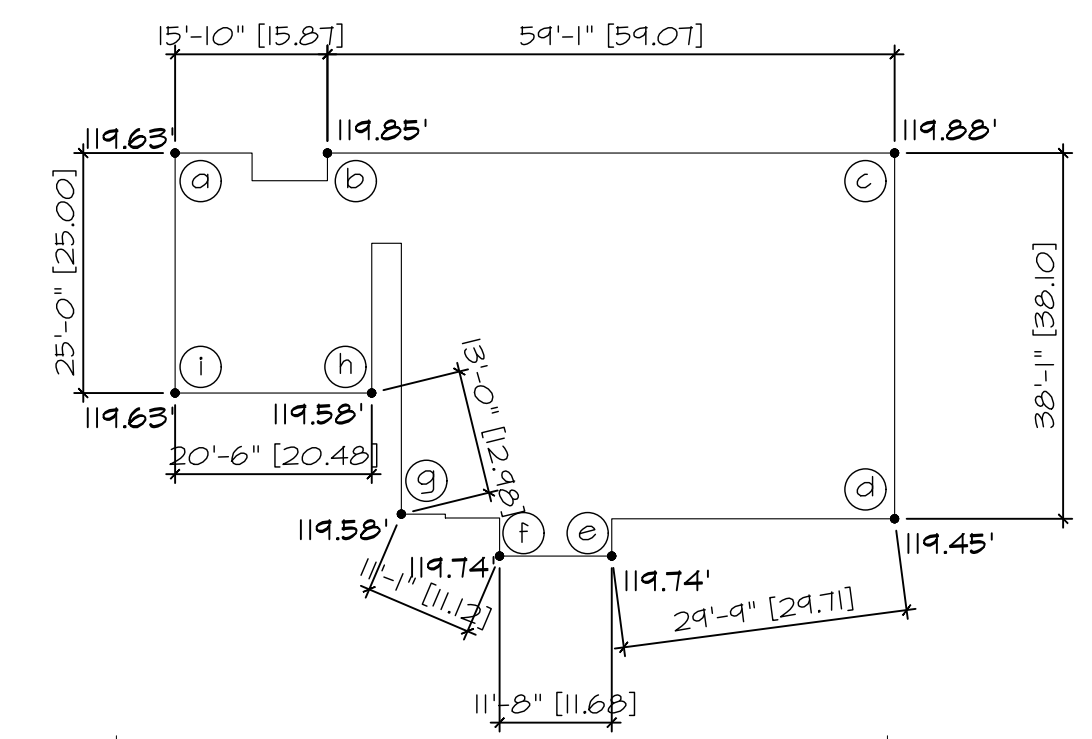
**APPEAL #21616 - 114 Main Street Owner, LLC (The Beacon); 114 Main Street, Port Washington; Section 5, Block 80, Lot 29; Zoned: Business B/Residence-C**

Appeal for determination for consideration under §70-225.E to extend the business use of the property into the residential zone, or in the alternative, variance from §70-44, and conditional use §70-126.A and variance from §70-103.A(1) to construct interior alterations to convert a former movie theater to a dinner theater space (a conditional use in the Business-B District, and a use that is not permitted in the Residence-C District), with not enough parking on site.





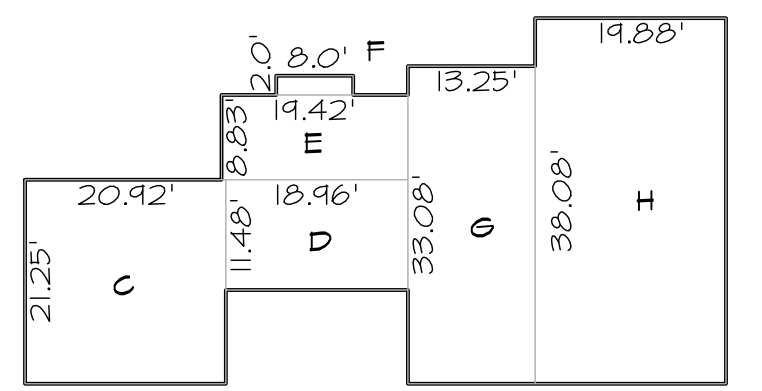




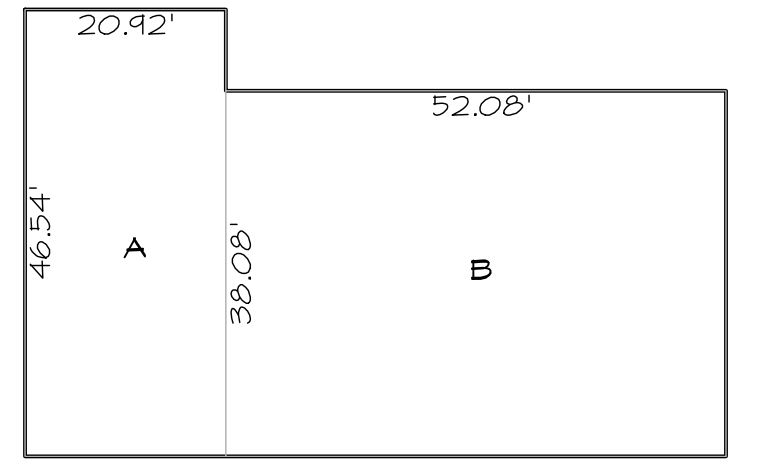
a:b	$119.63 + 119.85 = 239.48 / 2 = 119.74$	x	15.87	1900.2738	
b:c	$119.85 + 119.88 = 239.73 / 2 = 119.865$	x	59.07	7080.42555	
c:d	$119.88 + 119.45 = 239.33 / 2 = 119.665$	x	38.10	4559.2365	
d:e	$119.45 + 119.74 = 239.19 / 2 = 119.595$	x	29.11	3553.16145	
e:f	$119.74 + 119.74 = 239.48 / 2 = 119.74$	x	11.68	1398.5632	
f:g	$119.74 + 119.58 = 239.32 / 2 = 119.66$	x	11.12	1340.192	
g:h	$119.58 + 119.58 = 239.16 / 2 = 119.58$	x	12.98	1552.1484	
h:i	$119.58 + 119.63 = 239.21 / 2 = 119.605$	x	20.48	2449.5104	
i:a	$119.63 + 119.63 = 239.26 / 2 = 119.63$	x	25.0	2990.15	
SUBTOTALS:				224.01	26824.2673

$26824.2673 / 224.01 = 119.75 =$  EXISTING AVERAGE GRADE @ EXISTING HOUSE

1 EXISTING AVERAGE GRADE CALCULATION



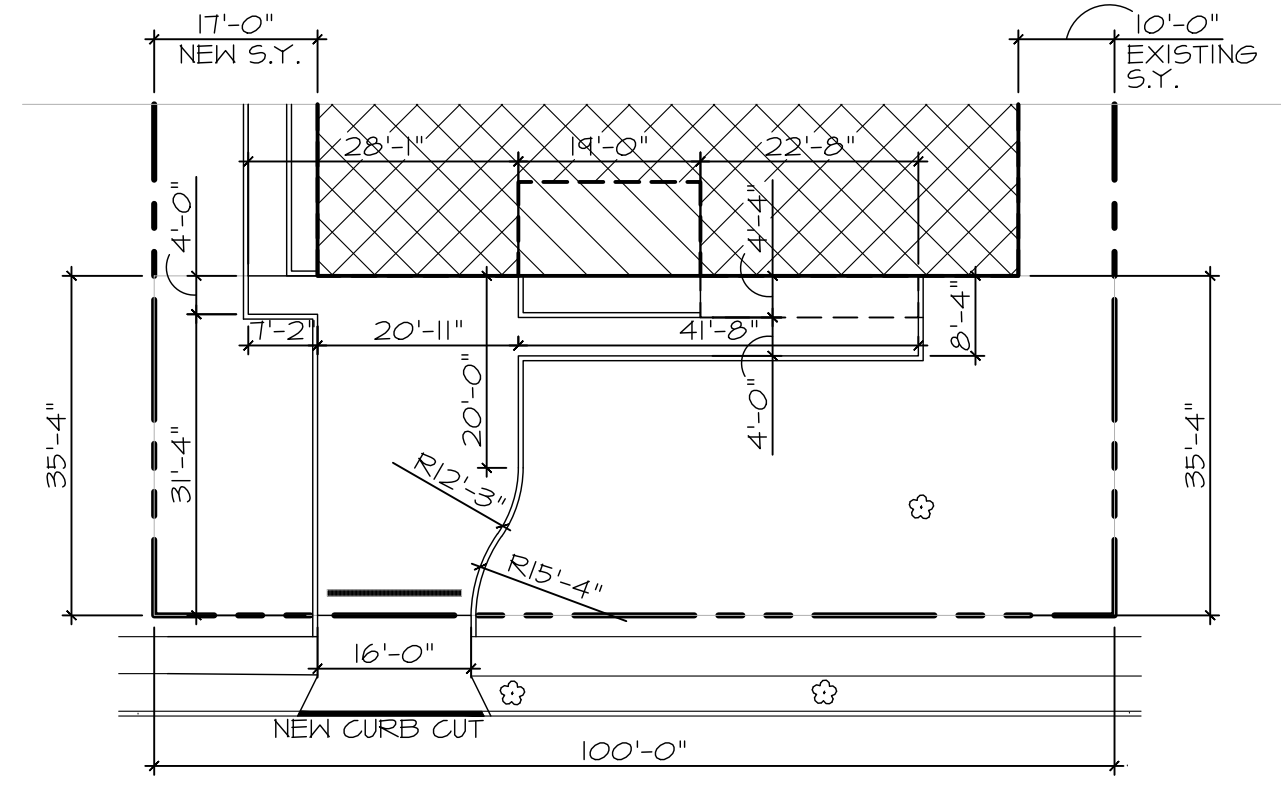
SECOND FLOOR PLAN



FIRST FLOOR PLAN

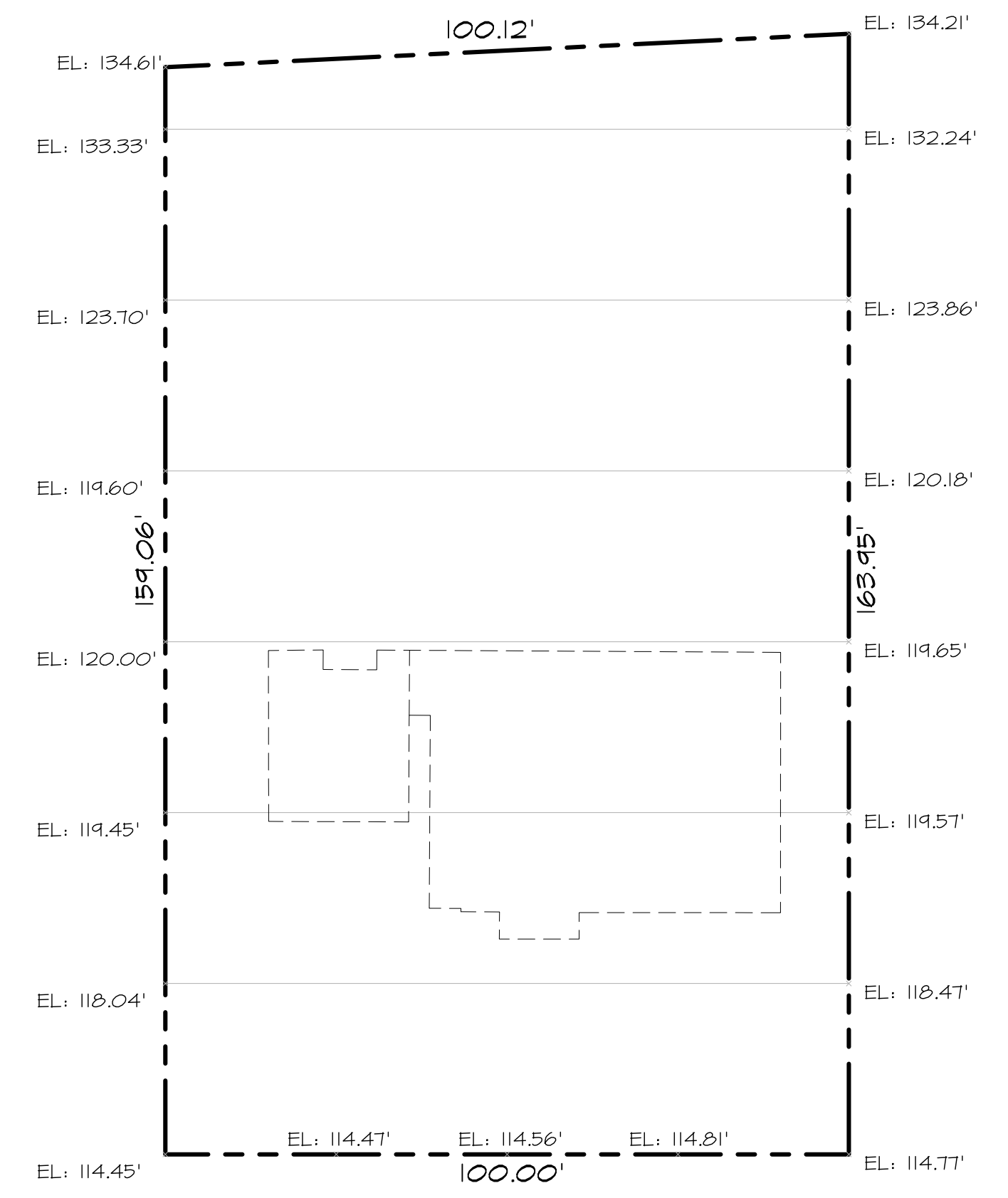
A	20.92' x 46.54' =	973.62
B	52.08' x 38.08' =	1983.20
C	20.92' x 21.25' =	444.55
D	18.46' x 11.48' =	211.66
E	19.42' x 8.83' =	171.48
F	8.0' x 2.0' =	16.00
G	13.25' x 33.08' =	438.31
H	19.88' x 38.08' =	757.03
TOTAL GROSS FLOOR AREA =		5001.84

2 GROSS FLOOR AREA CALCULATION



	ACTUAL	REQUIRED
FRONT YARD LOT AREA	3,536.64 S.F.	N.A.
FRONT YARD PAVING	28.13% / 994.77 S.F.	30% MAX. / 1,060.99 S.F.

3 FRONT YARD PAVING DIAGRAM



	GRADE @ 25' ALONG LOT LINE	AVG. GRADE
FRONT YARD LOT LINE	$(114.45 + 114.47 + 114.56 + 114.81 + 114.77) / 5 =$	114.61' @ FRONT LOT LINE
(EAST) SIDE YARD LOT LINE	$(118.04 + 119.45 + 120.00) / 3 =$	119.16' @ EAST LOT LINE
(WEST) SIDE YARD LOT LINE	$(118.47 + 119.57 + 119.65) / 3 =$	119.23' @ WEST LOT LINE

4 AVG. GRADE ALONG FRONT & SIDE LOT LINES DIAGRAM

SITE LOCATION :  
**SHAMASH RESIDENCE**  
 42 SNAPDRAGON LANE  
 ROSLYN HEIGHTS, NY



DRAWING TITLE :  
**SITE PLAN DIAGRAMS**  
**NOTES, AND LEGENDS**

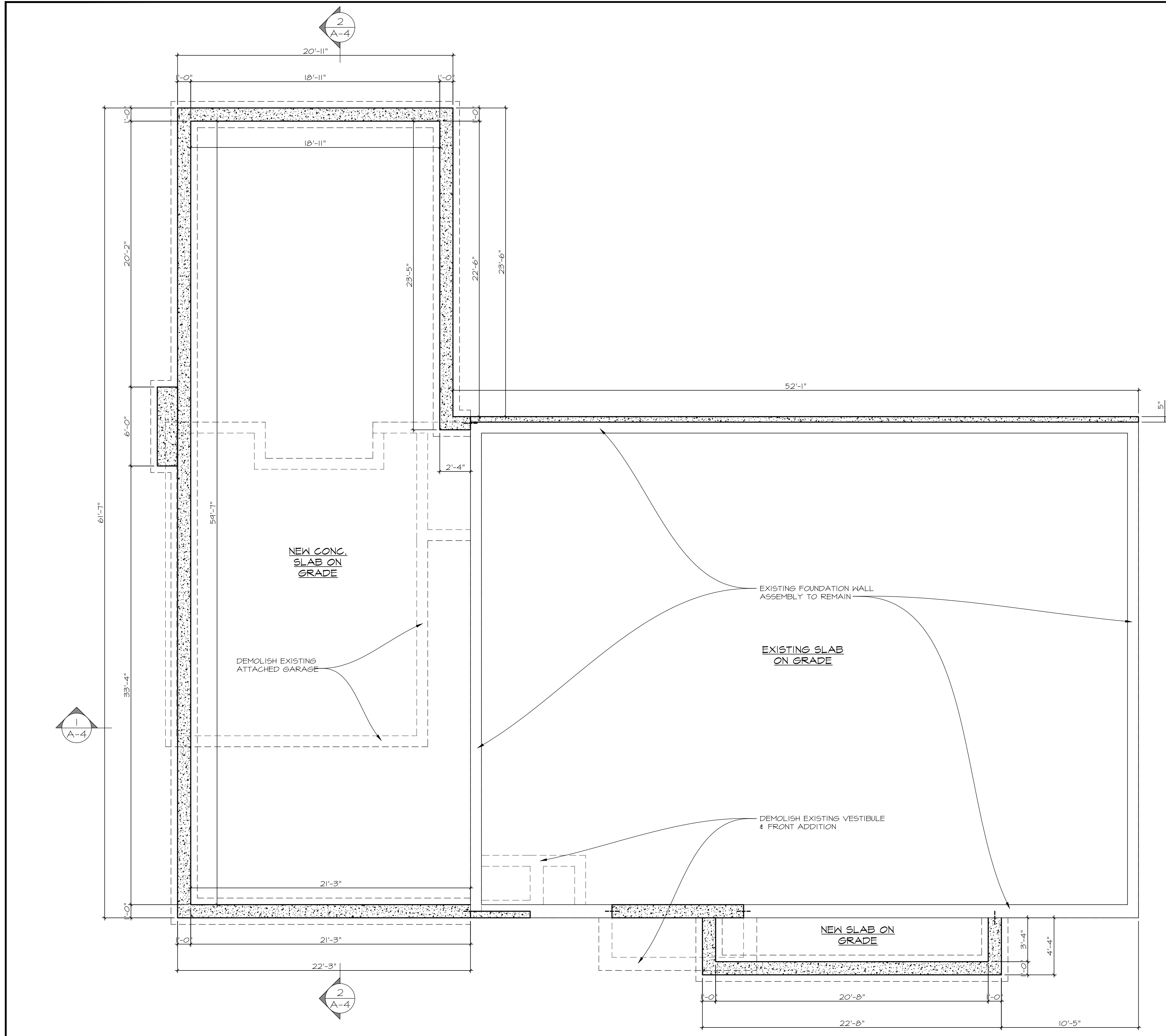
**Emilio SUSA Architect**  
 25 South Service Road, Suite 200  
 Jericho, N.Y. 11753  
 PHONE: 516.354.5609  
 FAX: 516.776.9591  
 E-MAIL: esusa@esarchitectpc.com  
 website: esarchitectpc.com

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REVISIONS :	PROJECT NO. :
▲ SUBMITTED TO BLDG. DEPT. FOR DENIAL (2-6-24)	DRAWN BY : JB
▲ RESUBMITTED TO BLDG. DEPT. (3-28-24)	SCALE : AS NOTED
▲ RESUBMITTED TO BLDG. DEPT. (7-22-24)	DATE :

PROJECT NO. :  
 DRAWN BY :  
 SCALE : AS NOTED  
 DATE :

SHEET NO. :  
**SP-1**



WALL LEGEND	
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	2x4 WOOD STUDS @ 16" o.c. (COORDINATE FINISHES W/ SECTIONS)
[Symbol]	2x6 WOOD STUDS @ 16" o.c. (TYPICAL OF PLUMBING WALLS)
[Symbol]	10" THICK POURED CONCRETE FOUNDATION WALL w/ #5 REINFORCING BARS @ 30" o.c. VERTICALLY w/ (1) #5 REINFORCING BARS @ TOP OF WALL, ON 22" WIDE x 10" DEEP CONTINUOUS POURED CONCRETE FOOTING WITH CONTINUOUS 2"x4" KEYWAY AND (3) CONTINUOUS #5 REINFORCING BARS IN FOOTING (3" COVER MIN)

**NOTE:**  
DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS

**NOTE:**  
PROVIDE SOLID WOOD BLOCKING DOWN TO THE FOUNDATION WALL FOR ALL BEAM AND HEADER POSTS

**NOTE:**  
PROVIDE ARC FAULT CIRCUIT INTERRUPTER OUTLETS IN ALL BEDROOMS

ELECTRICAL LEGEND	
[Symbol]	100 CFM EXHAUST FAN, VENT TO EXTERIOR
[Symbol]	SMOKE/CARBON MONOXIDE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL)
[Symbol]	SMOKE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL)
R314.4 RCAYS -- WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED, THE UNITS SHALL BE INTERCONNECTED. EXCEPTION: WHERE WORK IS BEING PERFORMED IN AN EXISTING SPACE WHERE ACCESS FOR WIRING IS NOT PRACTICAL, BATTERY OPERATED UNITS MAY BE INSTALLED WITHOUT WIRING.	

**NOTE:**  
CONTRACTOR TO INSURE ALL HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND NOT GREATER THAN 6-1/4 INCHES (160 MM) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2-1/4 INCHES (57 MM). HANDRAILS WITH A PERIMETER GREATER THAN 6-1/4 INCHES (160 MM) SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8 MM) WITHIN 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH (9 MM) TO A LEVEL THAT IS NOT LESS THAN 13/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1-1/4 INCHES (32 MM) TO A MAXIMUM OF 23/4 INCHES (70 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES (0.25 MM).

- ### GENERAL DEMOLITION NOTES
- G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCY WHICH IS FOUND BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
  - G.C. TO BE FAMILIAR WITH COMPLETE PROJECT AND SET OF DRAWINGS AND THEIR INTENT BEFORE PROCEEDING WITH THE WORK.
  - WHERE ELECTRICAL OR PLUMBING LINES ARE TO BE ABANDONED, REMOVE ALL SUCH WORK, CAP OFF LINES LEGALLY AT FINAL INACCESSIBLE PENETRATIONS. ALL NEW PLUMBING AND ELECTRICAL WORK TO BE RECESSED BEHIND FINISHED SURFACES.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE ALL SHORING AND BRACING REQUIRED DURING THE REMOVAL OF EXISTING STRUCTURAL MEMBERS AND INSTALLATION OF NEW STRUCTURAL FRAMING.

**DEMOLITION PERFORMANCE DISCLAIMER:**  
THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL REMOVE AND/OR PERFORM THE ITEMS NOTED AS SUCH ON THIS SHEET IN A PROFESSIONAL MANNER IN ACCORDANCE WITH "GOOD GENERAL PRACTICES". IN THE EVENT ANY STRUCTURAL DAMAGES OCCUR WHILE INSTITUTING DEMOLITION PROCEDURES, THE CONTRACTOR IS TO TEMPORARILY STABILIZE THE STRUCTURE TO A "SAFE" CONDITION AND NOTIFY THE ARCHITECT AND/OR ENGINEER IMMEDIATELY FOR RECTIFICATION.

**NOTCHING:**  
(AS PER THE RESIDENTIAL CODE OF N.Y.S.)  
STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R502.8 OF THE RESIDENTIAL CODE OF N.Y.S.  
ANY STRUCTURAL WALL OR STUD MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R602.6 OF THE RESIDENTIAL CODE OF NEW YORK STATE.

**§RR303**  
LIGHT, VENTILATION AND HEATING  
§RR303.1 HABITABLE ROOMS. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.  
EXCEPTIONS:  
1. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY §RR310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM) (1.08 L/S) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM. THIS EXCEPTION SHALL NOT BE ALLOWED IN OWNER-OCCUPIED, ONE-FAMILY DWELLINGS NOT SUPPLIED WITH ELECTRICAL POWER IN ACCORDANCE WITH §RE3301.5 [SIC].  
2. THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (6.46 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762 MM) ABOVE THE FLOOR LEVEL. THIS EXCEPTION SHALL NOT BE ALLOWED IN OWNER-OCCUPIED, ONE-FAMILY DWELLINGS NOT SUPPLIED WITH ELECTRICAL POWER IN ACCORDANCE WITH §RE3301.5 [SIC].

**NOTE:**  
ALL STRUCTURAL CALCULATIONS ARE BASED ON THE USE OF DOUGLAS FIR LARCH WOOD GRADE #2. ANY DECREASE IN THE GRADE OF THIS MATERIAL SHOULD BE REPORTED TO THE ARCHITECT FIRST BEFORE ORDERING AND INSTALLING.

**NOTE:**  
ALL FLOOR JOIST CONNECTIONS TO HAVE GALV. METAL 'TECO' TYPE JOIST HANGERS, TYPICAL AT EACH JOIST.

**FIRESTOPPING:**  
(AS PER THE RESIDENTIAL CODE OF N.Y.S.)  
**GENERAL REQUIREMENTS-**  
CONCEALED SPACES WITHIN WALL, PARTITION, FLOOR, STAIR, ATTIC, OR CORNICE CONSTRUCTION, AND AROUND CHIMNEY, PIPE AND DUCT OPENINGS IN SUCH CONSTRUCTION, SHALL BE FIRE-STOPPED TO PREVENT THE PASSAGE OF FLAME, SMOKE, FUMES, AND HOT GASES.  
**LOCATION:-**  
CONCEALED VERTICAL SPACES IN WALLS AND PARTITIONS SHALL BE FIRE-STOPPED AT EACH FLOOR LEVEL AND AT THE CEILING OF THE UPPERMOST STORY, SO THAT SUCH SPACES WILL NOT BE CONTINUOUS FOR MORE THAN ONE STORY OR COMMUNICATE W/ CONCEALED HORIZONTAL SPACES IN THE FLOOR OR ROOF CONSTRUCTION.  
WHEN COMBUSTIBLE MATERIALS FORM A PART OF THE CONCEALED SPACE BETWEEN SURFACE FINISH AND THE BASE TO WHICH THEY ARE APPLIED, THE CONCEALED SPACE SHALL BE FILLED W/ NONCOMBUSTIBLE MATERIAL, OR BE FIRESTOPPED SO THAT NO DIMENSION OF SUCH CONCEALED SPACE EXCEEDS 8 FT VERTICALLY OR 20 FEET HORIZONTALLY.

**CELLAR PLAN**

SCALE: 1/4" = 1'-0"

SITE LOCATION :  
**SHAMASH RESIDENCE**  
42 SNAPDRAGON LANE  
ROSLYN HEIGHTS, NY



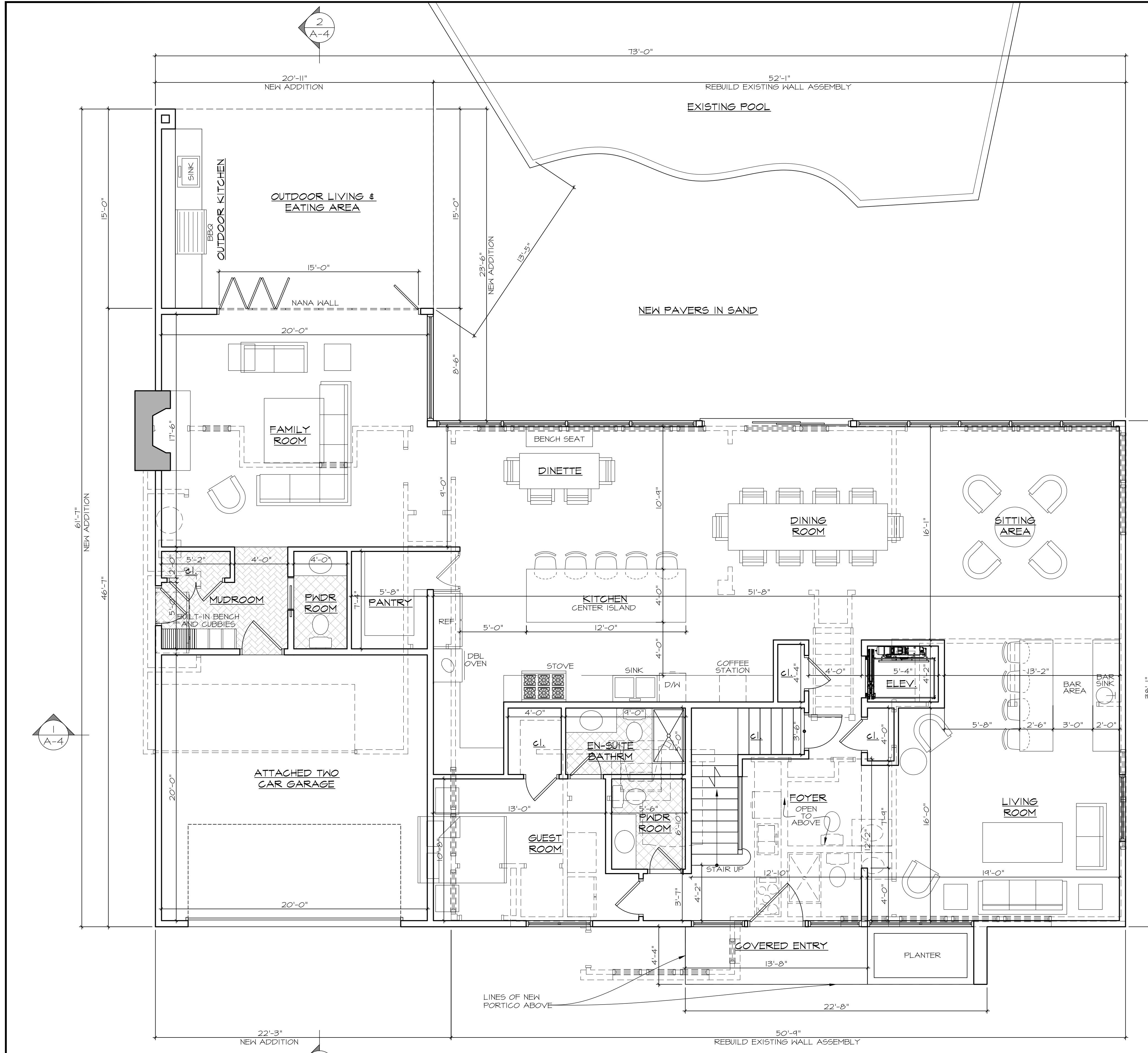
DRAWING TITLE :  
**FOUNDATION PLAN, NOTES, AND LEGENDS**

**Emilio Susa Architect**  
25 South Service Road, Suite 200  
Jericho, N.Y. 11753  
PHONE: 516.354.5609  
FAX: 516.776.9591  
E-MAIL: esusa@esarchitectpc.com  
website: esarchitectpc.com

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ELECTRICAL LEGEND	
	100 CFM EXHAUST FAN, VENT TO EXTERIOR
	SMOKE/CARBON MONOXIDE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL)
	SMOKE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL)

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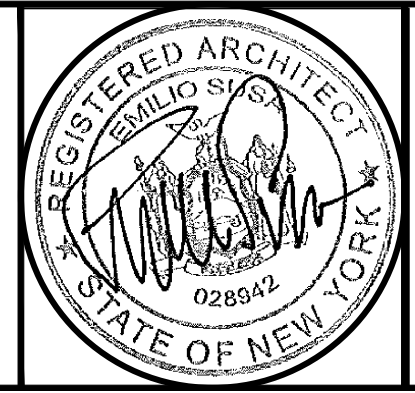
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(AS PER THE RESIDENTIAL CODE OF N.Y.S.)  
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WHEN COMBUSTIBLE MATERIALS FORM A PART OF THE CONCEALED SPACE BETWEEN SURFACE FINISH AND THE BASE TO WHICH THEY ARE APPLIED, THE CONCEALED SPACE SHALL BE FILLED W/ NONCOMBUSTIBLE MATERIAL, OR BE FIRESTOPPED SO THAT NO DIMENSION OF SUCH CONCEALED SPACE EXCEEDS 8 FT VERTICALLY OR 20 FEET HORIZONTALLY.

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SITE LOCATION :**  
**SHAMASH RESIDENCE**  
42 SNAPDRAGON LANE  
ROSLYN HEIGHTS, NY



**DRAWING TITLE :**  
**FIRST FLOOR PLAN, PLUMBING RISER DETAILS, NOTES, AND LEGEND**

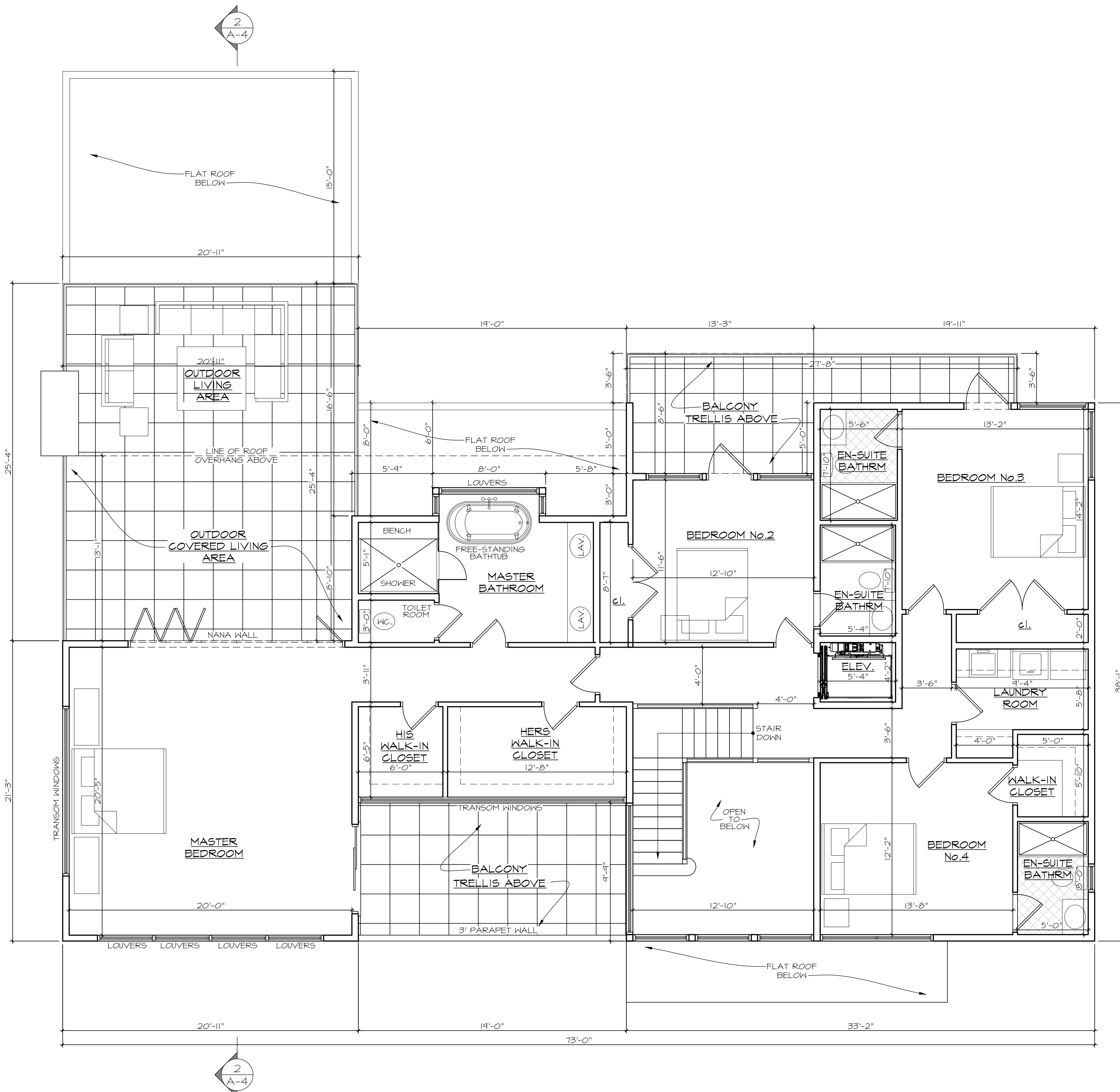
**Emilio SUSA Architect**  
25 South Service Road, Suite 200  
Jericho, N.Y. 11753  
PHONE: 516.354.5609  
FAX: 516.776.9591  
E-MAIL: esusa@esarchitectpc.com  
website: esarchitectpc.com

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▲ SUBMITTED TO BLDG. DEPT. FOR DENIAL (2-6-24)	
▲ RESUBMITTED TO BLDG. DEPT. (3-28-24)	DRAWN BY : JB
▲ RESUBMITTED TO BLDG. DEPT. (7-22-24)	SCALE : AS NOTED
	DATE :

**SHEET NO. :**  
**A-2**





WALL LEGEND	
	EXISTING WALL TO REMAIN
	2x4 WOOD STUDS @ 16" o.c. (COORDINATE FINISHES W/ SECTIONS)
	2x6 WOOD STUDS @ 16" o.c. (TYPICAL OF PLUMBING WALLS)
	10" THICK POURED CONCRETE FOUNDATION WALL w/ #5 REINFORCING BARS @ 30" o.c. VERTICALLY w/ (1) #5 REINFORCING BARS @ TOP OF WALL, ON 22" WIDE x 10" DEEP CONTINUOUS POURED CONCRETE FOOTING WITH CONTINUOUS 2"x4" KEYWAY AND (3) CONTINUOUS #5 REINFORCING BARS IN FOOTING (3" COVER MIN)

**NOTE:**  
DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS

**NOTE:**  
PROVIDE SOLID WOOD BLOCKING DOWN TO THE FOUNDATION WALL FOR ALL BEAM AND HEADER POSTS

**NOTE:**  
PROVIDE ARC FAULT CIRCUIT INTERRUPTER OUTLETS IN ALL BEDROOMS

ELECTRICAL LEGEND	
	100 CFM EXHAUST FAN, VENT TO EXTERIOR
	SMOKE/CARBON MONOXIDE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL)
	SMOKE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL)

**NOTE:**  
R314.4 RCAYS -- WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED, THE UNITS SHALL BE INTERCONNECTED. EXCEPTION: WHERE WORK IS BEING PERFORMED IN AN EXISTING SPACE WHERE ACCESS FOR WIRING IS NOT PRACTICAL, BATTERY OPERATED UNITS MAY BE INSTALLED WITHOUT WIRING.

**NOTE:**  
CONTRACTOR TO INSURE ALL HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND NOT GREATER THAN 6-1/4 INCHES (160 MM) WITH A MAXIMUM CROSS SECTION DIMENSION OF 2-1/4 INCHES (57 MM). HANDRAILS WITH A PERIMETER GREATER THAN 6-1/4 INCHES (160 MM) SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8 MM) WITHIN 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH (10 MM) TO A LEVEL THAT IS NOT LESS THAN 13/4 INCHES (45 MM) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1-1/4 INCHES (32 MM) TO A MAXIMUM OF 23/4 INCHES (70 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES (0.25 MM).

**GENERAL DEMOLITION NOTES**

- G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCY WHICH IS FOUND BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
- G.C. TO BE FAMILIAR WITH COMPLETE PROJECT AND SET OF DRAWINGS AND THEIR INTENT BEFORE PROCEEDING WITH THE WORK.
- WHERE ELECTRICAL OR PLUMBING LINES ARE TO BE ABANDONED, REMOVE ALL SUCH WORK, CAP OFF LINES LEGALLY AT FINAL INACCESSIBLE PENETRATIONS. ALL NEW PLUMBING AND ELECTRICAL WORK TO BE RECESSED BEHIND FINISHED SURFACES.
- THE CONTRACTOR IS REQUIRED TO PROVIDE ALL SHORING AND BRACING REQUIRED DURING THE REMOVAL OF EXISTING STRUCTURAL MEMBERS AND INSTALLATION OF NEW STRUCTURAL FRAMING.

**DEMOLITION PERFORMANCE DISCLAIMER:**  
THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL REMOVE AND/OR PERFORM THE ITEMS NOTED AS SUCH ON THIS SHEET IN A PROFESSIONAL MANNER IN ACCORDANCE WITH "GOOD GENERAL PRACTICES". IN THE EVENT ANY STRUCTURAL DAMAGES OCCUR WHILE INSTITUTING DEMOLITION PROCEDURES, THE CONTRACTOR IS TO TEMPORARILY STABILIZE THE STRUCTURE TO A "SAFE" CONDITION AND NOTIFY THE ARCHITECT AND/OR ENGINEER IMMEDIATELY FOR RECTIFICATION.

**NOTCHING:**  
(AS PER THE RESIDENTIAL CODE OF N.Y.S.)  
STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R502.8 OF THE RESIDENTIAL CODE OF N.Y.S.  
ANY STRUCTURAL WALL OR STUD MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R602.6 OF THE RESIDENTIAL CODE OF NEW YORK STATE.

**§RR303**  
LIGHT, VENTILATION AND HEATING  
§RR303.1 HABITABLE ROOMS. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.  
EXCEPTIONS:  
1. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY §RR310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE (CFM) (1.08 L/S) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM. THIS EXCEPTION SHALL NOT BE ALLOWED IN OWNER-OCCUPIED, ONE-FAMILY DWELLINGS NOT SUPPLIED WITH ELECTRICAL POWER IN ACCORDANCE WITH §RE3301.5 [SIC].  
2. THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE EXCEPTION 1 ABOVE IS SATISFIED AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES (6.46 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762 MM) ABOVE THE FLOOR LEVEL. THIS EXCEPTION SHALL NOT BE ALLOWED IN OWNER-OCCUPIED, ONE-FAMILY DWELLINGS NOT SUPPLIED WITH ELECTRICAL POWER IN ACCORDANCE WITH §RE3301.5 [SIC].

**NOTE:**  
ALL STRUCTURAL CALCULATIONS ARE BASED ON THE USE OF DOUGLAS FIR LARCH WOOD GRADE #2. ANY DECREASE IN THE GRADE OF THIS MATERIAL SHOULD BE REPORTED TO THE ARCHITECT FIRST BEFORE ORDERING AND INSTALLING.

**NOTE:**  
ALL FLOOR JOIST CONNECTIONS TO HAVE GALV. METAL 'TECO' TYPE JOIST HANGERS, TYPICAL AT EACH JOIST.

**FIRESTOPPING:**  
(AS PER THE RESIDENTIAL CODE OF N.Y.S.)  
**GENERAL REQUIREMENTS-**  
CONCEALED SPACES WITHIN WALL, PARTITION, FLOOR, STAIR, ATTIC, OR CORNICE CONSTRUCTION, AND AROUND CHIMNEY, PIPE AND DUCT OPENINGS IN SUCH CONSTRUCTION, SHALL BE FIRE-STOPPED TO PREVENT THE PASSAGE OF FLAME, SMOKE, FUMES, AND HOT GASES.  
**LOCATION:-**  
CONCEALED VERTICAL SPACES IN WALLS AND PARTITIONS SHALL BE FIRE-STOPPED AT EACH FLOOR LEVEL AND AT THE CEILING OF THE UPPERMOST STORY, SO THAT SUCH SPACES WILL NOT BE CONTINUOUS FOR MORE THAN ONE STORY OR COMMUNICATE W/ CONCEALED HORIZONTAL SPACES IN THE FLOOR OR ROOF CONSTRUCTION.  
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**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SITE LOCATION :**  
**SHAMASH RESIDENCE**  
42 SNAPDRAGON LANE  
ROSLYN HEIGHTS, NY



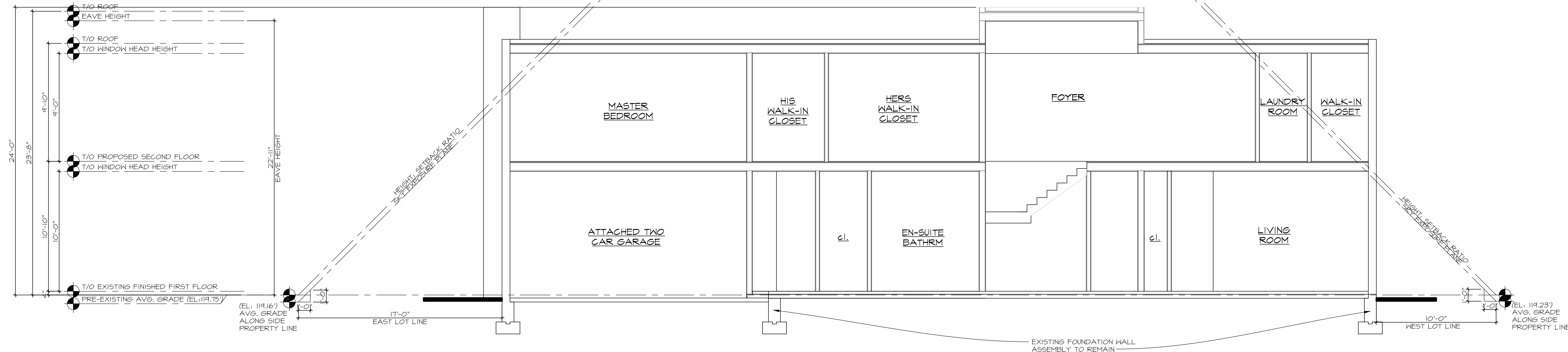
**DRAWING TITLE :**  
**SECOND FLOOR PLAN**

**Emilio S. SUSA Architect**  
25 South Service Road, Suite 200  
Jericho, N.Y. 11753  
PHONE: 516.354.5609  
FAX: 516.776.9591  
E-MAIL: esusa@esarchitectpc.com  
website: esarchitectpc.com

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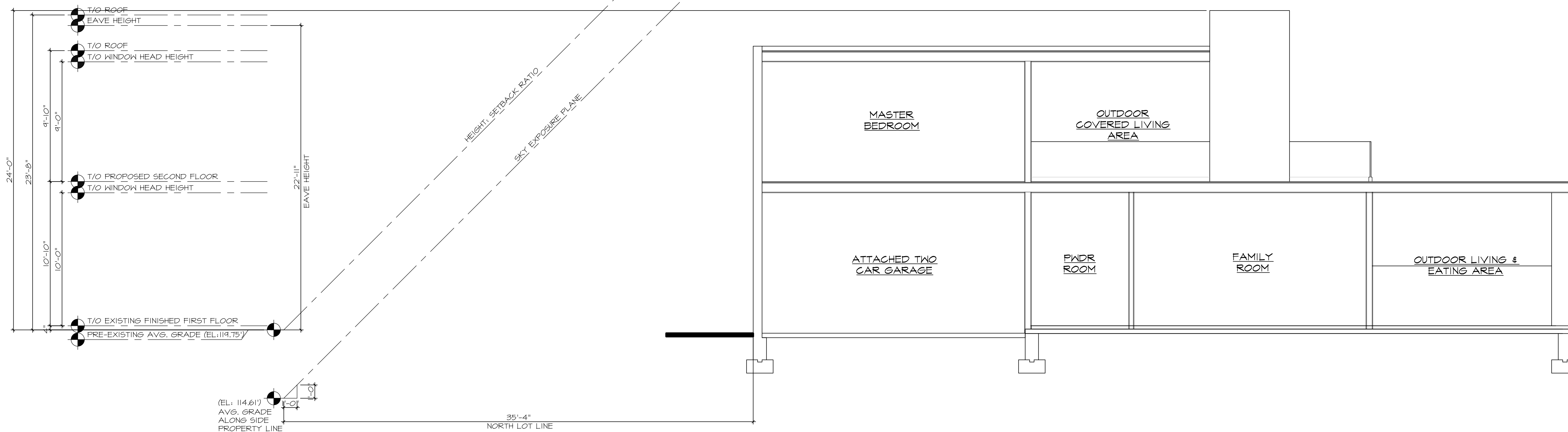
REVISIONS :	PROJECT NO. :
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▲ RESUBMITTED TO BLDG. DEPT. (7-22-24)	SCALE : AS NOTED
	DATE :

**SHEET NO. :**  
**A-3**



1 BUILDING SECTION

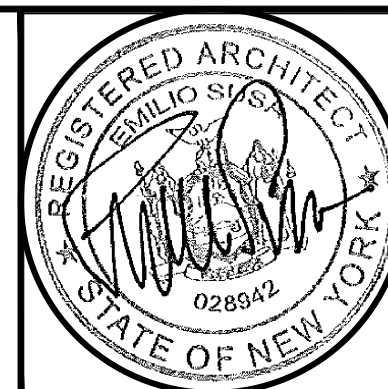
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION

SCALE: 1/4" = 1'-0"

SITE LOCATION :  
**SHAMASH RESIDENCE**  
 42 SNAPDRAGON LANE  
 ROSLYN HEIGHTS, NY



DRAWING TITLE :  
**BUILDING SECTIONS**

**Emilio SUSA Architect**

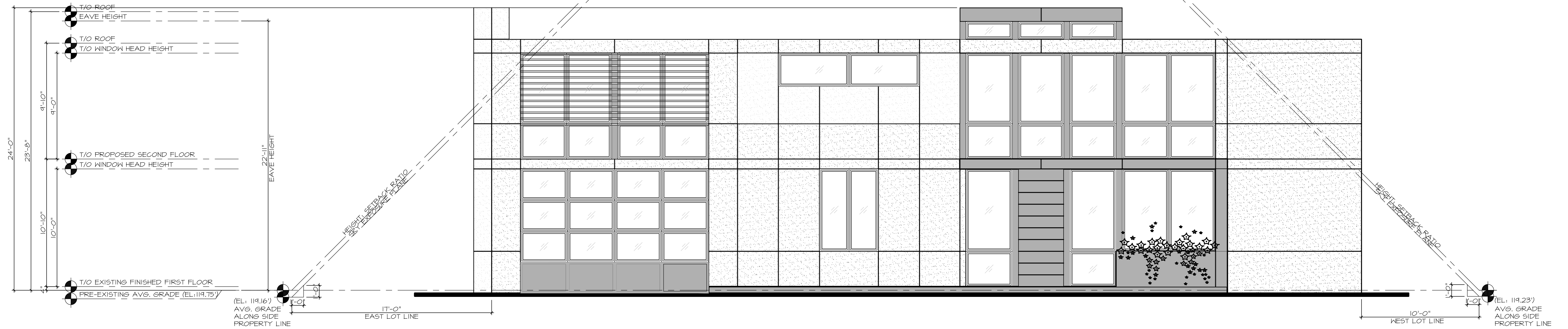
25 South Service Road, Suite 200  
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▲ RESUBMITTED TO BLDG. DEPT. (7-22-24)
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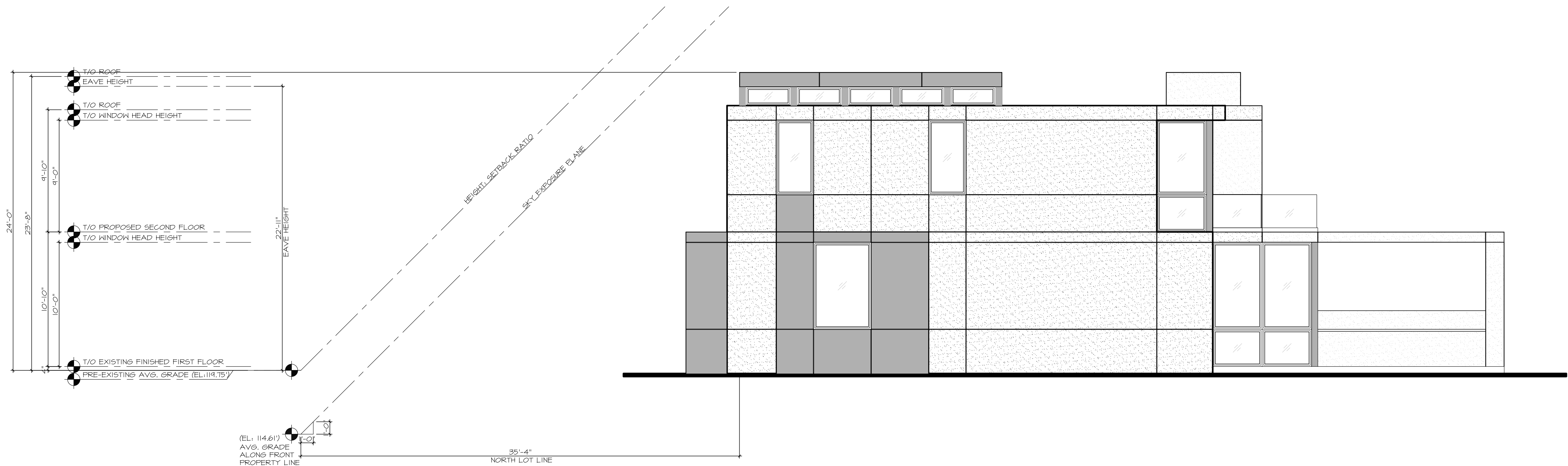
PROJECT NO. :
DRAWN BY : JB
SCALE : AS NOTED
DATE :

SHEET NO. :  
**A-4**



1 FRONT ELEVATION (NORTH)  
A-5

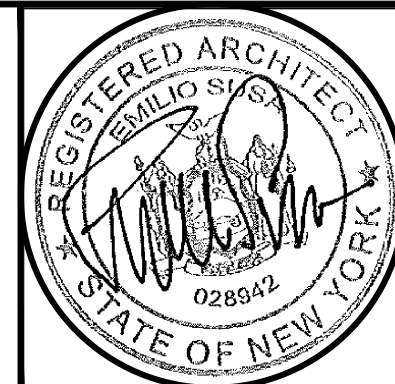
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (WEST)  
A-5

SCALE: 1/4" = 1'-0"

SITE LOCATION :  
**SHAMASH RESIDENCE**  
42 SNAPDRAGON LANE  
ROSLYN HEIGHTS, NY



DRAWING TITLE :  
**EXTERIOR ELEVATIONS**

**Emilio SUSA Architect**

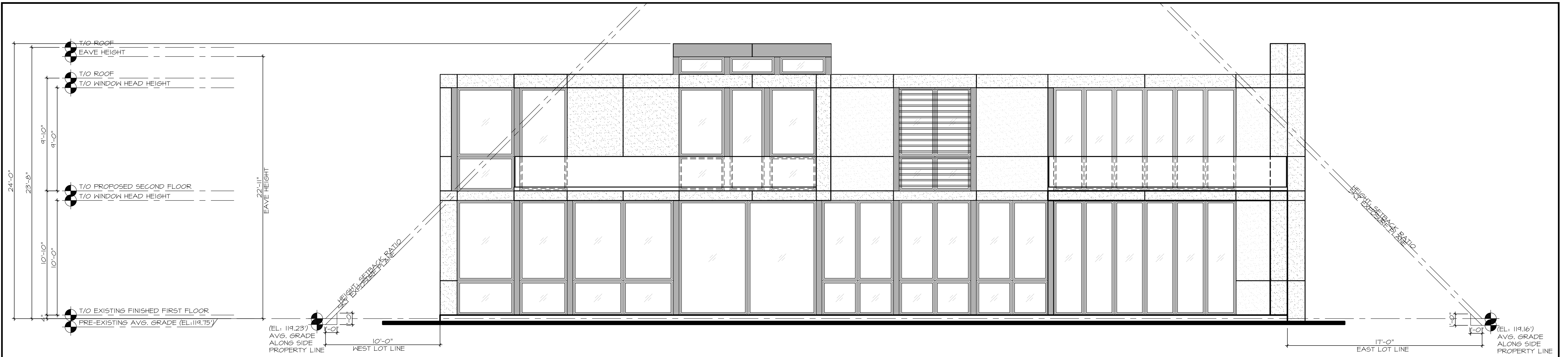
25 South Service Road, Suite 200  
Jericho, N.Y. 11753  
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▲ RESUBMITTED TO BLDG. DEPT. (7-22-24)	DATE :
▲	
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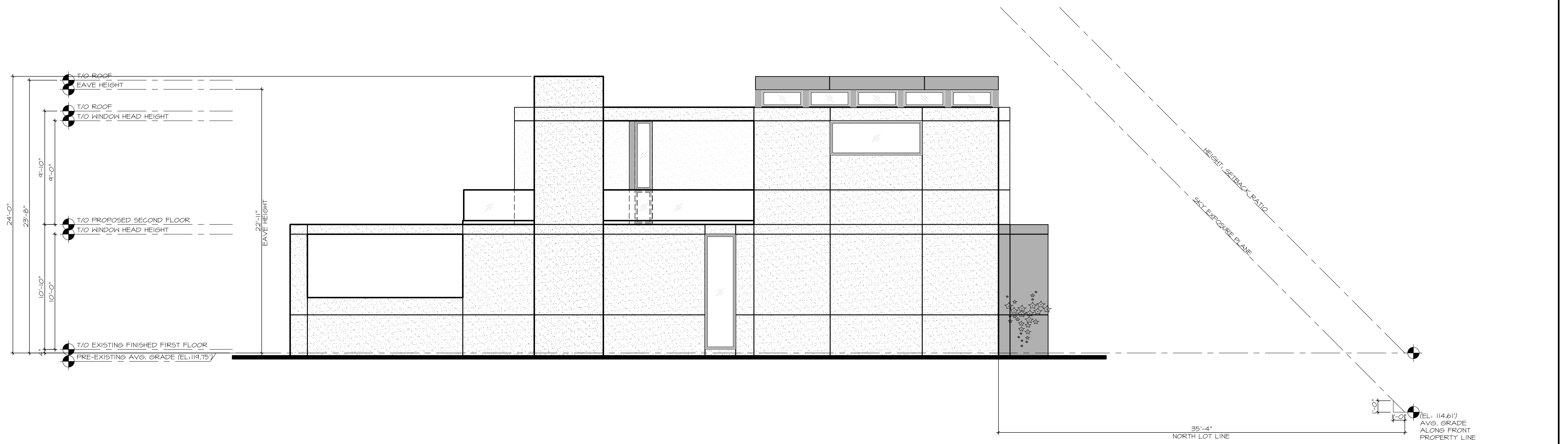
SHEET NO. :

**A-5**



1 REAR ELEVATION (SOUTH)

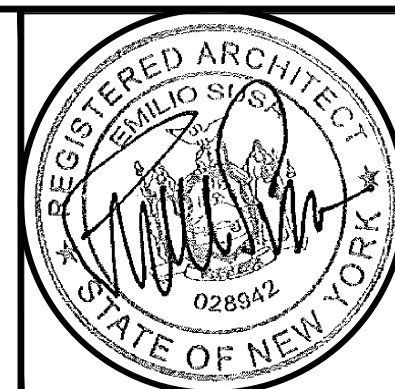
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

SITE LOCATION :  
**SHAMASH RESIDENCE**  
 42 SNAPDRAGON LANE  
 ROSLYN HEIGHTS, NY



DRAWING TITLE :  
**EXTERIOR ELEVATIONS**

**Emilio SUSA Architect**

25 South Service Road, Suite 200  
 Jericho, N.Y. 11753  
 PHONE: 516.354.5609  
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▲ RESUBMITTED TO BLDG. DEPT. (7-22-24)	DATE :
▲	
▲	
▲	

SHEET NO. :

**A-6**

# #21616

## LIST OF DRAWINGS

- ARCHITECTURAL  
 A-1 SITE PLAN & BLDG. CODE ANALYSIS  
 A-2 PROPOSED CELLAR FLOOR PLAN  
 A-3 PROPOSED FIRST FLOOR PLAN  
 A-4 PROPOSED SECOND FLOOR PLAN

## BUILDING CODE ANALYSIS

ADDRESS 114 MAIN STREET PORT WASHINGTON, NY 11050	CONSTRUCTION CLASS TYPE III B	FIRE ALARM TO BE PROVIDED
S: 5 B: 80 L: 24	FIRE PROTECTION TO BE PROVIDED	BLDG. HEIGHT 2 STORY PLUS CELLAR

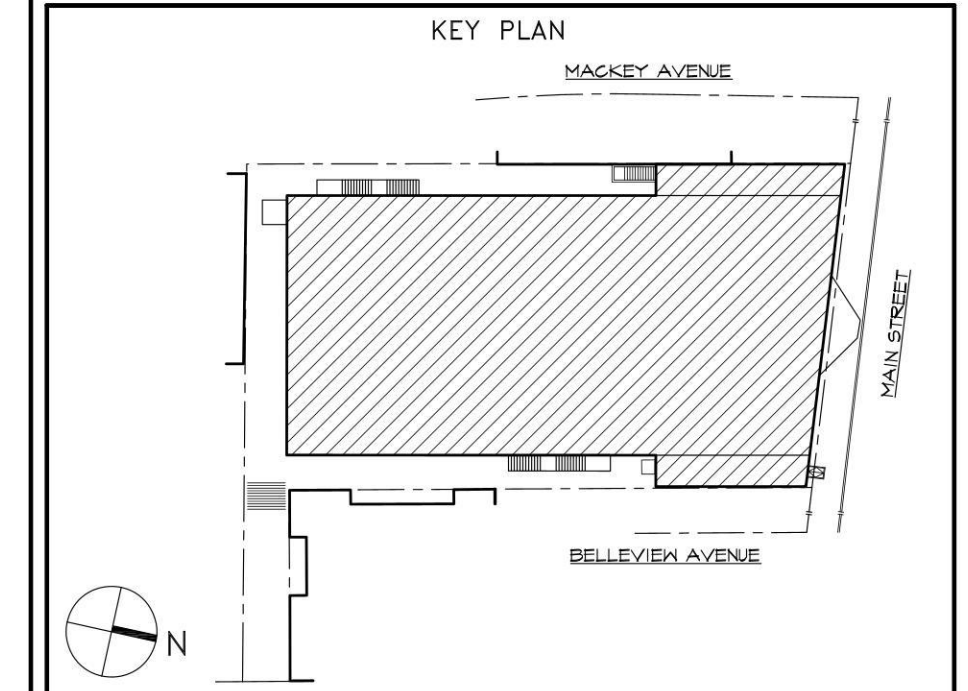
USE GROUP A-2 ASSEMBLY	CLASSIFICATION OF WORK 'ALTERATION LEVEL 3' WITH CHANGE IN USE & CHANGE IN OCCUPANCY
ZONING BUSINESS B (B-B) / RESIDENCE C (R-C)	PREVIOUS USE: MOVIE THEATER 'A-1' ASSEMBLY PROPOSED USE: RESTAURANT 'A-2' ASSEMBLY

## TENANT DATA & PARKING CALCULATIONS

TAG	TENANT	OCCUPANCY	GFA / BAR LINEAR FT.	PARKING REQUIREMENT	PARKING REQUIRED
A	THE BEACON	A-2	2,835 SQ.FT. CELLAR FLR.	1 PER 80 S.F.	35.44
			15,074 SQ.FT. FIRST FLR.	1 PER 80 S.F.	188.44
			10,317 SQ.FT. SECOND FLR.	1 PER 80 S.F.	128.96
			113'-6" TOTAL BAR L.F.	1 PER 3 L.F.	37.83
REQUIRED PARKING	N/A	N/A	N/A	N/A	340.72 341 SPACES
TOTAL PARKING SPACES TO BE PROVIDED	N/A	N/A	N/A	N/A	0 SPACES
DEFICIENT	N/A	N/A	N/A	N/A	341 SPACES

NO.	DATE	REVISION
1	05-09-24	RE-ISSUED PER BLDG. DPT. COMMENTS
15	05-09-24	REVISION #1
14	03-18-24	ISSUED FOR INITIAL BLDG. FILING
13	03-13-24	ISSUED FOR OWNER'S REVIEW
12	03-06-24	ISSUED FOR OWNER'S REVIEW
11	02-26-24	ISSUED FOR OWNER'S REVIEW
10	02-14-24	ISSUED FOR OWNER'S REVIEW
9	01-31-24	ISSUED FOR OWNER'S REVIEW
8	01-04-24	ISSUED FOR OWNER'S REVIEW
7	12-29-23	ISSUED FOR OWNER'S REVIEW
6	12-07-23	ISSUED FOR OWNER'S REVIEW
5	11-29-23	ISSUED FOR OWNER'S REVIEW
4	11-14-23	ISSUED FOR OWNER'S REVIEW
3	10-20-22	ISSUED FOR OWNER'S REVIEW
2	8-24-23	ISSUED FOR OWNER'S REVIEW
1	8-14-23	ISSUED FOR OWNER'S REVIEW
NO.	DATE	ISSUED

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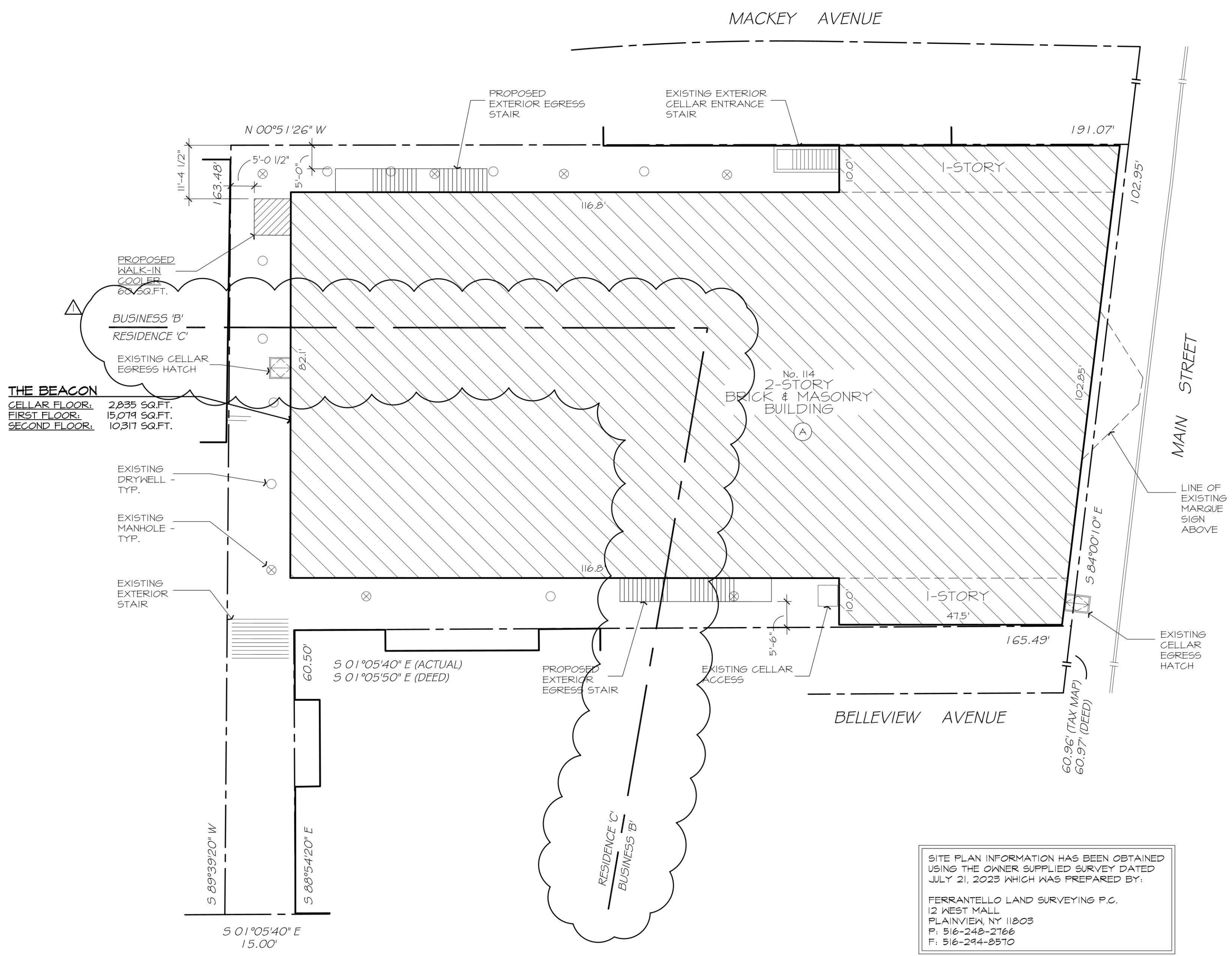
CONSULTANT

ARCHITECT  
**LUIGI GILENO ARCHITECT PC**  
 ARCHITECTURE PLANNING INTERIORS  
 URBAN & REGIONAL DESIGN  
 PROJECT MANAGEMENT  
 485 UNDERHILL BLVD. • SUITE 304 • SYOSSET, NY 11791  
 P: 516 921 4447 • F: 516 921 5557  
 EMAIL: LGARCH@OPTONLINE.NET

PROJECT  
**PROPOSED INTERIOR ALTERATIONS**  
**THE BEACON**  
 114 MAIN ST.  
 PORT WASHINGTON, NY 11050

DRAWING TITLE  
**SITE PLAN & BUILDING CODE ANALYSIS**

DATE: AUG. 14, 2023	DWN. BY: LG
JOB NO.: 23079	SCALE: AS SHOWN
SEAL 	DWG. No. <b>A-1</b>



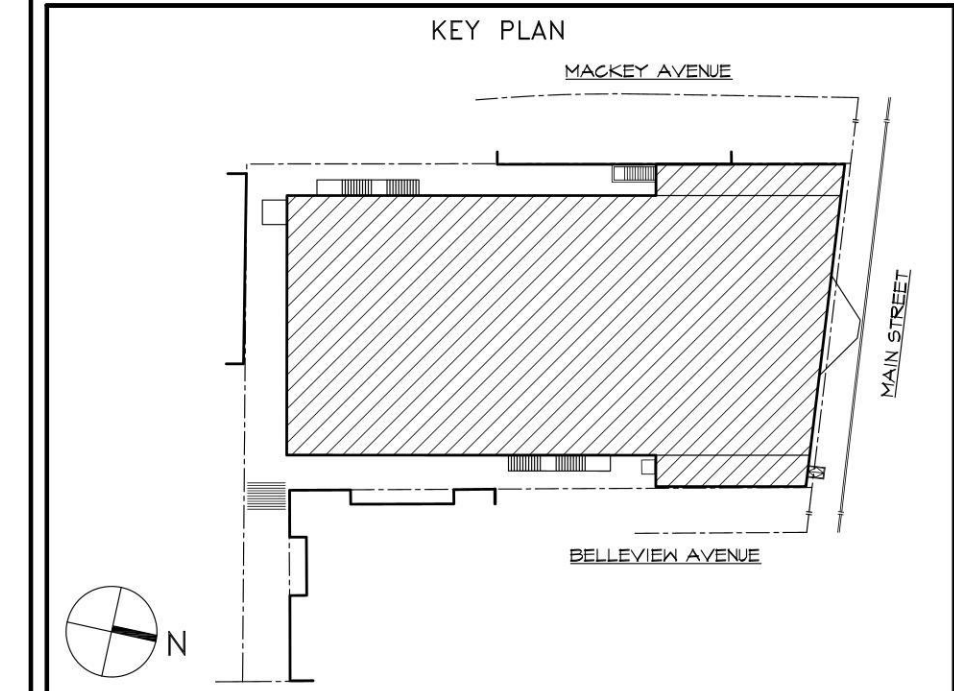
**1 SITE PLAN**  
 A1 SCALE: 1/16" = 1'-0"

**DISAPPROVED**  
 Michael Maracic  
 05/13/2024



NO.	DATE	REVISION
1	05-09-24	RE-ISSUED PER BLDG. DPT. COMMENTS
2	05-09-24	ISSUED FOR OWNER'S REVIEW
3	05-09-24	ISSUED FOR OWNER'S REVIEW
4	05-09-24	ISSUED FOR OWNER'S REVIEW
5	05-09-24	ISSUED FOR OWNER'S REVIEW
6	05-09-24	ISSUED FOR OWNER'S REVIEW
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9	05-09-24	ISSUED FOR OWNER'S REVIEW
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11	05-09-24	ISSUED FOR OWNER'S REVIEW
12	05-09-24	ISSUED FOR OWNER'S REVIEW
13	05-09-24	ISSUED FOR OWNER'S REVIEW
14	05-09-24	ISSUED FOR INITIAL BLDG. FILING
15	05-09-24	REVISION #1

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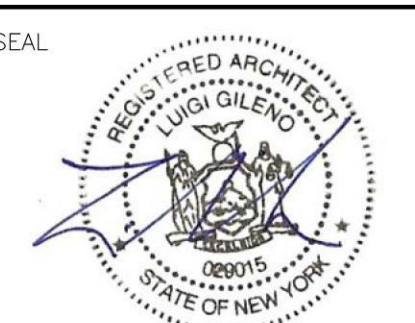


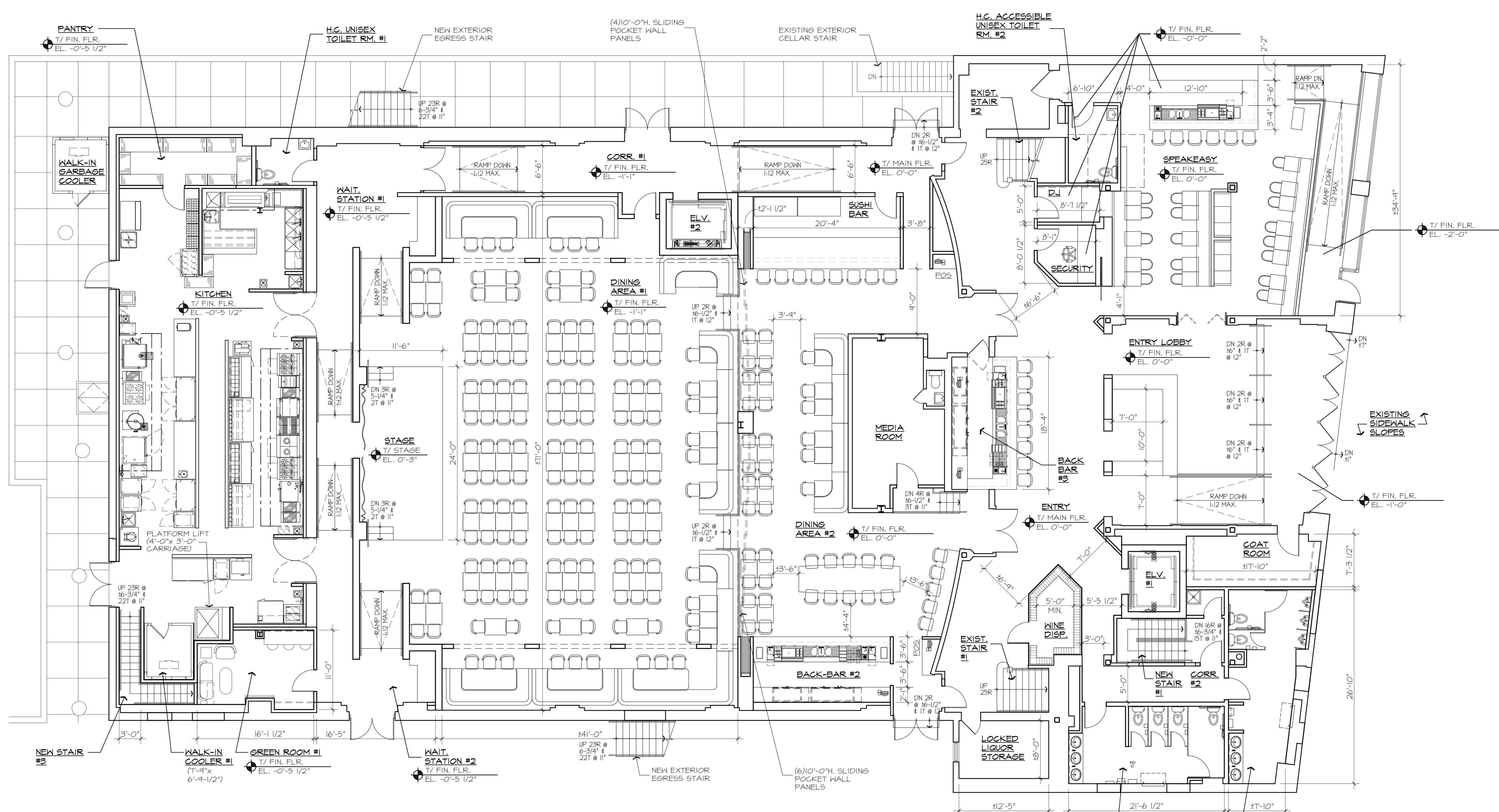
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 EMAIL: LGARCH@OPTONLINE.NET

PROJECT  
**PROPOSED INTERIOR ALTERATIONS**  
**THE BEACON**  
 114 MAIN ST.  
 PORT WASHINGTON, NY 11050

DRAWING TITLE  
**PROPOSED FIRST FLOOR PLAN**

DATE: AUG. 14, 2023	DWN. BY: LG
JOB NO.: 23079	SCALE: AS SHOWN
SEAL: 	DWG. No. <b>A-3</b>



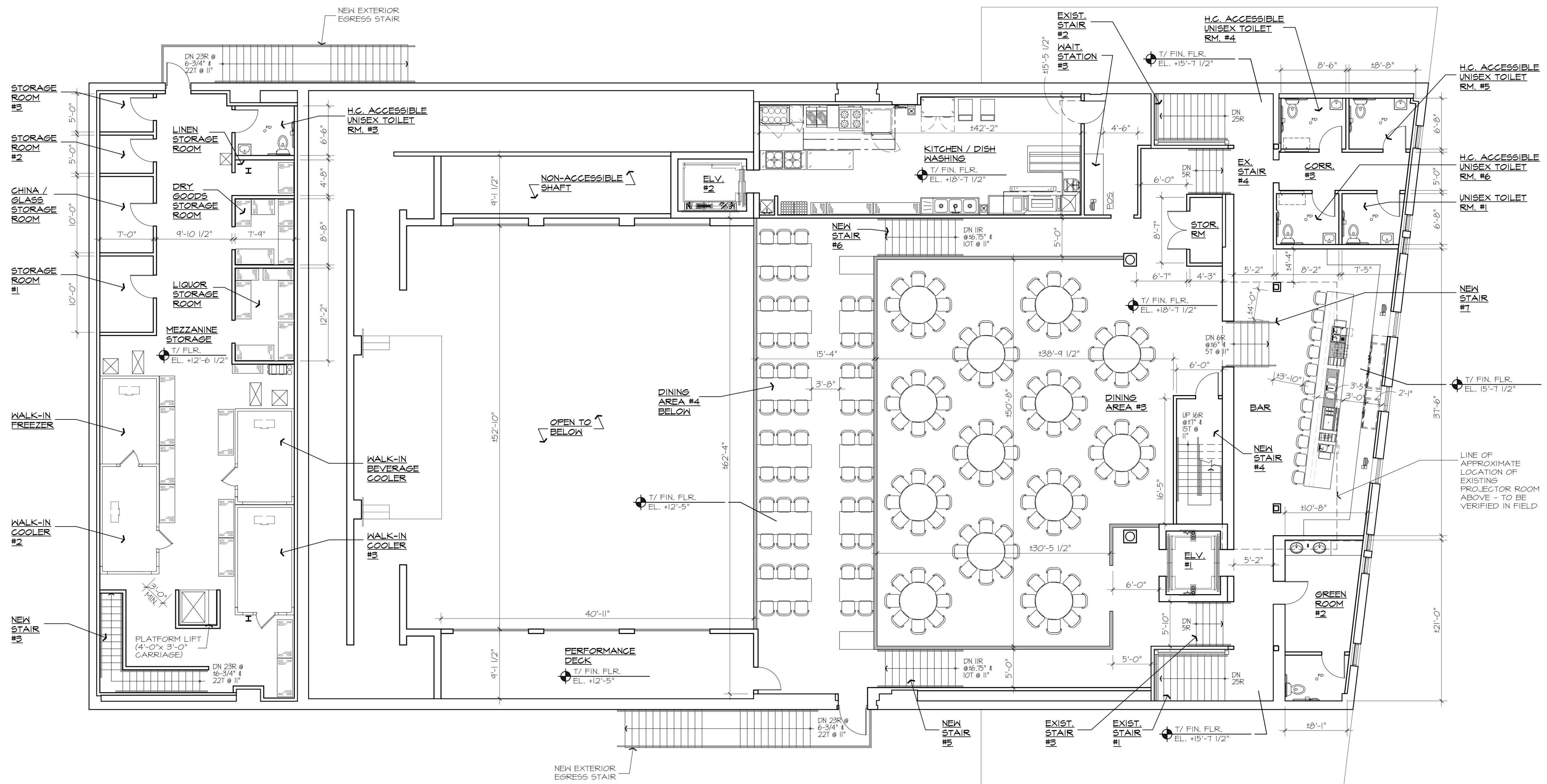
**1 PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 15,079 SQ.FT.  
 87'-10" L.F. OF BAR  
 303 SEATS/  
 365 SEATS PER CODE

**PROPOSED 1ST & 2ND FLR. TOTAL PATRONS:**  
 474 - IF BENCH SEATING IS CALCULATED TO MATCH THE SEAT DIRECTLY ACROSS

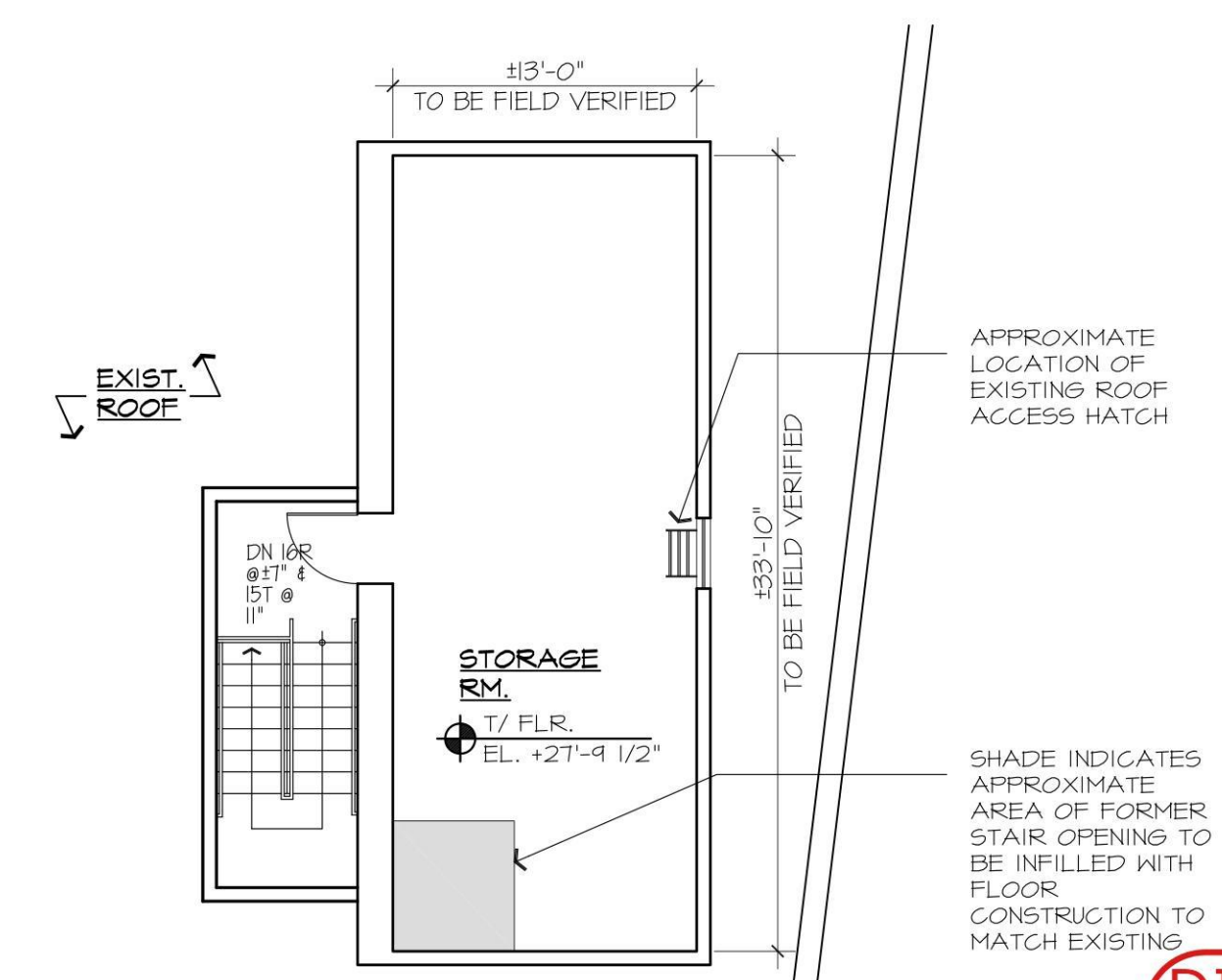
**PROPOSED 1ST & 2ND FLR. TOTAL PATRONS:**  
 536 - PER CODE CALCULATING BENCH SEATING AT 1 PERSON PER 2 L.F. AT BACKREST

TOTAL SQUARE FOOTAGE:	
CELLAR FLOOR =	2,835 SQ.FT.
FIRST FLOOR =	15,079 SQ.FT.
SECOND FLOOR =	10,317 SQ.FT.
<b>TOTAL =</b>	<b>28,231 SQ.FT.</b>

**DISAPPROVED**  
 Michael Maracic  
 05/13/2024



**1** PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 10,317 SQ.FT. (INCLUDING STOR. RM. ABOVE BAR)  
 25'-8" L.F. OF BAR  
 171 SEATS / 171 SEATS PER CODE

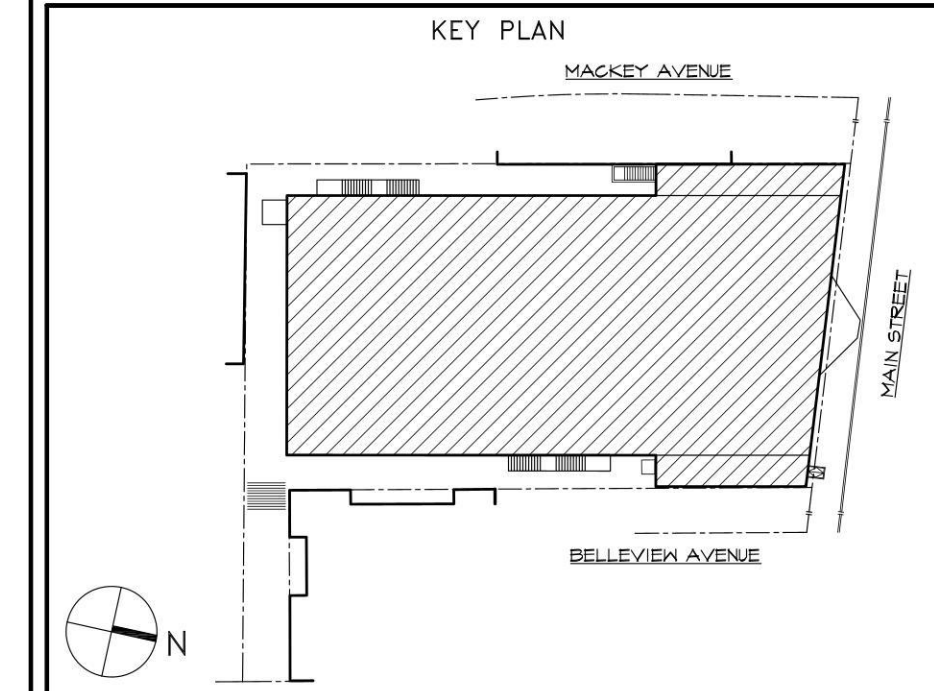


**2** STORAGE ROOM  
 SCALE: 1/8" = 1'-0"  
 ABOVE BAR

**DISAPPROVED**  
 Michael Maracic  
 05/13/2024

NO.	DATE	REVISION
1	05-09-24	RE-ISSUED PER BLDG. DPT. COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15	05-09-24	REVISION #1
16	03-18-24	ISSUED FOR INITIAL BLDG. FILING
17	03-13-24	ISSUED FOR OWNER'S REVIEW
18	03-06-24	ISSUED FOR OWNER'S REVIEW
19	02-26-24	ISSUED FOR OWNER'S REVIEW
20	02-14-24	ISSUED FOR OWNER'S REVIEW
21	01-31-24	ISSUED FOR OWNER'S REVIEW
22	01-04-24	ISSUED FOR OWNER'S REVIEW
23	12-29-23	ISSUED FOR OWNER'S REVIEW
24	12-07-23	ISSUED FOR OWNER'S REVIEW
25	11-29-23	ISSUED FOR OWNER'S REVIEW
26	11-14-23	ISSUED FOR OWNER'S REVIEW
27	10-20-22	ISSUED FOR OWNER'S REVIEW
28	8-24-23	ISSUED FOR OWNER'S REVIEW
29	8-14-23	ISSUED FOR OWNER'S REVIEW
NO.	DATE	ISSUED

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CONSULTANT

ARCHITECT  
**LUIGI GLENO ARCHITECT PC**  
 ARCHITECTURE PLANNING INTERIORS  
 URBAN & REGIONAL DESIGN  
 PROJECT MANAGEMENT  
 485 UNDERHILL BLVD. • SUITE 304 • SYOSSET, NY 11791  
 P. 516.921.4447 • F. 516.921.5557  
 EMAIL: LGARCH@OPTONLINE.NET

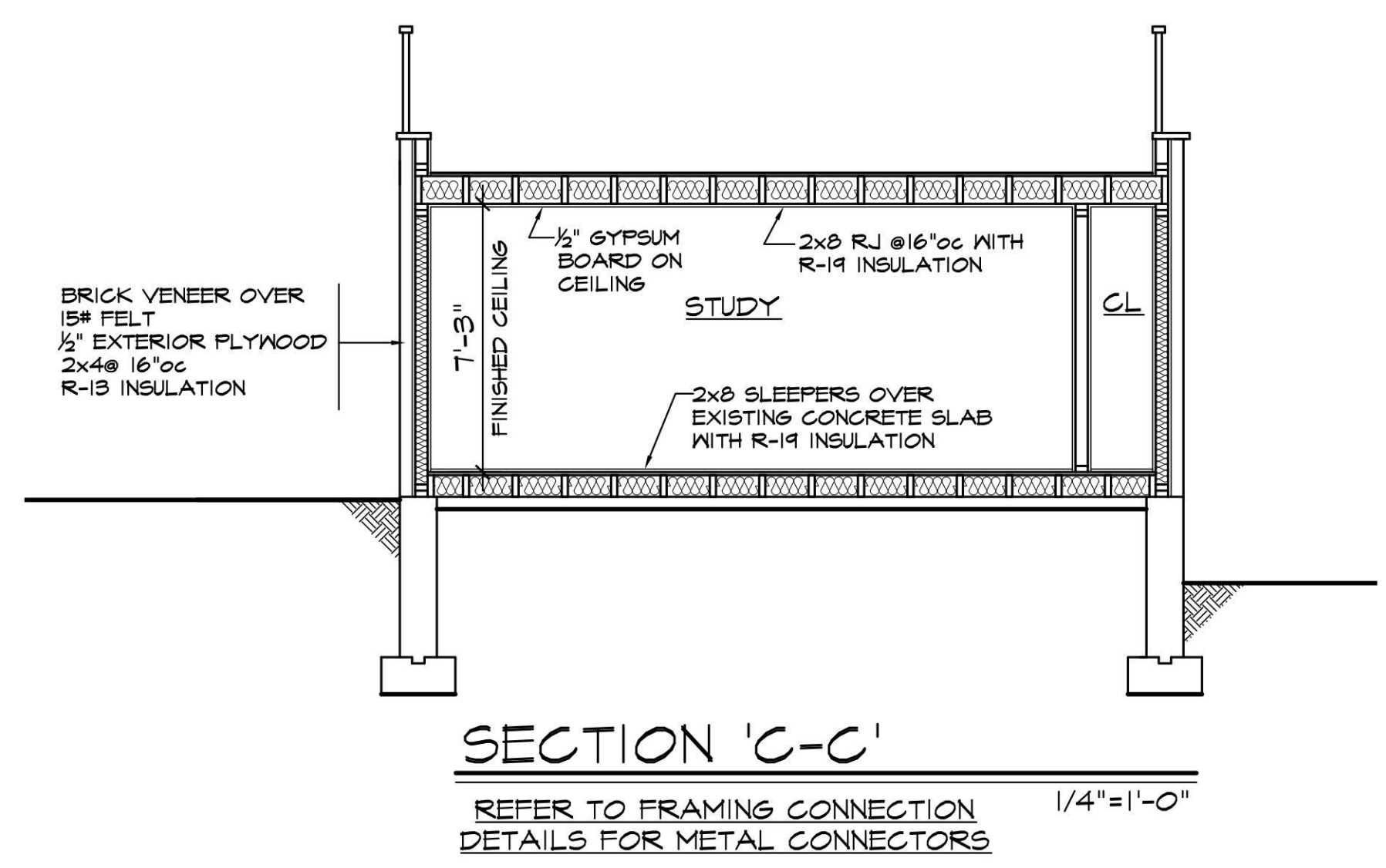
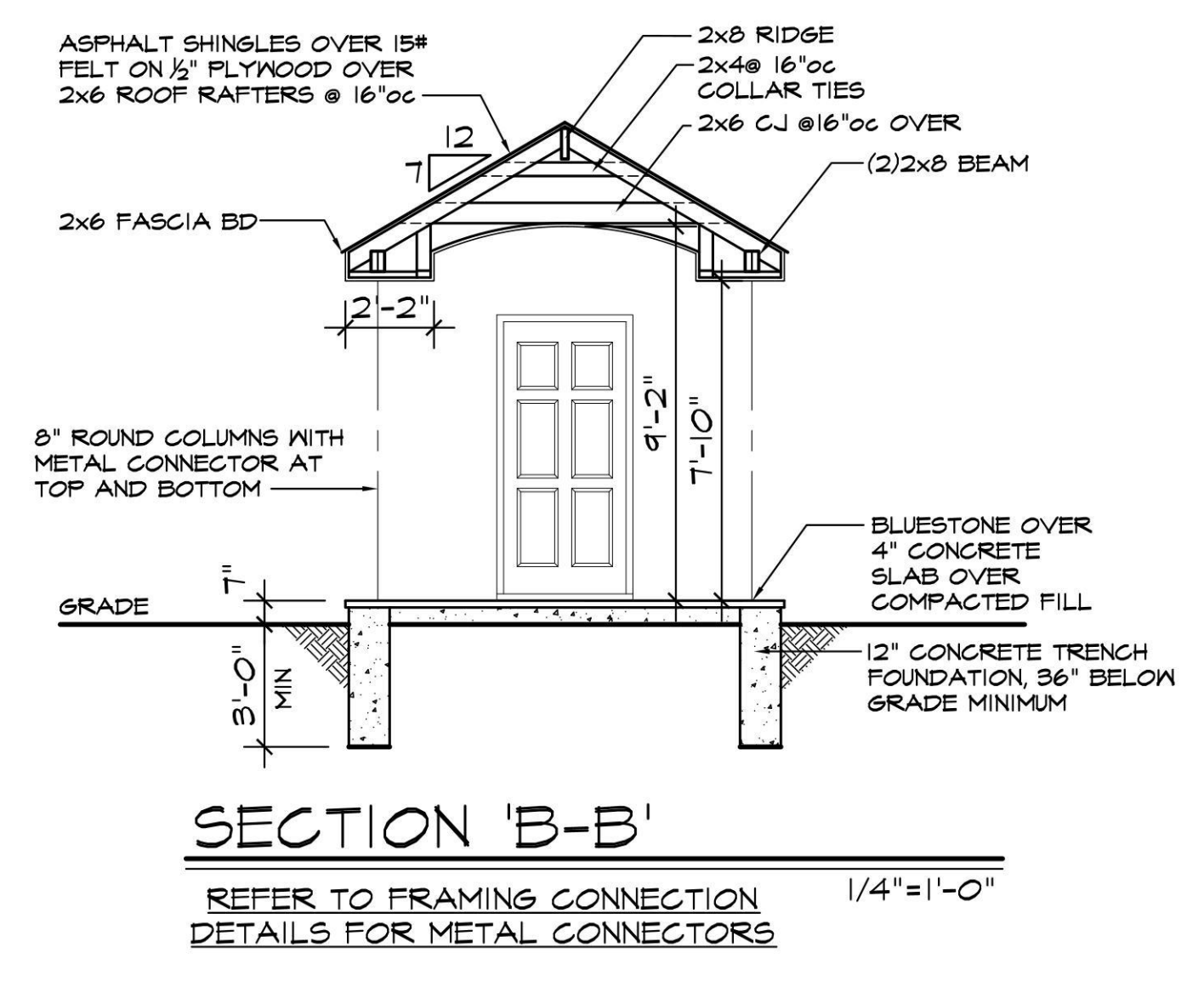
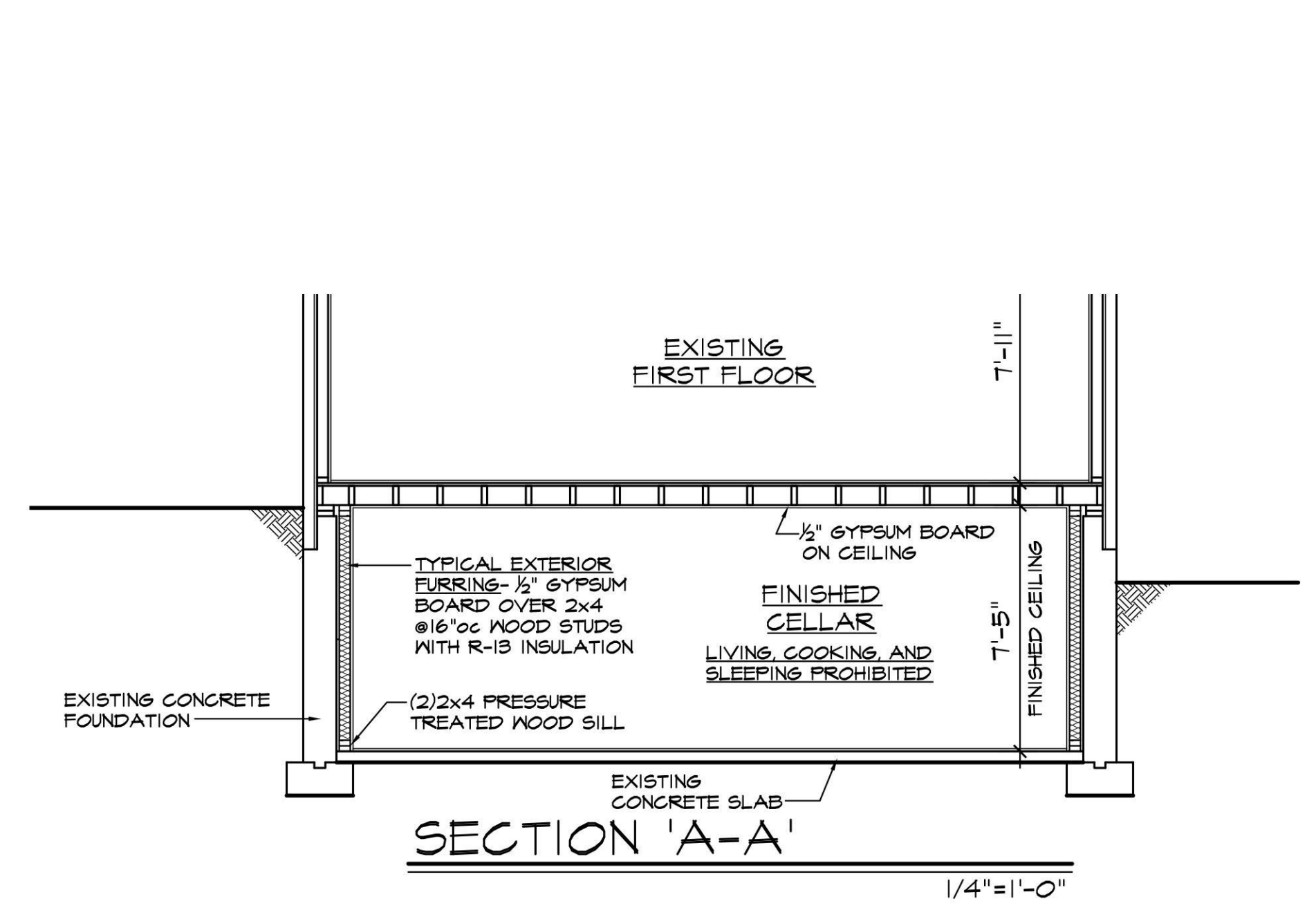
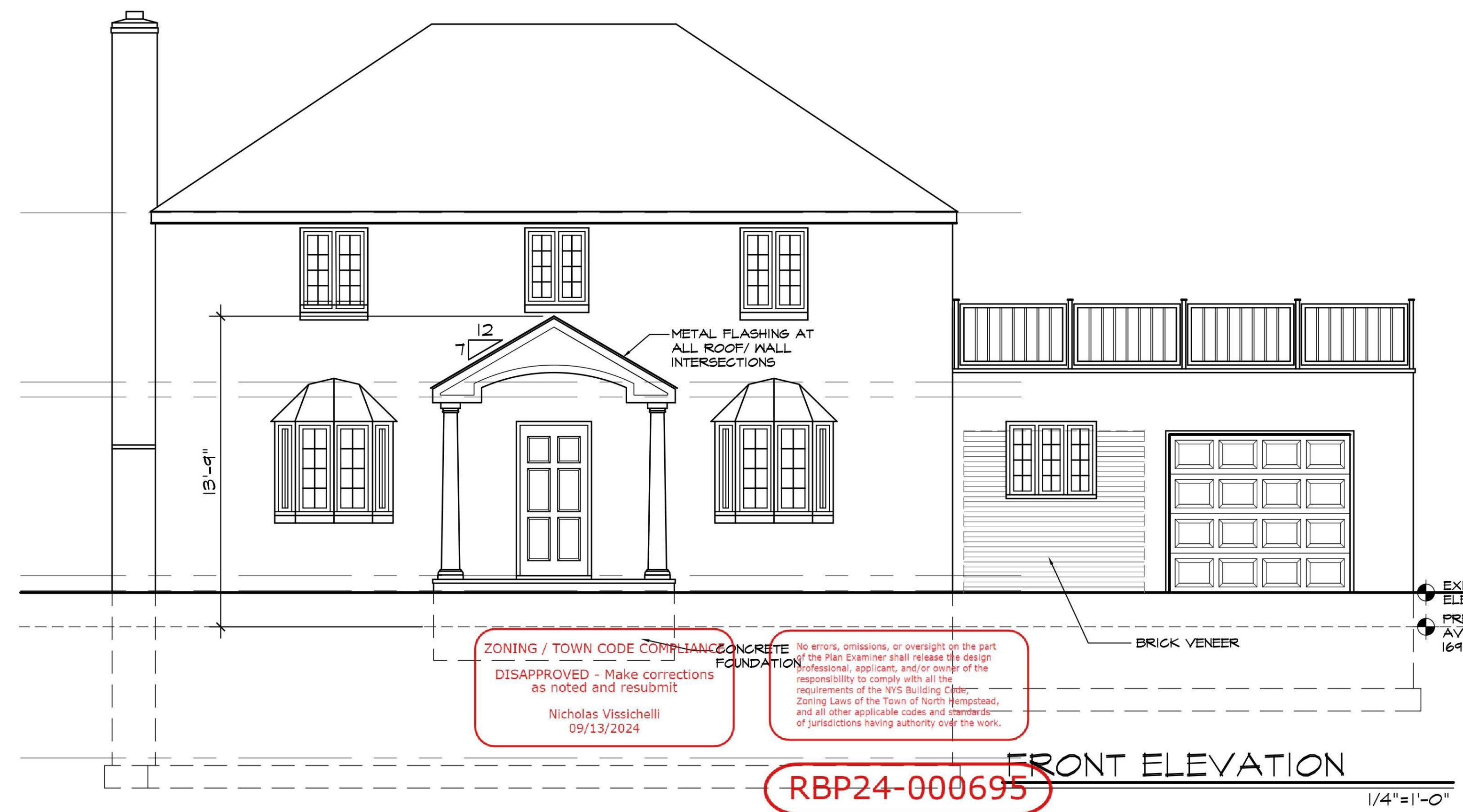
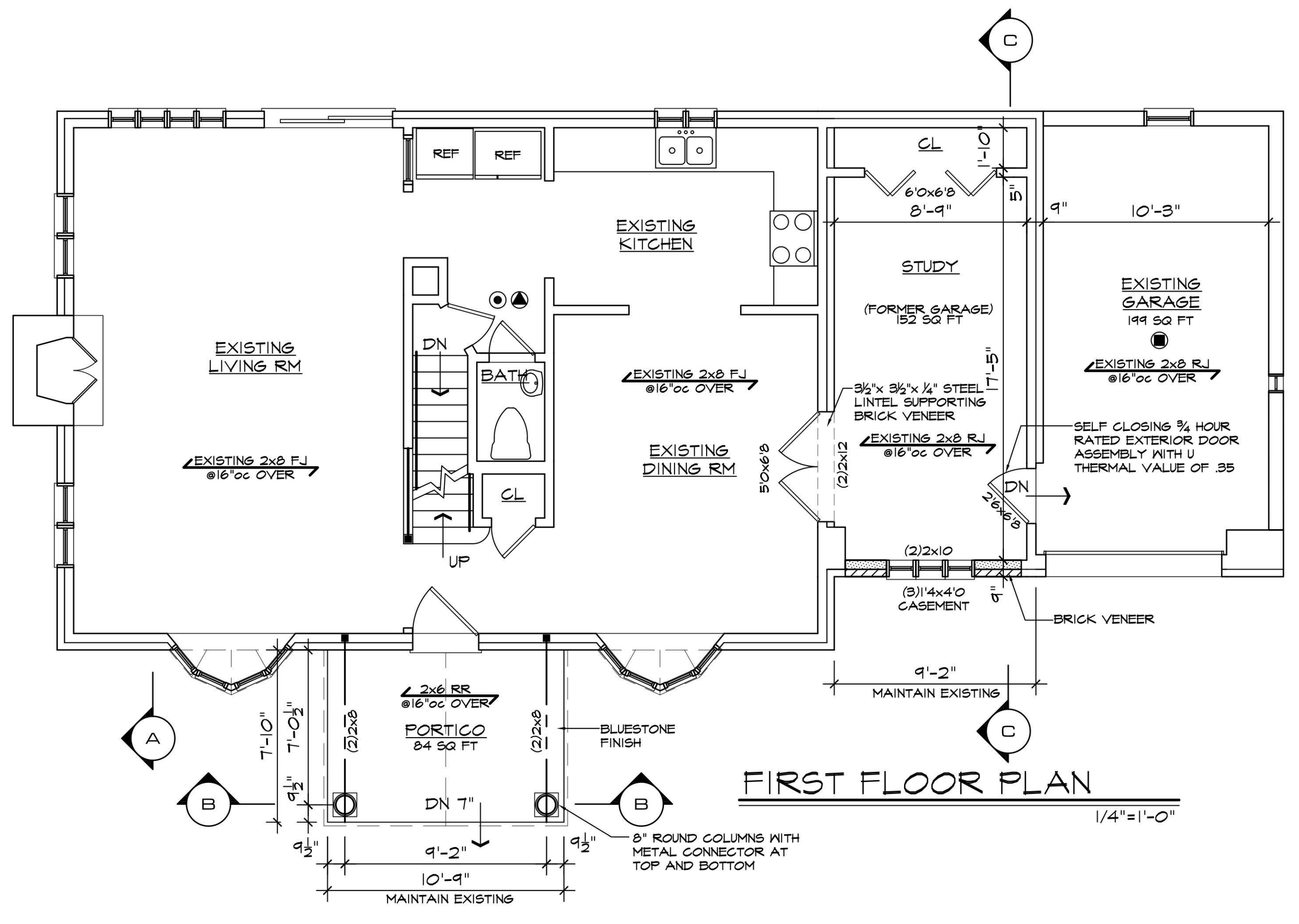
PROJECT  
**PROPOSED INTERIOR ALTERATIONS**  
**THE BEACON**  
 114 MAIN ST.  
 PORT WASHINGTON, NY 11050

DRAWING TITLE  
**PROPOSED SECOND FLOOR PLAN**

DATE: AUG. 14, 2023	DWN. BY: LG
JOB NO.: 23079	SCALE: AS SHOWN
SEAL	DWG. NO.
	<b>A-4</b>







**GRAY ARCHITECTURAL SERVICES, P.C.**  
2401 CAPRI PL. N. BELLMORE, N.Y. 11710  
PHONE 516 679-4722 FAX 516 679-2698  
grayarchserv@verizon.net grayarchserv.com  
Chris Gray 27536 Registered through 8-31-2026



**BAE RESIDENCE**  
33 SHORT DR.  
MANHASSET, NY 11030  
**TOWN OF NORTH HEMPSTEAD**  
MAINTAIN EXISTING FINISHED CELLAR,  
GARAGE CONVERSION AND PORTICO

DATE 7-18-24  
DRAW BY VB  
**A1**  
OF 2

**GENERAL NOTES :**

- CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS WHICH HAVE JURISDICTION AND BEST STANDARDS OF CONSTRUCTION PRACTICE.
- THE INSTALLATION OF ALL MATERIALS AND PRODUCTS SHALL MEET ALL LOCAL FIRE DEPARTMENT'S REQUIREMENTS AND REGULATIONS, PROOF OF WHICH SHALL BE FURNISHED TO THE FIRE MARSHALL PRIOR TO THE INSTALLATION OF SUCH MATERIALS AND PRODUCTS.
- ALL WORK TO CONFORM TO THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE.
- CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS AND INSPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE AND ANY NECESSARY FEES ASSOCIATED WITH SUCH FILINGS.
- CONTRACTOR TO TAKE PRECAUTIONARY MEASURES TO PROTECT PREMISES FROM DIRT OR DAMAGE, INCLUDING EXISTING PLANT LIFE WHERE POSSIBLE.
- CONTRACTOR TO PROVIDE FOR REINSTATING ANY EXISTING ELEMENTS INTERRUPTED, COVERED OR REMOVED BY HIS WORK WHETHER INDICATED ON DRAWINGS OR NOT.
- CONTRACTOR SHALL DISCONNECT, CAP AND REROUTE ANY EXISTING WATER, SANITARY OR UTILITY LINES IN AREA OF NEW FOUNDATION AND SHALL USE HAND EXCAVATION IN AREAS OF SUSPECTED UNDERGROUND UTILITIES AND SERVICES. IF ANY LINES ARE BROKEN OR DAMAGED, THE CONTRACTOR WILL REPAIR AND REPLACE SAME AT HIS OWN EXPENSE AND ARRANGE FOR PROPER INSPECTION OF HIS WORK.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THESE DRAWINGS ARE NOT TO BE SCALED.
- LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. IT IS THE INTENTION OF THE DRAWINGS TO PROVIDE A COMPLETE JOB IN ALL RESPECTS AND NO EXTRAS SHALL BE ALLOWED FOR MATERIALS AND/OR LABOR REQUIRED TO COMPLETE THE WORK AS INDICATED NOR SHALL THE ENGINEER BE HELD RESPONSIBLE FOR ANY SUCH COSTS.
- IF THERE ARE ANY QUESTIONS REGARDING DISCREPANCIES OR MATERIALS, PRACTICES, NOTES AND QUANTITIES OF MATERIALS CONTACT THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THESE PLANS WITH THOSE AT THE SITE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROVIDED DIMENSIONS ARE SUBJECT TO ACTUAL FIELD CONDITIONS AND NO CREDITS OR EXTRAS WILL BE ALLOWED FOR DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS NOT REPORTED ONCE HE HAS STARTED WORK, EXCEPT FOR HIDDEN JOB CONDITIONS WHERE APPLICABLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGES, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICE.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP ON THE JOB FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- ALL MATERIALS STORED OR BROUGHT TO THE SITE SHALL BE NEATLY PILED AND PROTECTED AGAINST ALL ELEMENTS, THE OWNER AND ENGINEER HAVE THE RIGHT TO REJECT ANY SUCH MATERIAL THEY DEEM DAMAGED, AND REPLACED AT THE CONTRACTORS COST WITHIN GOOD CONSTRUCTION PRACTICE.
- SITE PLAN DATA IS AS INDICATED ON SURVEY PROVIDED BY OWNER AND SHALL PREVAIL. SITE PLAN BY ENGINEER IS MERELY SCHEMATIC.
- NEW CONSTRUCTION IS TO BE STAKED OUT AND ALL REQUIRED SETBACKS ARE TO BE FIELD CHECKED AND APPROVED BY A LICENSED SURVEYOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE ENTIRE PREMISES, INSIDE AND OUT, SHALL BE CLEANED OF ALL DEBRIS AND EXCESS MATERIALS, TO THE SATISFACTION OF THE OWNER, INCLUDING LABELS AND PROTECTIVE COATINGS ON ALL MATERIALS.
- DELIVER PROJECT FINISHED IN A CLEAN LIVABLE MANNER.
- ALL WORK SHALL COMPLY WITH NYS REQUIREMENTS FOR LEAD PAINT TESTING AND DISCLOSURE.

**SCOPE OF WORK:**  
 - PROPOSED MASONRY OUTDOOR KITCHEN W/ GAS BBQ  
 - PROPOSED SPORTS COURT W/ BASKETBALL HOOP  
 - (1) PROPOSED DRY WELL  
 - (1) MAINTAIN EXISTING DRY WELL  
 - REPLACEMENT OF REAR MAS. RETAINING WALL  
 - MAINTAIN EXISTING REAR CONCRETE PATIO

**SHEET INDEX**

00-1	GENERAL NOTES & PLOT PLAN
00-2	CONCRETE NOTES, GENERAL NOTES, DRY WELL DETAILS, OUTDOOR KITCHEN DETAILS, PAVER DETAIL, RETAINING WALL SPECIFICATIONS & DETAILS
00-3	BASKETBALL HOOP SYSTEM SPECIFICATIONS, NET SYSTEM SPECIFICATIONS, & SPORTS COURT FOUNDATION PLAN & DETAILS

ALL FENCES SHALL BE SET 3" MINIMUM OFF ALL PROPERTY LINES  
 ALL SETBACKS ARE MEASURED FROM THE THE PROPERTY LINE

**VARIANCE REQUESTED**

**§ 70-202.1C RETAINING WALLS**

"IN A RESIDENTIAL ZONING DISTRICT, OR WITHIN 50 FEET OF A RESIDENTIAL ZONING DISTRICT, NO RETAINING WALL MAY EXCEED FIVE FEET IN HEIGHT. IN OTHER DISTRICTS, NO RETAINING WALL MAY EXCEED EIGHT FEET IN HEIGHT. HEIGHT SHALL BE MEASURED FROM THE LOWEST POINT ON THE ADJOINING GRADE. THIS SUBSECTION SHALL NOT PROHIBIT APPLICATIONS FOR A SERIES OF RETAINING WALLS IN PARALLEL STEP DESIGN."  
**REQUIRED:** RETAINING WALLS WITHIN RESIDENTIAL DISTRICTS MAY EXCEED FIVE FEET IN HEIGHT.  
**PROPOSED:** A RETAINING WALL OF VARIOUS HEIGHT THAT EXCEED 5FT.: 8.75FT. HIGH ALONG THE NORTH-WEST SIDE PROPERTY LINE, 7.9FT. TO 4.9FT. ALONG THE REAR PROPERTY PROPERTY LINE.

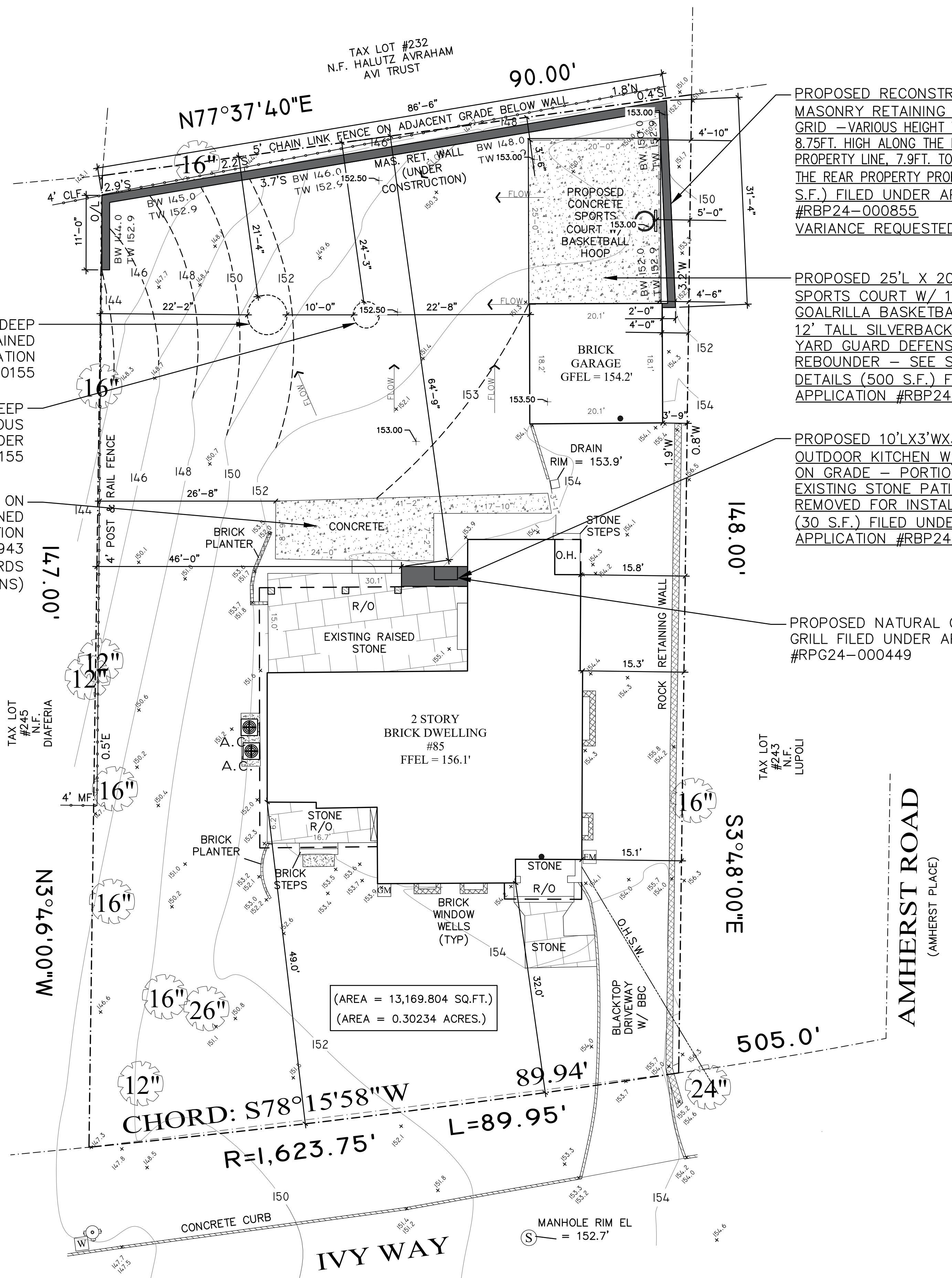
**PLOT PLAN**  
 SCALE: 1"=10'-0"

**LEGEND**

- FLOW → SLOPE & DIRECTION OF DRAINAGE FLOW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- DRY WELL / DRAINAGE PIPING
- ACCESSORY STRUCTURE
- CONCRETE
- STONE

**REAR YARD COVERAGE**

REAR YARD AREA = 6,670 S.F. ITEM:	EXISTING	PROPOSED/ TO BE MAINTAINED
EXISTING RAISED STONE PATIO WITH R/O	442 S.F.	
EXISTING STONE STEPS WITH O.H.	25 S.F.	
EXISTING BRICK GARAGE	365 S.F.	
MAINTAIN CONCRETE PATIO		272 S.F.
PROPOSED RETAINING WALL		158 S.F.
PROPOSED OUTDOOR KITCHEN		30 S.F.
PROPOSED SPORTS COURT W/ HOOP & NET		500 S.F.
<b>TOTAL IMPERVIOUS AREA (MAX. 40%)</b>		<b>TOTAL = 1,792 S.F. (26.86%)</b>



**#21629**

ALL DIMENSIONS ARE TO BE FIELD VERIFIED  
 85 IVY WAY  
 PORT WASHINGTON, NY 11050  
 COUNTY OF NASSAU  
 STATE OF NEW YORK

BECKER RESIDENCE

SECTION 5  
 BLOCK 72  
 LOT 244

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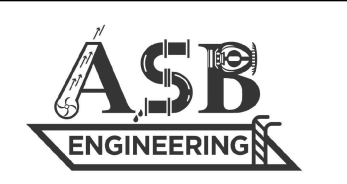
ISSUED FOR:  
 BUILDING DEPT.

2	10.7.24	CHANGES AS PER DOB
1	9.26.24	CHANGES AS PER DOB

PROJECT NO.	8-20-24
DATE	AS NOTED
SCALE	CS
DRAWN BY	

PROJECT NO.	8-20-24
DATE	AS NOTED
SCALE	CS
DRAWN BY	

PROJECT NO.	8-20-24
DATE	AS NOTED
SCALE	CS
DRAWN BY	



1924 Bellmore Avenue  
 Bellmore, New York 11710  
 Phone: (516) 785-4200  
 Fax: (516) 785-9148

SEAL:  
  
 LIC # 077439  
 ANDREW S. BRAUM, P.E.  
 1924 BELLMORE AVE. BELLMORE NY, 11710

DRAWING:  
 GENERAL NOTES & PLOT PLAN

PROJECT:  
 PROPOSED REAR YARD MASONRY RENOVATIONS

DRAWING No.  
**OD-1**

**CONCRETE NOTES**

- ALL CONCRETE WORK SHALL CONFORM TO ACI318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND ACI301 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL CONCRETE SHALL BE 3500 PSI. CONTROLLED STONE OR GRAVEL CONCRETE, AIR ENTRAINED WHERE EXPOSED, UON.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UON.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WITH A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI, UON.
- MINIMUM CONCRETE COVERING OF REINFORCING STEEL SHALL BE AS FOLLOWS:
  - 1" FOR INTERIOR WALLS
  - 1 1/2" FOR FORMED CONCRETE SURFACES EXPOSED TO WEATHER
  - 2" FOR FORMED CONCRETE SURFACES EXPOSED TO EARTH
  - 3" FOR FOOTINGS AND BEAMS POURED DIRECTLY AGAINST SOIL
- NON-SHRINK GROUT SHALL BE NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
- PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SECURELY IN PLACE WHILE PLACING CONCRETE.
- MAXIMUM DIMENSION OF ANY CONTINUOUS CONCRETE POUR SHALL NOT EXCEED 20 FEET IN ANY DIRECTION.
- PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS BELOW GRADE LEVEL.
- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306.
- PROVIDE EXPANSION CONTROL AND CONSTRUCTION JOINTS AS REQUIRED BY APPLICABLE SECTIONS OF ACI 301-84.

**GENERAL STRUCTURAL NOTES**

- ALL STUD FRAMING HAVING AN UNSUPPORTED HEIGHT OF MORE THAN 10 FEET IS TO HAVE STUD BRIDGING OR IS TO BE OTHERWISE BRACED IN AN APPROVED MANNER AT INTERVALS NOT EXCEEDING 8 FEET.
- ALL JOISTS SHALL HAVE CROSS BRIDGING 8' - 0" ON CENTER MAXIMUM OR SOLID BRIDGING.
- ALL STUD BEARING WALLS ARE TO HAVE STUD BRIDGING AT MID HEIGHT.
- ALL STUD MEMBERS SHALL BE DOUGLAS-FIR SELECT, STRUCTURAL fb=1900 PSI, MODULUS OF ELASTICITY OF 1,760,000.
- ALL SHEATHING SHALL BE SPECIES GROUP ONE, EXTERIOR GRADE, THICKNESS AS INDICATED ON DRAWINGS.
- STRUCTURAL DESIGN IS DONE IN ACCORDANCE WITH AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) "WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS."
- INSTALL DIAGONAL BRACING AT CORNERS OF EXTERIOR STUD WALLS OR PLYWOOD SHEATHING NAILED TO COMPLY WITH BUILDING CODE REQUIREMENTS.
- FLASH, CAULK AND SEAL ALL JUNCTIONS OF NEW ROOFING, WALLS AND PENETRATIONS, TO FORM A WATERTIGHT ASSEMBLY, ALL FLASHING TO BE 16 OUNCE COPPER SHEETING AND EXTEND AT LEAST 8" ABOVE INTERSECTING SURFACES.
- ALL WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD UNLESS OTHERWISE NOTED.
- GYPSON BOARD ON WALLS TO BE U.S. GYPSON 1 LAYER OF 5/8" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB.

**NOTE TO CONTRACTOR**

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL NEW CONSTRUCTION IS STAKED OUT BY A LICENSED LAND SURVEYOR AND ALL REQUIRED SETBACKS ARE FIELD CHECKED AND APPROVED BY A LICENSED LAND SURVEYOR PRIOR TO THE START OF ANY CONSTRUCTION. FOUNDATION SURVEY TO BE PROVIDED TO LOCAL BUILDING AUTHORITY PRIOR TO THE START OF CONSTRUCTION.

G.C. TO TEMP. SHORE/PROTECT EXISTING STRUCTURE DURING THE REMOVAL OF THE EXISTING STRUCTURE UNTIL NEW CONSTRUCTION IS ERECTED. PRIOR TO REMOVALS V.I.F. ALL EXISTING CONDITIONS

**26 DEGREE SOIL** for walls up to 8' Cambridge Sigma 8" - SRW Accessories

IF USED WITHOUT THE ASSISTANCE OF A LICENSED ENGINEER, THE USER ASSUMES ALL LIABILITY FOR THE USE OF THIS INFORMATION. THESE DESIGN TABLES WERE PERFORMED WITH NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) SOFTWARE AND HAVE BEEN ANALYZED FOR THE APPROPRIATE FACTORS OF SAFETY. © 2015 Hestrop, Technical Services. Sigma 8" is a trademark of Cambridge Wall Systems.

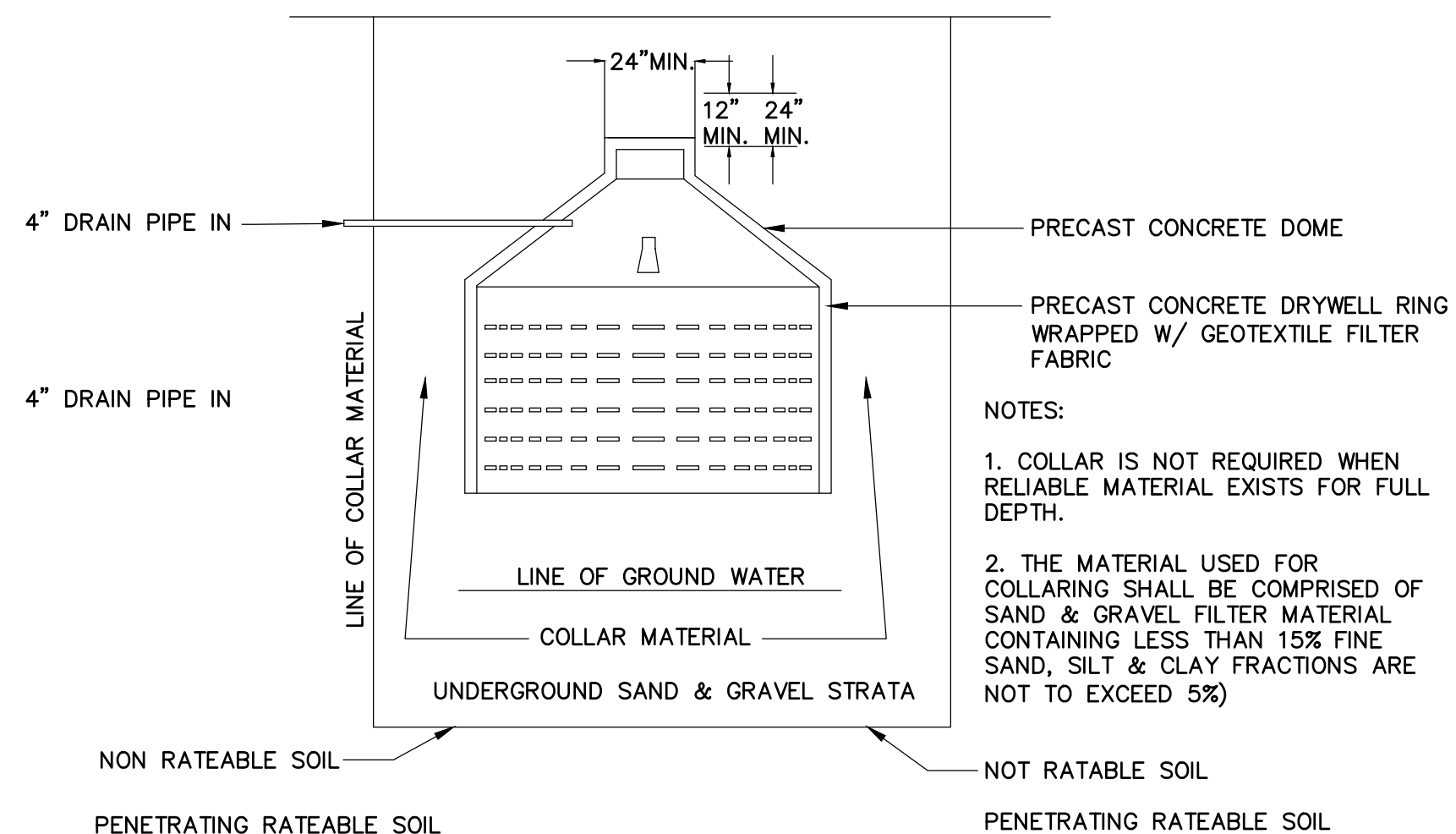
Geogrid: SRW Universal 80S LTDS or SRW S Series 100S LTDS - Block Dimensions: 47 1/4" x 16" x 1 1/2"

Height (ft)	1 FT	2 FT	3 FT	4 FT	5 FT	6 FT	7 FT	8 FT
Area (sq ft)	1.27	2.97	3.97	4.97	5.97	6.97	7.97	8.97
Volume (cu ft)	1.27	5.94	11.91	17.88	23.85	29.82	35.79	41.76
Weight (lb)	115	536	1072	1608	2144	2680	3216	3752
Area (sq ft)	1.27	2.97	3.97	4.97	5.97	6.97	7.97	8.97
Volume (cu ft)	1.27	5.94	11.91	17.88	23.85	29.82	35.79	41.76
Weight (lb)	115	536	1072	1608	2144	2680	3216	3752

IF STAMPED ENGINEERING IS REQUIRED FOR THIS RETAINING WALL, THESE DESIGN TABLES MUST BE STAMPED HERE BY A LICENSED ENGINEER.

**GEO GRID SPECIFICATIONS & DETAILS**

SCALE: NOT TO SCALE



**DRY WELL CALCULATIONS**

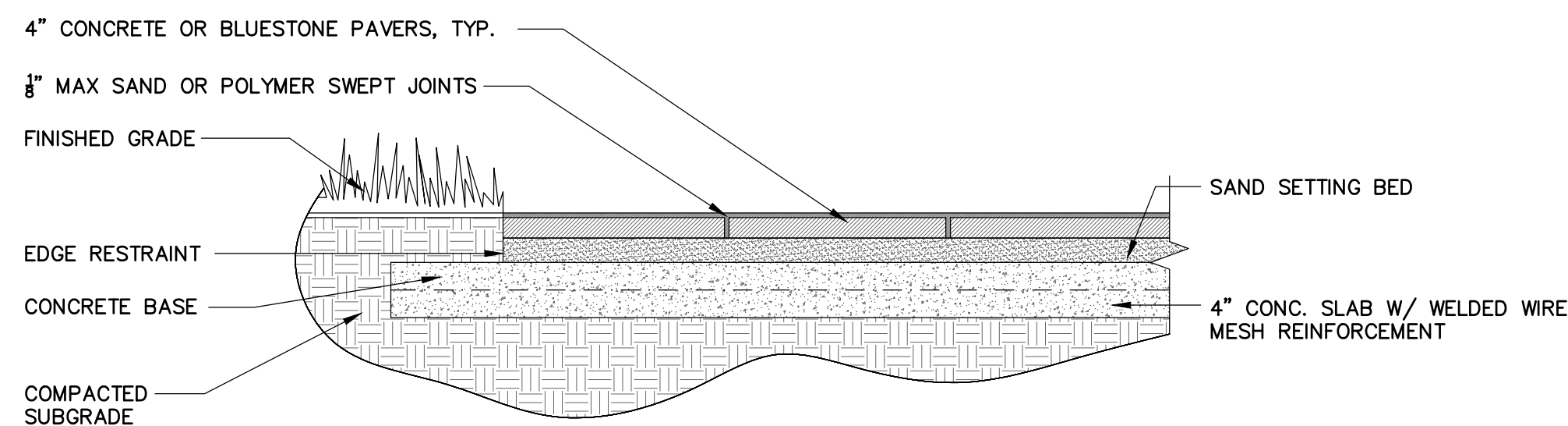
CALCULATIONS BASED ON 2.5" (.21) OF RAINFALL SQ. FT. x 2.5"(.21)  
 AREA x RAINFALL= C.F. REQ. CAPACITY

TOTAL S.F. OF NEW AREA TO BE DRAINED 960 S.F.  
 960 S.F. x .21 RAINFALL DEPTH = 201.6 C.F. REQUIRED

USE (1) EXISTING DRY WELL AT 8' DIA. X 6' DEEP RINGS AT 178.64 C.F. AND  
 (1) PROPOSED DRY WELL AT 4' DIA. X 4' DEEP RINGS AT 34.84 C.F.  
 TOTALING 213.48 C.F.  
 213.48 C.F. > 201.6 C.F. OK

**DRY WELL DETAILS & CALCULATIONS**

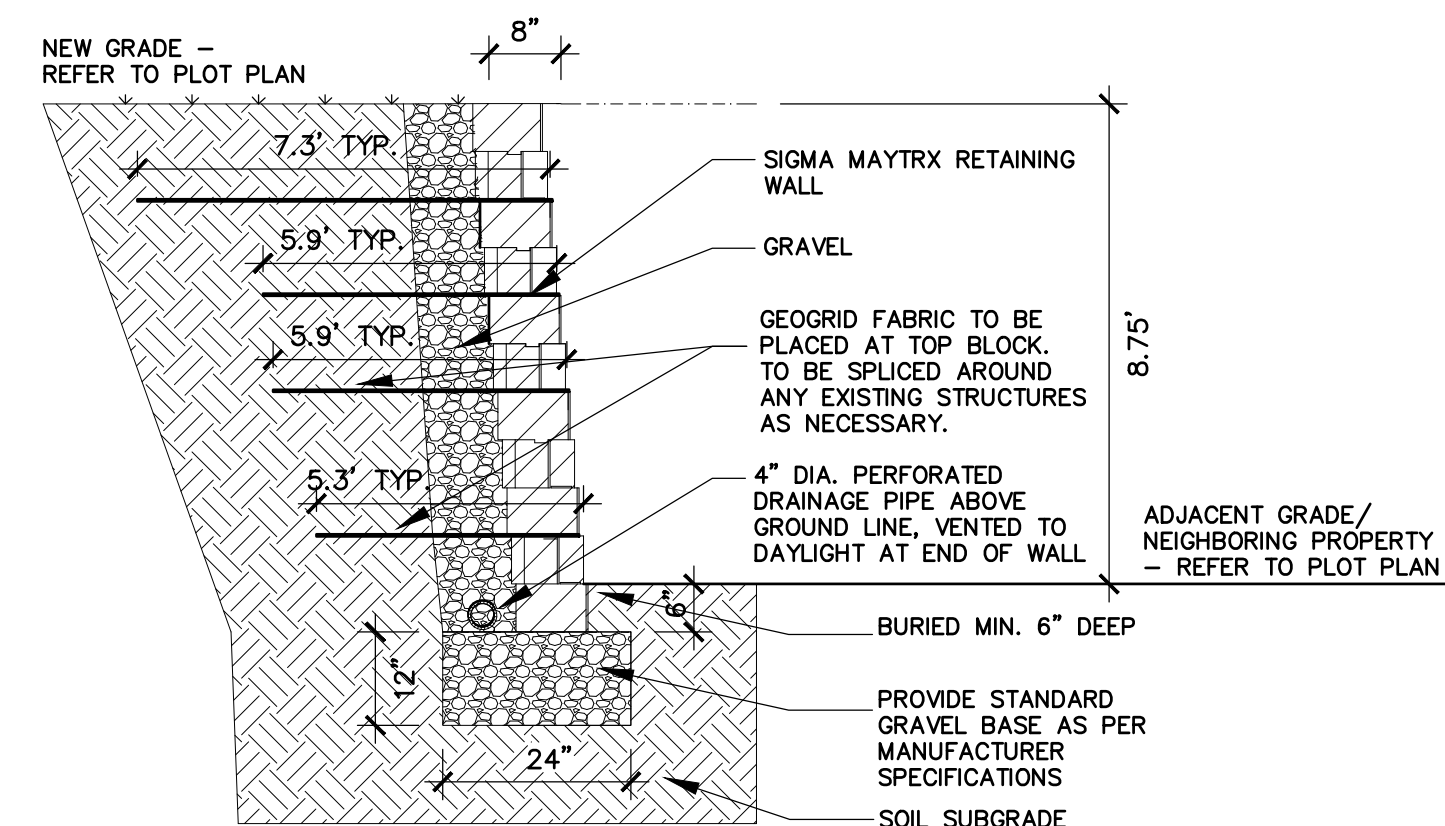
SCALE: NOT TO SCALE



**TYP. CONCRETE PAVER DETAIL**

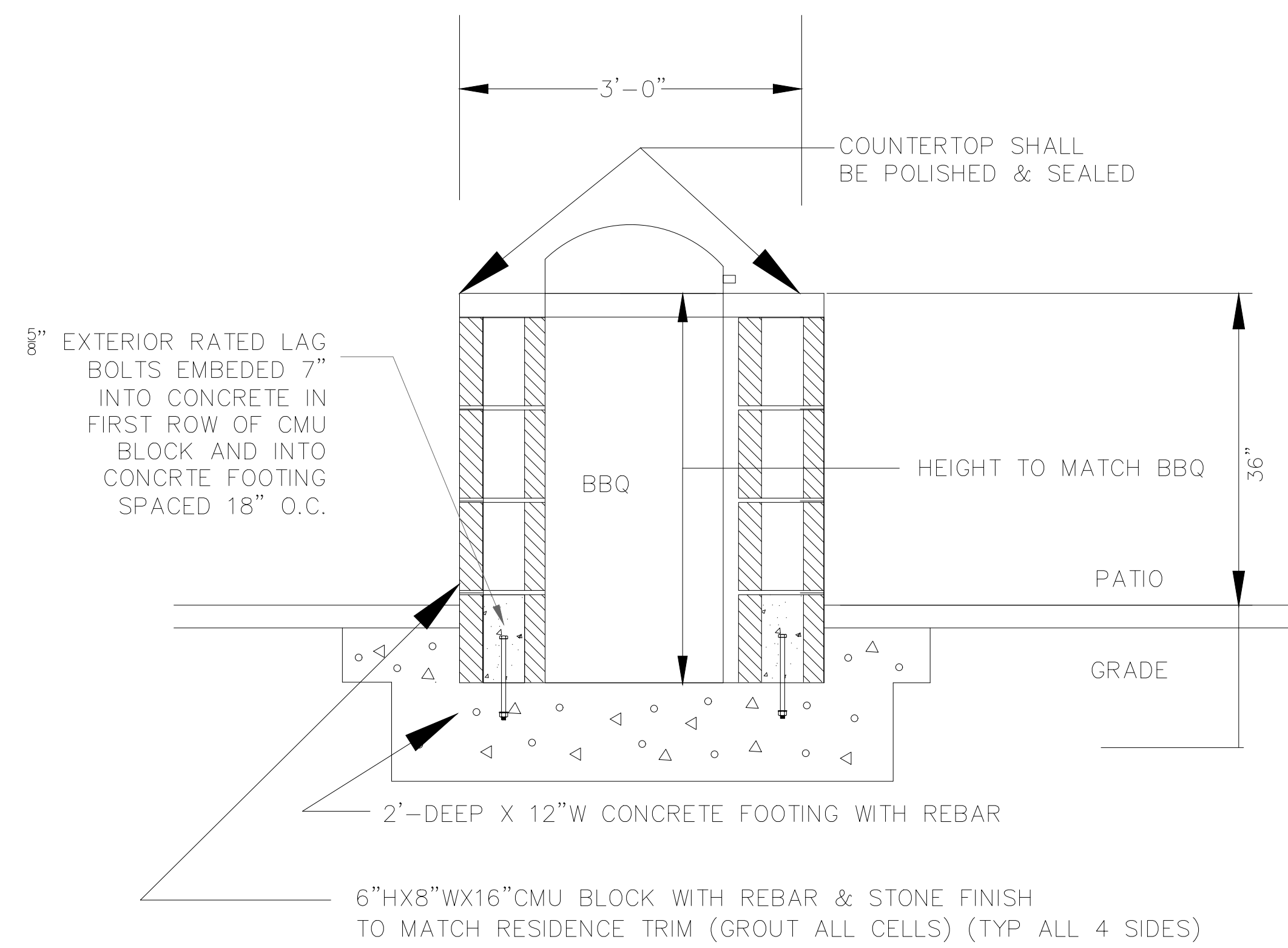
SCALE: NOT TO SCALE

**ALONG N/W SIDE PROPERTY LINE**



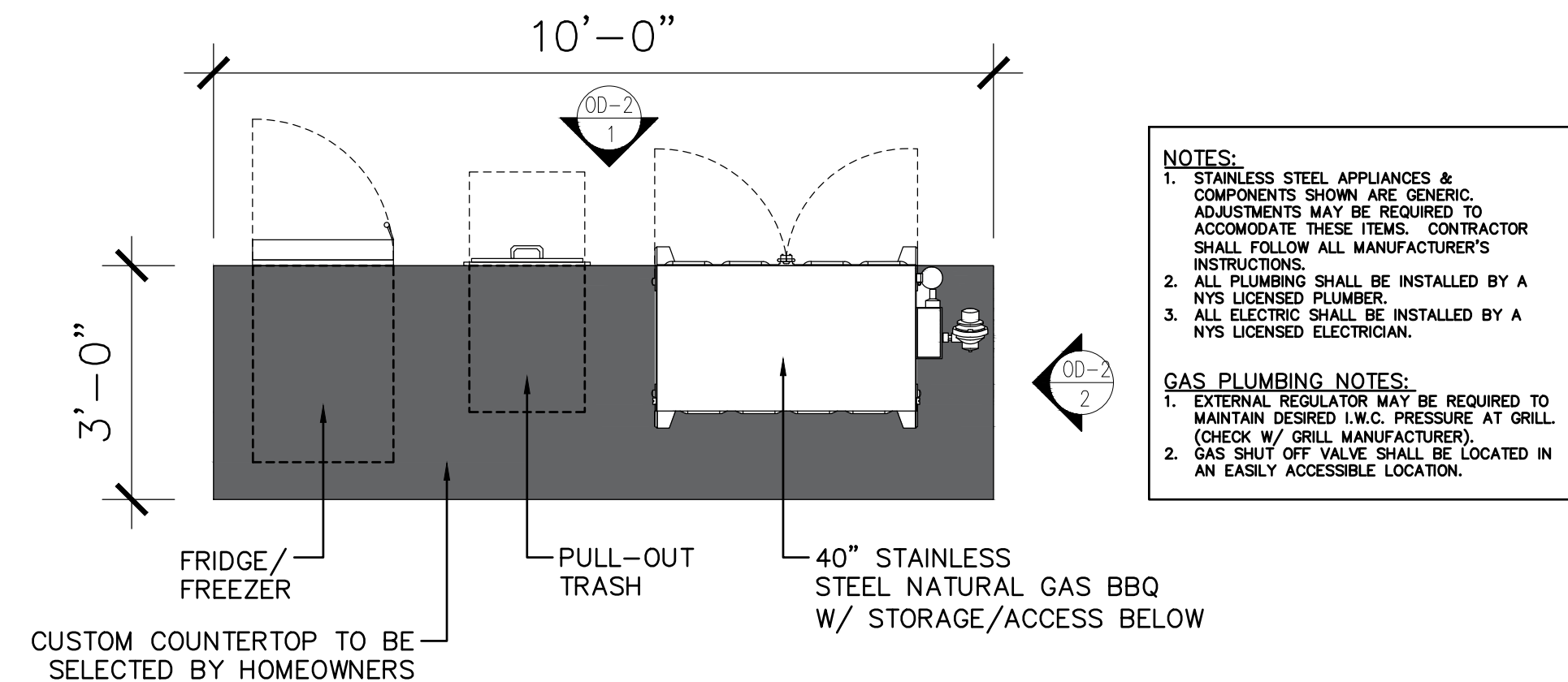
**RETAINING WALL SECTION DETAIL**

SCALE: NOT TO SCALE



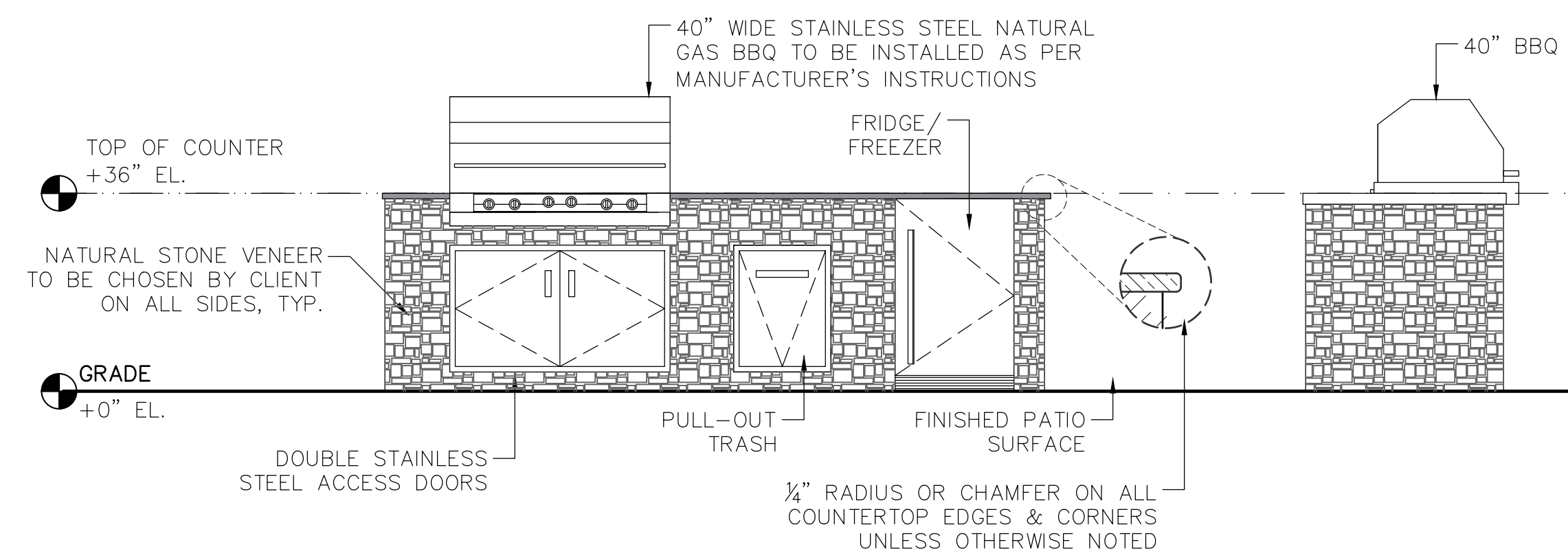
**TYP. OUTDOOR KITCHEN SECTION DETAIL**

SCALE: NOT TO SCALE



**TYP. OUTDOOR KITCHEN PLAN**

SCALE: 1/4"=1'-0"



**TYP. OUTDOOR KITCHEN ELEVATIONS**

SCALE: 1/4"=1'-0"

ALL DIMENSIONS ARE TO BE FIELD VERIFIED

85 IVY WAY  
 PORT WASHINGTON, NY 11050

COUNTY OF NASSAU  
 STATE OF NEW YORK

**BECKER RESIDENCE**

SECTION 5  
 BLOCK 72  
 LOT 244

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**ISSUED FOR:**

BUILDING DEPT.

1	10.7.24	CHANGES AS PER DOB
2	9.26.24	CHANGES AS PER DOB

PROJECT NO.	8-20-24
DATE	AS NOTED
SCALE	CS
DRAWN BY	CS

PROJECT NO.	8-20-24
DATE	AS NOTED
SCALE	CS
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PROJECT NO.	8-20-24
DATE	AS NOTED
SCALE	CS
DRAWN BY	CS



1924 Bellmore Avenue  
 Bellmore, New York 11710  
 Phone: (516) 785-4200  
 Fax: (516) 785-9148



LIC # 077439  
 ANDREW S. BRAUM, P.E.  
 1924 BELLMORE AVE. BELLMORE NY, 11710

**DRAWING:**  
 CONCRETE NOTES, GENERAL NOTES, DRY WELL DETAILS, OUTDOOR KITCHEN DETAILS, PAVER DETAIL, RETAINING WALL SPECIFICATIONS & DETAILS

**PROJECT:**  
 PROPOSED REAR YARD MASONRY RENOVATIONS

DRAWING No.

**OD-2**



**GOALRILLA**  
**All-Weather Nylon Basketball Net**

SKU: B2602W

\$12.95

★★★★★4.9 (10)

- HIGH-QUALITY WOVEN NYLON – Heavy-duty, UV-resistant nylon basketball rim net
- REPLACEMENT BASKETBALL NET – Replace your worn out or damaged basketball net
- WITHSTANDS ELEMENTS – Design is built to withstand the outdoor elements
- MULTIPLE USES – Use for competitive, residential, or playground play
- COMPATIBLE WITH – Replacement basketball net is compatible with all Goalrilla basketball hoop rims

**GOALRILLA 'ALL-WEATHER NYLON BASKETBALL NET' SPECIFICATIONS**

SCALE: NOT TO SCALE

**INSTALLATION TIMELINE**

1. Prior to anchor system and goal assembly, call utility services for location of underground utility lines before you dig.
2. Vertical main post assembly is a two part process.

**PART 1**

- Day 1.** Complete Anchor System Installation Instructions. (Below)

**PART 2**

- Day 5.** Complete Goalrilla™ assembly instructions. (Requires four adults)

- Day 2-4.** Allow concrete to cure.

**ANCHOR SYSTEM INSTALLATION INSTRUCTIONS (Day 1)**

**WARNING**

Before digging hole for anchor system, check for buried power, gas, water, and telecommunication lines! Failure to do so could result in serious or fatal injury! Contact your local utility company if unsure.

- Items needed for Anchor Installation (not included)**
- 11 - 80 lb. bags of concrete
  - 1 - wheel borrow
  - 1 - post hole digger (optional)
  - 1 - garden hose
  - 1 - 15/16" open end wrench
  - 1 - level
  - 1 - 15/16" socket and ratchet (optional)
  - 1 - tape measure
  - 1 - concrete form (see note other step 2)

**Note:** For best results with less vibration, anchor system should be independent of court. If pouring concrete for both at same time, add an expansion joint in between.

**Note:** When digging hole, if you hit rock and cannot dig through contact a contractor.

1. Determine the location of the anchor system. The proper location is as close to the court without making contact, as shown in Figure 1. This, however is a general rule. If you need to locate the anchor system in a location other than this, use the following dimensions as a guide.

Overhang when adjusted to 10 ft. = 48"

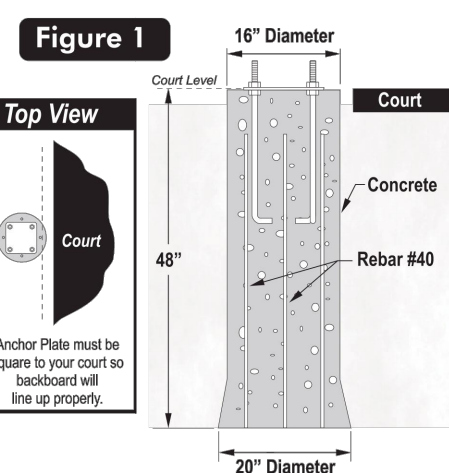
2. Assemble anchor system as follows. Thread nut (#35) to bottom of threads on anchor bolt (#39) insert threads of anchor bolt (#39) through hole on anchor plate (#38) and secure with nut (#35). Repeat this step for the remaining anchor bolts. See Figure 2. Note: Each leg of anchor bolts should face the anchor bolts to the right. See Detail A.

AS EACH LEG IS PLACED, CHECK FOR CLEARANCE REQUIRED

THESE NUTS ARE USED FOR LEVELING

Bottom View

Figure 2



**Note:** Using a concrete form for the top 4" of the concrete is recommended. Cardboard forms can be purchased at some hardware and home stores or a wooden form can be constructed out of 2 x 4's.

**Note:** Failure to dig and fill hole as instructed will result in increased system vibration.

3. Mix and pour concrete into hole. Follow instructions on concrete bag. Stop about 18" below court level.

4. Insert four reinforcement bars (#40) into concrete 8" apart creating a square in center on hole.

5. Place form in desired location and finish pouring concrete up to court level.

6. Push anchor system into concrete and agitate to work out voids in concrete. Immediately use a level to level and square anchor plate to playing surface. Clean off any concrete that may be on exposed threads.

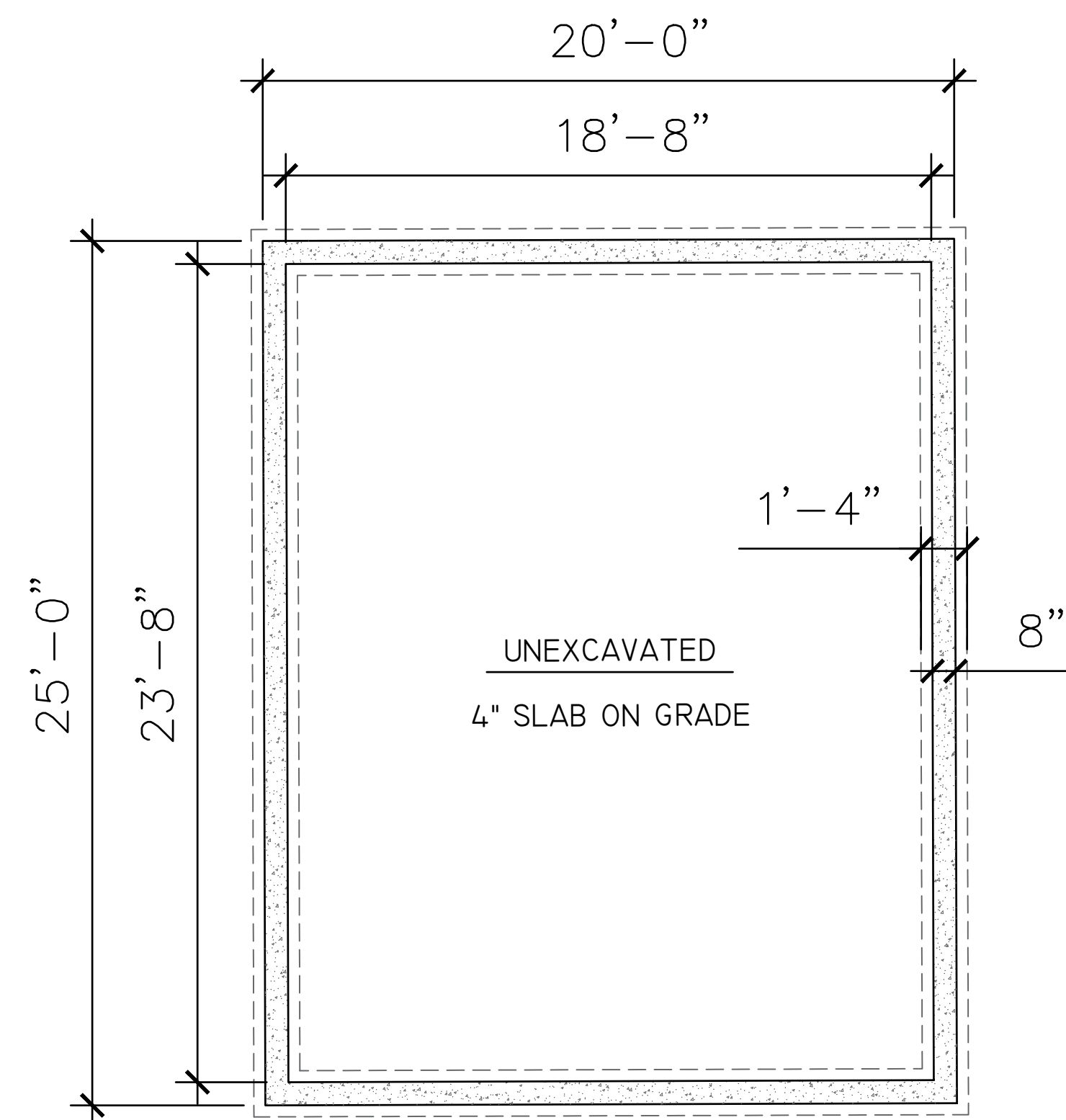
**Note:** The bottom four nuts will be forever embedded in concrete. The top four nuts remain on bolts and are used for leveling. (See Step 14 on page 10)

Let concrete stand for a MINIMUM of 72 hours.



**7.5'-10.0' TALL GOALRILLA BASKETBALL HOOP SYSTEM SPECIFICATIONS & ANCHORED BASE DETAILS**

SCALE: NOT TO SCALE



**PROPOSED SPORTS COURT FOUNDATION PLAN**

SCALE: 1/4"=1'-0"



**SOCKETED STOP THAT BALL™ - BALL STOP NET & POSTS [12FT HIGH] - 50FT**

50ft semi-permanent Stop That Ball™ system with removable ground sockets. Used for a wide range of sports, the durable ball stop net is ideal for backyards & clubs.

SKU: NT45010

Net Length:

50ft

**12' TALL 'SOCKETED STOP THAT BALL' BALL STOP NET & POSTS SYSTEM SPECIFICATIONS**

SCALE: NOT TO SCALE

ALL DIMENSIONS ARE TO BE FIELD VERIFIED

85 IVY WAY  
PORT WASHINGTON, NY 11050

COUNTY OF NASSAU  
STATE OF NEW YORK

BECKER  
RESIDENCE

SECTION 5  
BLOCK 72  
LOT 244

All Drawings, Specifications and the design expressed therein are the sole property of ASB Engineering, P.C. They are to be used only with respect to this Project and are not to be copied or reproduced without written permission of ASB Engineering, P.C.

ISSUED FOR:

BUILDING DEPT.

2 10.7.24 CHANGES AS PER DOB  
1 9.26.24 CHANGES AS PER DOB

PROJECT NO. 8-20-24

DATE AS NOTED

SCALE AS NOTED

DRAWN BY CS



1924 Bellmore Avenue  
Bellmore, New York 11710  
Phone: (516) 785-4200  
Fax: (516) 785-9148

SEAL:



LIC # 077439  
ANDREW S. BRAUM, P.E.  
1924 BELLMORE AVE. BELLMORE NY, 11710

DRAWING:  
BASKETBALL HOOP SYSTEM SPECIFICATIONS, NET SYSTEM SPECIFICATIONS, & SPORTS COURT FOUNDATION PLAN & DETAILS

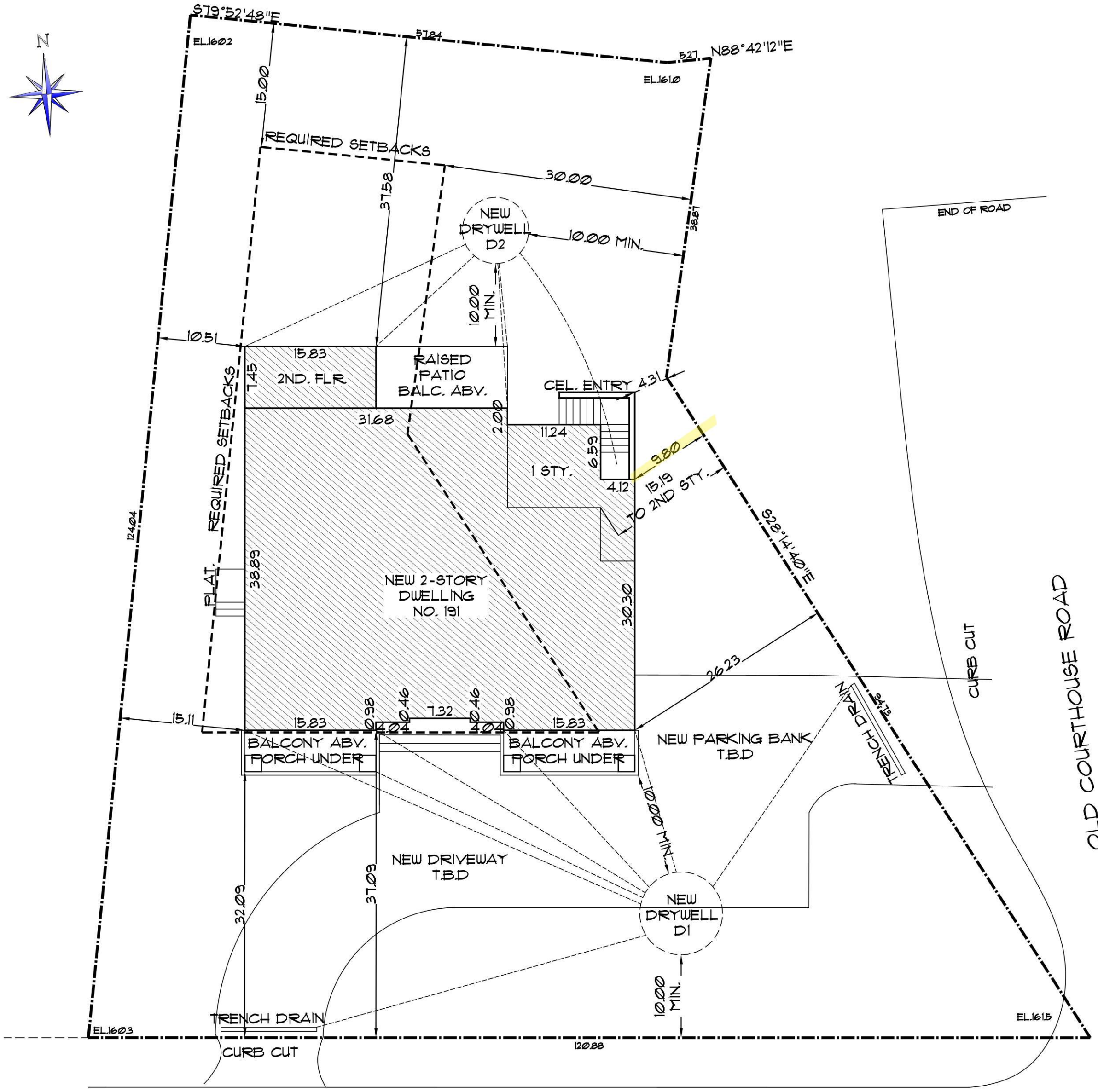
PROJECT:  
PROPOSED REAR YARD MASONRY RENOVATIONS

DRAWING No.

OD-3



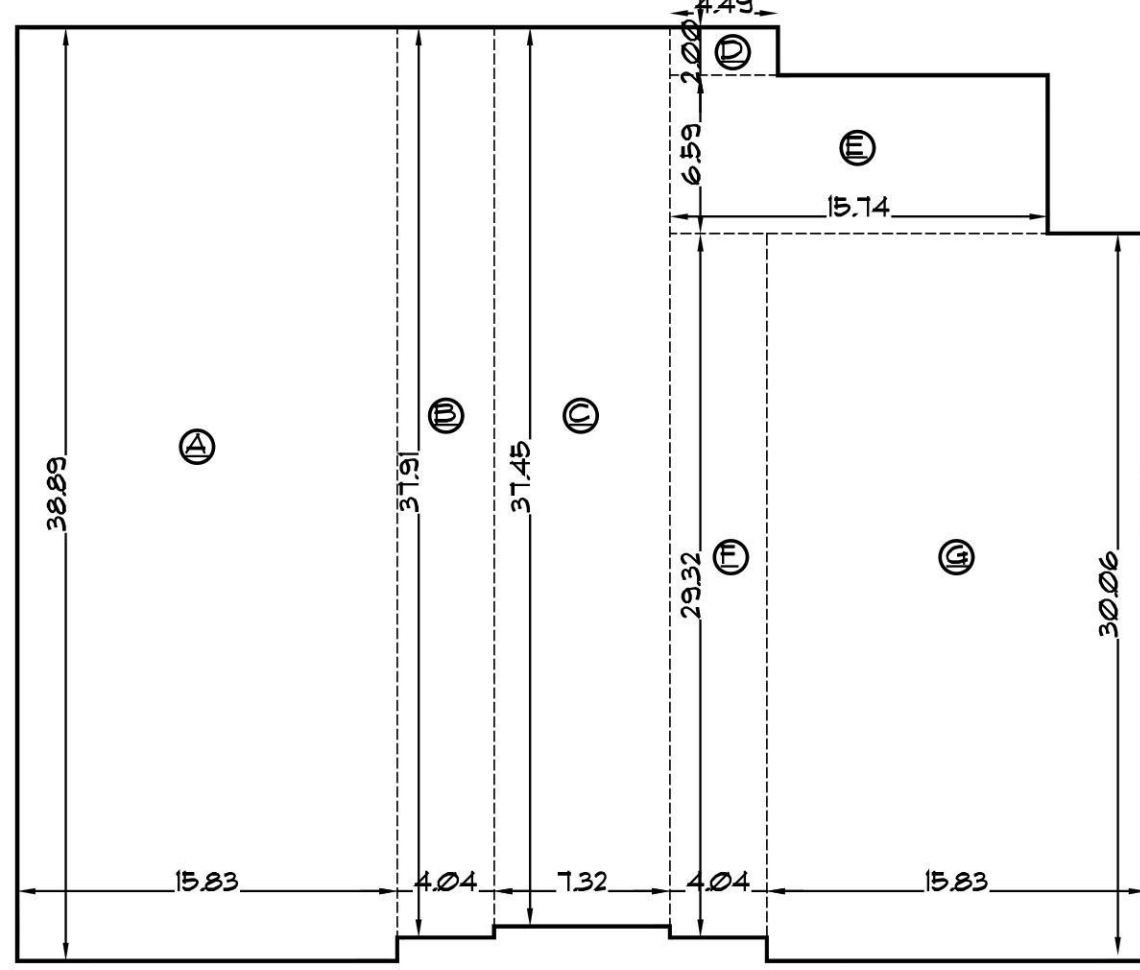




**1 PLOT PLAN**  
Z-1 SCALE: 3/32" = 1'-0"

TABLE R301(1)  
CLIMATE AND GEOGRAPHIC DESIGN CRITERIA  
NASSAU COUNTY

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMPERATURE
	SPEED (MPH)	TOPOGRAPHIC EFFECT	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
20 psf	130	YES	NO	N/A	B	SEVERE	3 FEET	MODERATE TO HEAVY	15°	YES	NO	YES	45°

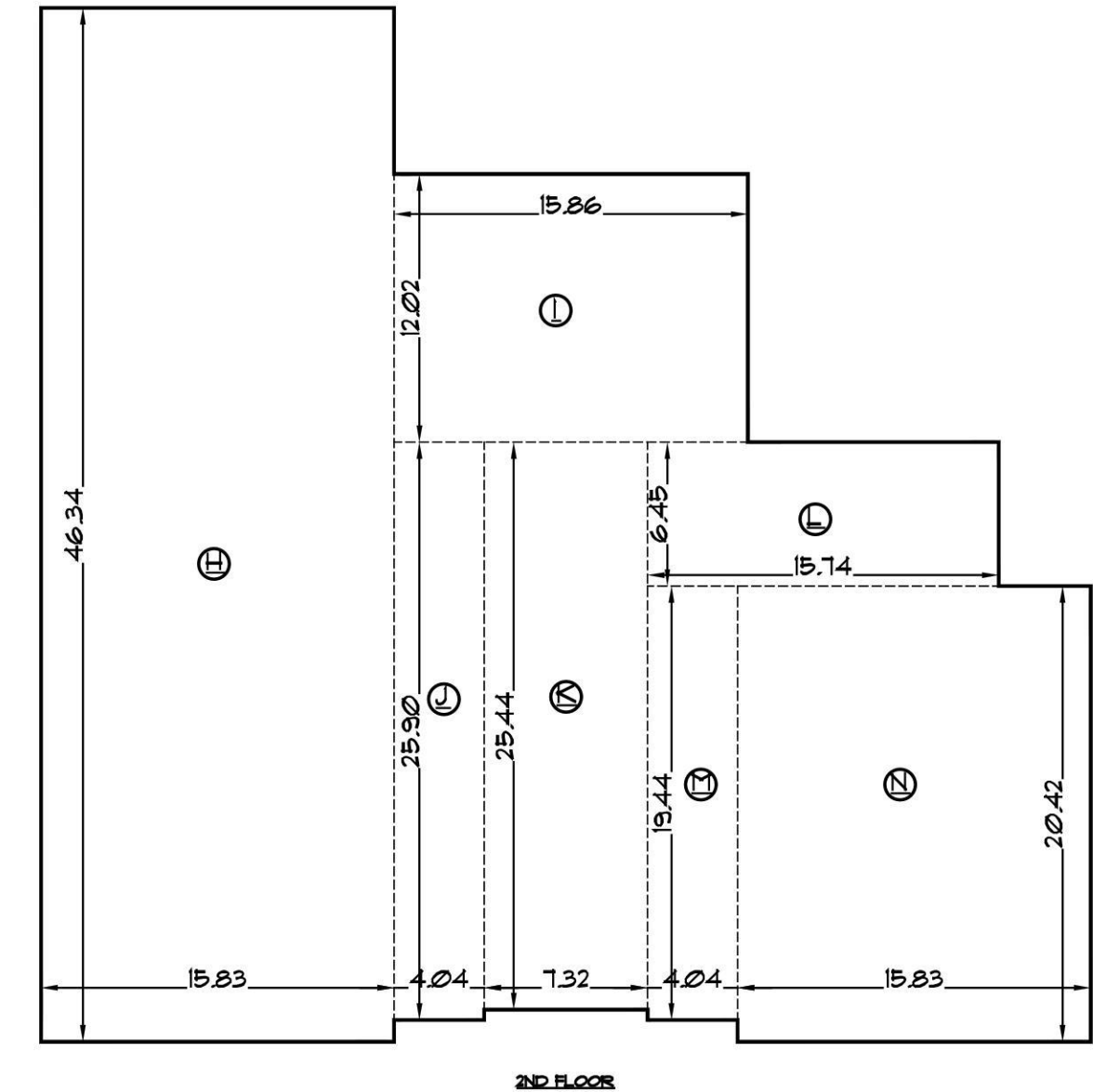


**FLOOR AREA BREAKDOWNS**

**PROP. 1ST FLOOR**  
 A = 15.83 FT. x 38.89 FT. = 615.63 SF.  
 B = 4.04 FT. x 31.91 FT. = 129.14 SF.  
 C = 7.32 FT. x 31.45 FT. = 230.27 SF.  
 D = 4.49 FT. x 2.00 FT. = 8.98 SF.  
 E = 15.74 FT. x 6.59 FT. = 103.73 SF.  
 F = 4.04 FT. x 29.32 FT. = 118.45 SF.  
 G = 15.83 FT. x 30.06 FT. = 475.85 SF.  
**TOTAL = 1,749.93 SF.**

**PROP. 2ND FLOOR**  
 H = 15.83 FT. x 46.34 FT. = 733.56 SF.  
 I = 15.86 FT. x 12.02 FT. = 190.64 SF.  
 J = 4.04 FT. x 25.90 FT. = 104.64 SF.  
 K = 7.32 FT. x 25.44 FT. = 186.22 SF.  
 L = 15.74 FT. x 6.45 FT. = 101.52 SF.  
 M = 4.04 FT. x 19.44 FT. = 78.54 SF.  
 N = 15.83 FT. x 20.42 FT. = 323.25 SF.  
**TOTAL = 1,718.31 SF.**

**TOTAL FLOOR AREA**  
 1,749.93 SF. + 1,718.31 SF. = **3,468.24 SF.**



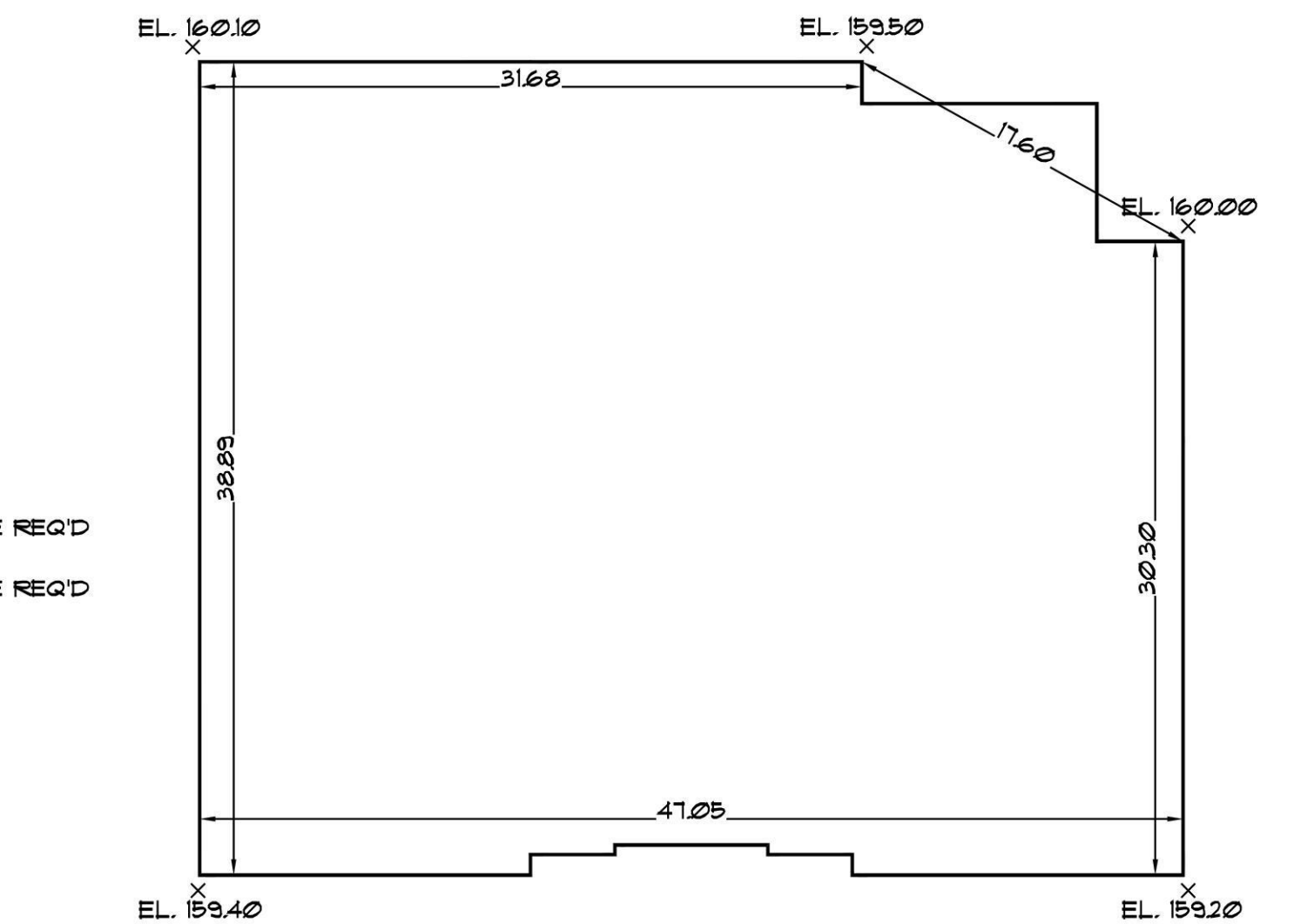
**2 FLOOR AREA DIAGRAMS**  
Z-1 SCALE: 1/8" = 1'-0"

**ZONING ANALYSIS**  
191 EXECUTIVE DRIVE  
NEW HYDE PARK, NY 11040

TOWN OF NORTH HEMPSTEAD  
RESIDENCE: R-A  
SECTION: 8, BLOCK: 280, LOT: 18

ISSUE	REQUIRED/ PERMITTED	EXISTING	PROPOSED	
LOT AREA	9,500 SF.	9,825 SF.	9,825 SF. (NO CHANGE)	
LOT WIDTH	65.0 FT.	91.94 FT.	91.94 FT. (NO CHANGE)	
LOT COVERAGE	25% = 2,456.25 SF.	N/A	19.25% = 1,871.36 SF.	
FLOOR AREA	36% = 3,531 SF.	N/A	35.30% = 3,468.24 SF.	
FRONT YARD (EXECUTIVE DRIVE)	AFY9B = 36.85 FT.	N/A	31.09 FT./32.09 FT. TO ROOF OVR.	VARIANCE REQ'D
FRONT YARD SECONDARY (OLD COURTHOUSE)	30 FT.	9.80	9.80 FT. (NO CHANGE) 4.31 FT. TO CEL. ENTRY	VARIANCE REQ'D
MIN. SIDE YARD	10.0 FT.	N/A	10.51 FT. TO 2ND STY.	
MIN. REAR YARD	15.0 FT.	N/A	31.58 FT.	
MAX BUILDING HEIGHT	2 1/2 STY./ 30.0 FT.	N/A	29.25 FT.	

- SITE NOTES:**
- SURVEYOR SHOULD STAKE-OUT ALL PROPOSED WORK AND PROVIDE A FOUNDATION SURVEY TO THE ARCHITECT AND BUILDING DEPARTMENT UPON COMPLETION OF THE FOUNDATION BEFORE PROCEEDING WITH FRAMING CONSTRUCTION. ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
  - REPAIR AND/OR REPLACE DAMAGED SIDEWALKS, CURBS, STREET PAVING AND CURB CUTS AS PER DEPT. OF PUBLIC WORKS REQUIREMENTS.
  - SEE PLANS FOR ALL DRYWELL CALCULATIONS/DETAILS AND SIZING.
  - SOIL EROSION & ADJACENT PROPERTY PROTECTION - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES FROM SOIL EROSION WHERE REQUIRED, PROVIDE HAY BALES RECESSED 4" (MINIMUM) BELOW GRADE AND STAKED ALONG WITH 8 1/2" FENCE. LOCATION AND EXTENT OF FENCE AND HAY BALES SHALL BE DETERMINED AND COORDINATED IN THE FIELD AND APPROVED BY THE BUILDING INSPECTOR. SEE DETAILS.



**3 PRE-EXISTING AVERAGE GRADE CALCULATION**  
Z-1 SCALE: 1/8" = 1'-0"

**AVERAGE GRADE CALCULATION**

16.010 x 15.940 = 319.50 / 2 = 15.975 x 38.89' = 621.68
15.940 x 15.920 = 319.80 / 2 = 15.930 x 47.05' = 749.57
15.920 x 16.000 = 319.20 / 2 = 15.960 x 30.30' = 483.58
16.000 x 15.950 = 319.50 / 2 = 15.975 x 17.60' = 281.16
15.950 x 16.010 = 319.60 / 2 = 15.980 x 31.68' = 506.24
<b>TOTALS</b> 1655.2' 26,417.69
26,417.69 / 1655.2' = <b>15.980'</b>
<b>PREEXISTING AVG. GRADE = 15.980'</b>

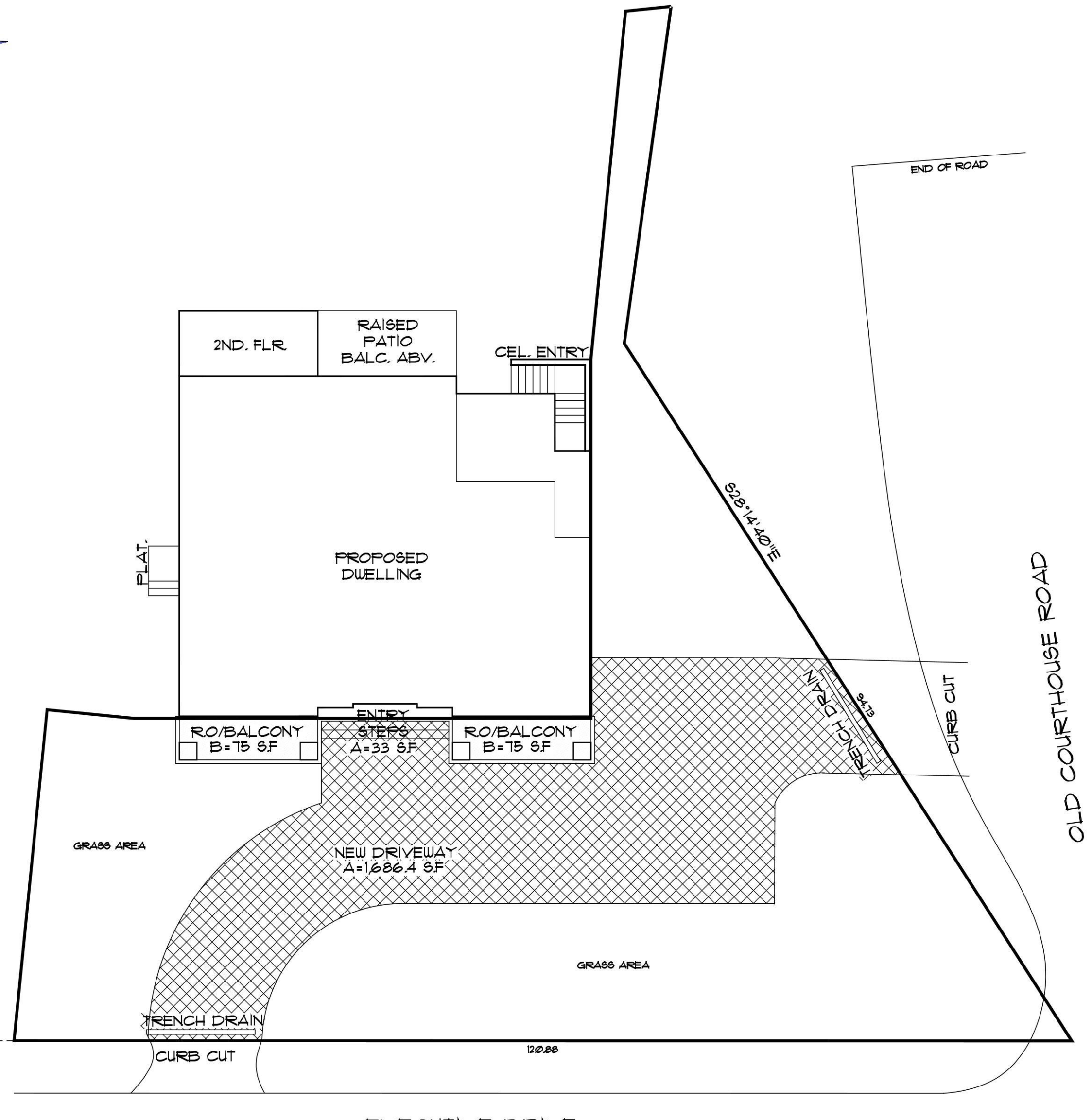
**FRONT YARD PAVING CALCULATION**

TOTAL FRONT YARD AREA: 4,811 SF.

A = 1719 SF. DRIVEWAY/ENTRY STEPS (IMPERVIOUS SURFACE)  
 B = 150 SF. RO/BALCONIES (IMPERVIOUS SURFACE)

TOTAL FRONT YARD PAVING SURFACE AREA = 1,869 SF.

MAXIMUM ALLOWED = 1,950 SF. (40%)  
 1,869 / 1,950 = 0.958 x 100 = **38.3%**



**4 FRONT YARD PAVING CALCULATIONS**  
Z-1 SCALE: 1/8" = 1'-0"

NOTES  
**DISAPPROVED**  
Nicholas Vissicelli  
07/29/2024

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**RBP24-000607**

**SUBMISSIONS**

#	DATE	DESCRIPTION
1	06.20.24	INITIAL SUBMISSION
2	07.17.24	RESUBMISSION
3	07.26.24	RESUBMISSION

EST. - 2009

# JM

JARED MANDEL ARCHITECTS

25 HILLSIDE AVE.  
WILLISTON PARK - N.Y.  
P: 516 - 629 - 9060  
F: 516 - 750 - 9008  
Email: Info@Mandelarchitects.com



PRIVATE RESIDENCE  
191 EXECUTIVE DRIVE  
NEW HYDE PARK, NY 11040

PAGE CONTENTS:  
PLOT PLAN, ZONING

APPLICATION #:

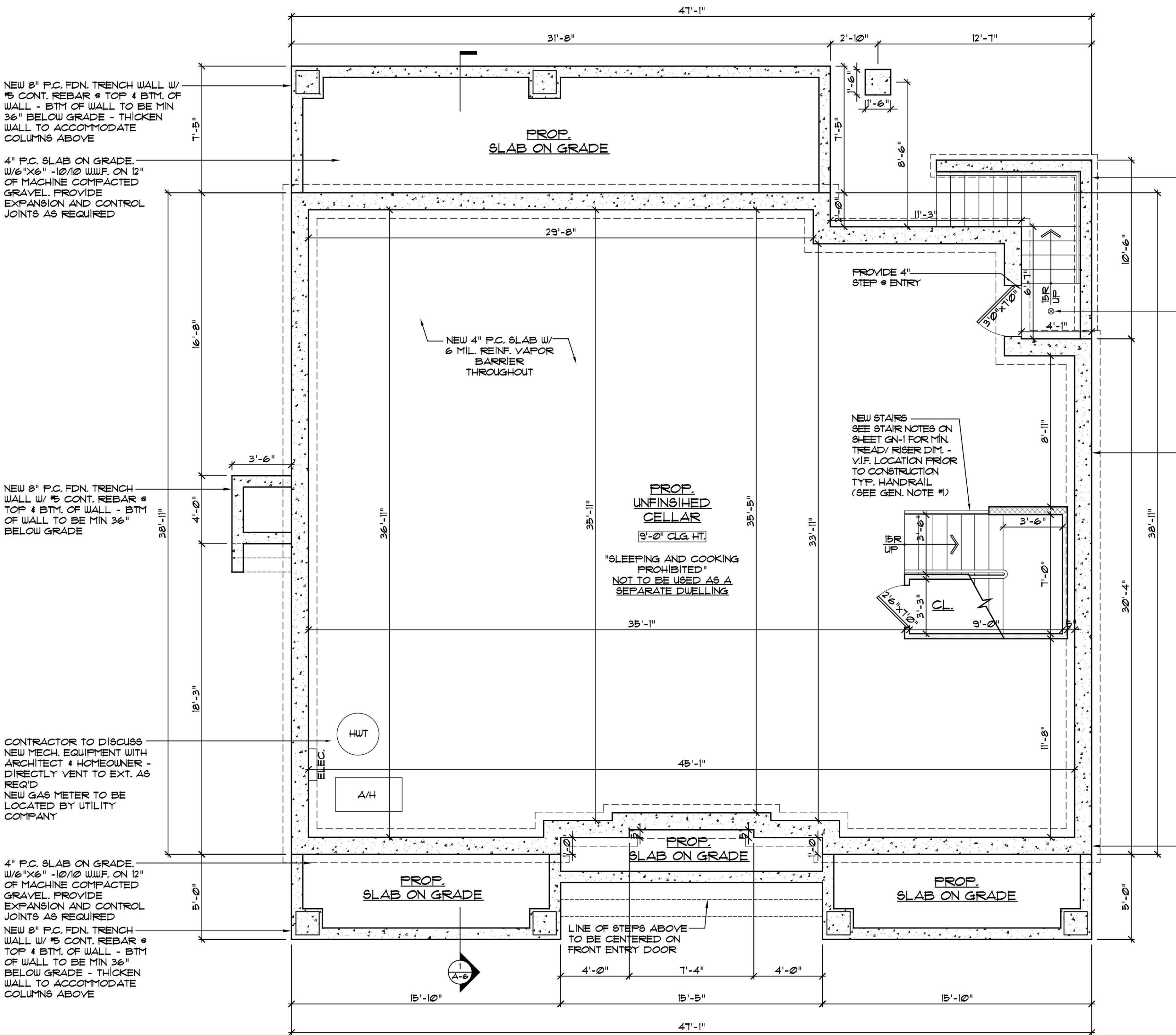
DRAWN BY: R.H. CHECKED BY: J.M.

PROJECT #: 24006 SHEET NUMBER:  
**Z-1**

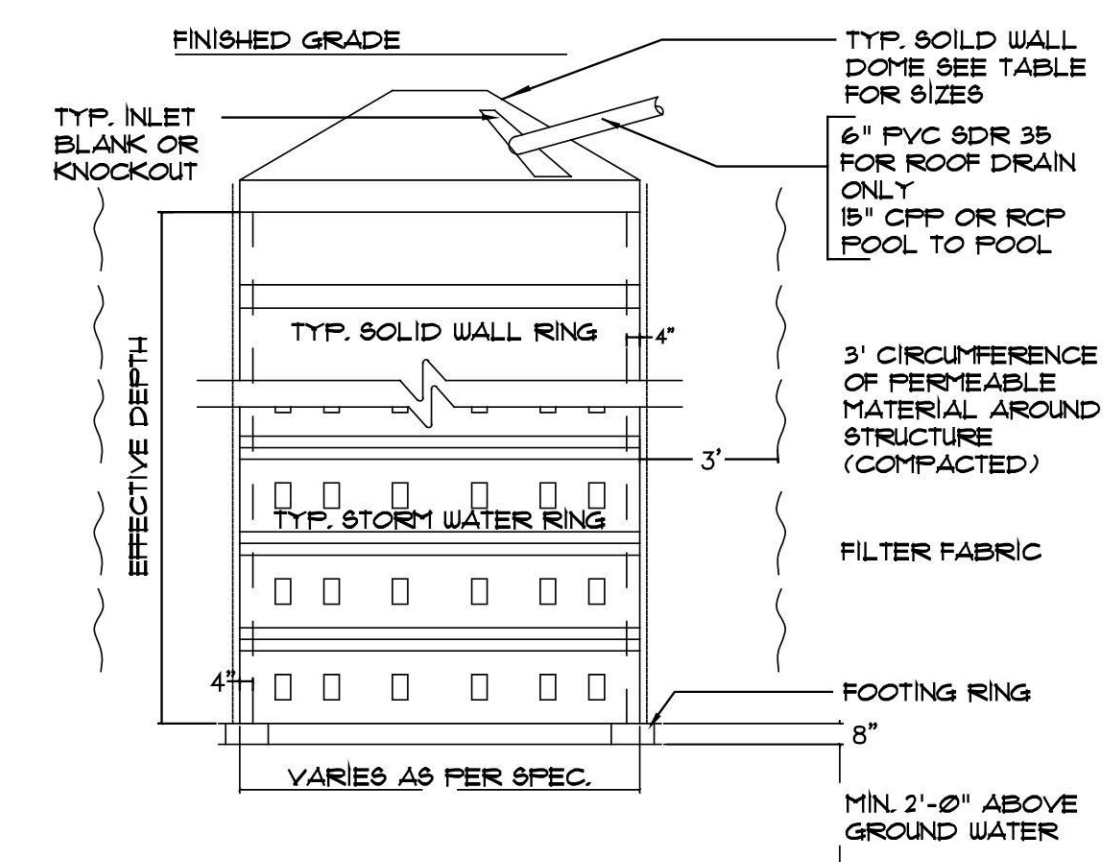
DATE: 06.14.2024

SCALE: AS NOTED





1 PROPOSED FOUNDATION PLAN  
A-1 SCALE: 1/4" = 1'-0"



4 TYPICAL DRYWELL DETAIL  
A-1 SCALE: N.T.S.

STORM WATER DRAINAGE CALCULATIONS

REQUIRED LEACHING POOLS:	
D1	D2
RAINFALL: 25" x 2000 FT	RAINFALL: 25" x 2000 FT
PROP. 2 STORY DWELLING PROP. BALCONIES, DRIVEWAY 2,920 SF. X 200" = 607,360 CF.	PROP. 2 STORY DWELLING PROP. BALCONY, CELLAR ENTRY 124,425 X 200" = 233,880 CF.
TOTAL REQUIRED = 607,360 CF.	TOTAL REQUIRED = 233,880 CF.
PROVIDED VOLUME (STORM WATER RINGS)	
(1) 10'-0" x 5'-0" x 4'-0" = 1 x 213,600 CF.	(1) 8'-0" x 5'-0" x 4'-0" = 1 x 121,100 CF.
(1) 10'-0" x 5'-0" x 4'-0" = 1 x 213,600 CF.	(1) 8'-0" x 5'-0" x 4'-0" = 1 x 121,100 CF.
TOTAL PROVIDED = 434,700 CF.	TOTAL PROVIDED = 242,200 CF.
TYP. PLAN SPECIFICATION	
10'-0" DIA. LEACHING POOL W/ (1) 5'-0" x (1) 4'-0" STORM RINGS	8'-0" DIA. LEACHING POOL W/ (1) 5'-0" x (1) 4'-0" STORM RINGS

- GENERAL NOTE #1  
MIN. 34"-38" HT. CONTINUOUS HANDRAIL FOR ALL BALCONIES & ENTIRE LENGTH OF STAIRS. GUARDS REQ'D ON OPEN SIDES OF STAIRS WHICH DO NOT ALLOW THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIAMETER AS PER RCNY 2020 (TYPICAL)
- GENERAL NOTE #2  
ALL NEW WINDOWS SPECIFIED ARE ANDERSEN 400 SERIES. ANY CHANGES IN SPECIFICATIONS OR MANUFACTURER CONTRACTOR TO REVIEW AND SPECIFY COMPARABLE PRODUCT W/ OWNER
- GENERAL NOTE #3  
24" x 36" FULL DOWN ATTIC STAIR INSULATE AND SEAL ALL PENETRATIONS AS REQ.
- GENERAL NOTE #4  
ALL PROPOSED EXTERIOR WALLS TO BE 2x6 UNLESS OTHERWISE SPECIFIED.
- GENERAL NOTE #5  
EXTERIOR DIMENSIONS ARE PROVIDED TO FRAMING.

WALL LEGEND

	PORTION OF EXISTING WALL TO REMAIN
	NEW 2"x4" STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. (UON)
	NEW 2"x6" INT. STUD WALL @ 16" O.C. W/ 5/8" GYP. BD.
	NEW 2"x6" EXT. STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. (UON) W/ R-21 INSULATION
	2"x BEARING WALL
	NEW 12" P.C. FDN. WALL ON A 24"x12" DEEP FTG. (SIZES VARY AS PER PLAN)



\*CONTRACTOR SHALL CONTACT 811 PRIOR TO ANY EXCAVATION IN ACCORDANCE W/ 16 NYCRR PART 173 - PROTECTION OF UNDERGROUND FACILITIES\*

© SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER R314, R315

NOTES  
**DISAPPROVED**  
Nicholas Vissicelli  
07/29/2024

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**RBP24-000607**

SUBMISSIONS

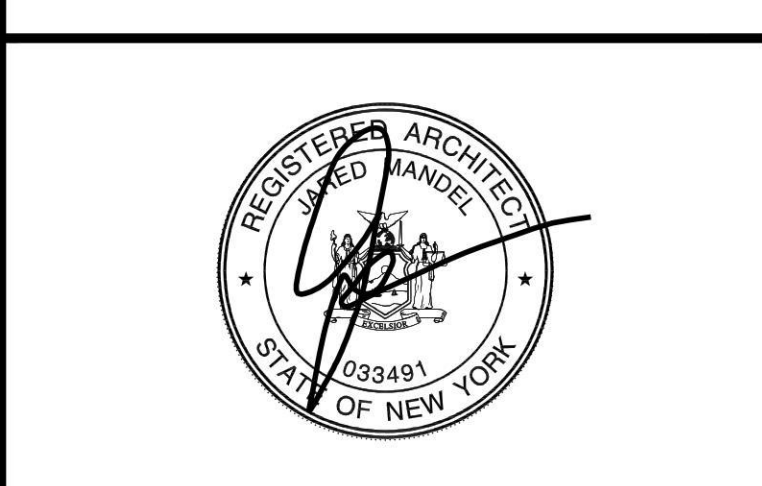
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EST. - 2009

# JM

JARED MANDEL ARCHITECTS

25 HILLSIDE AVE.  
WILLISTON PARK - N.Y.  
P: 516 - 629-9060  
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PRIVATE RESIDENCE  
191 EXECUTIVE DRIVE  
NEW HYDE PARK, NY 11040

PAGE CONTENTS:

PROPOSED FOUNDATION PLAN, NOTES	APPLICATION #:
DRAWN BY: R.H.	CHECKED BY: J.M.
PROJECT #: 24006	SHEET NUMBER: A-1
DATE: 06.14.2024	SCALE: AS NOTED

NOTES  
**DISAPPROVED**

Nicholas Vissichelli  
07/29/2024

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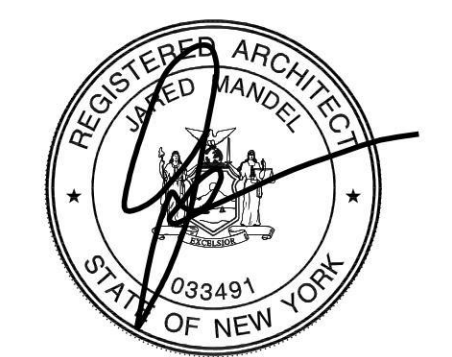
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**JM**

JARED MANDEL  
ARCHITECTS

25 HILLSIDE AVE.  
WILLISTON PARK - N.Y.  
P: 516 - 629-9060  
F: 516 - 750-9008  
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PAGE CONTENTS:  
PROPOSED FLOOR PLANS

APPLICATION #:

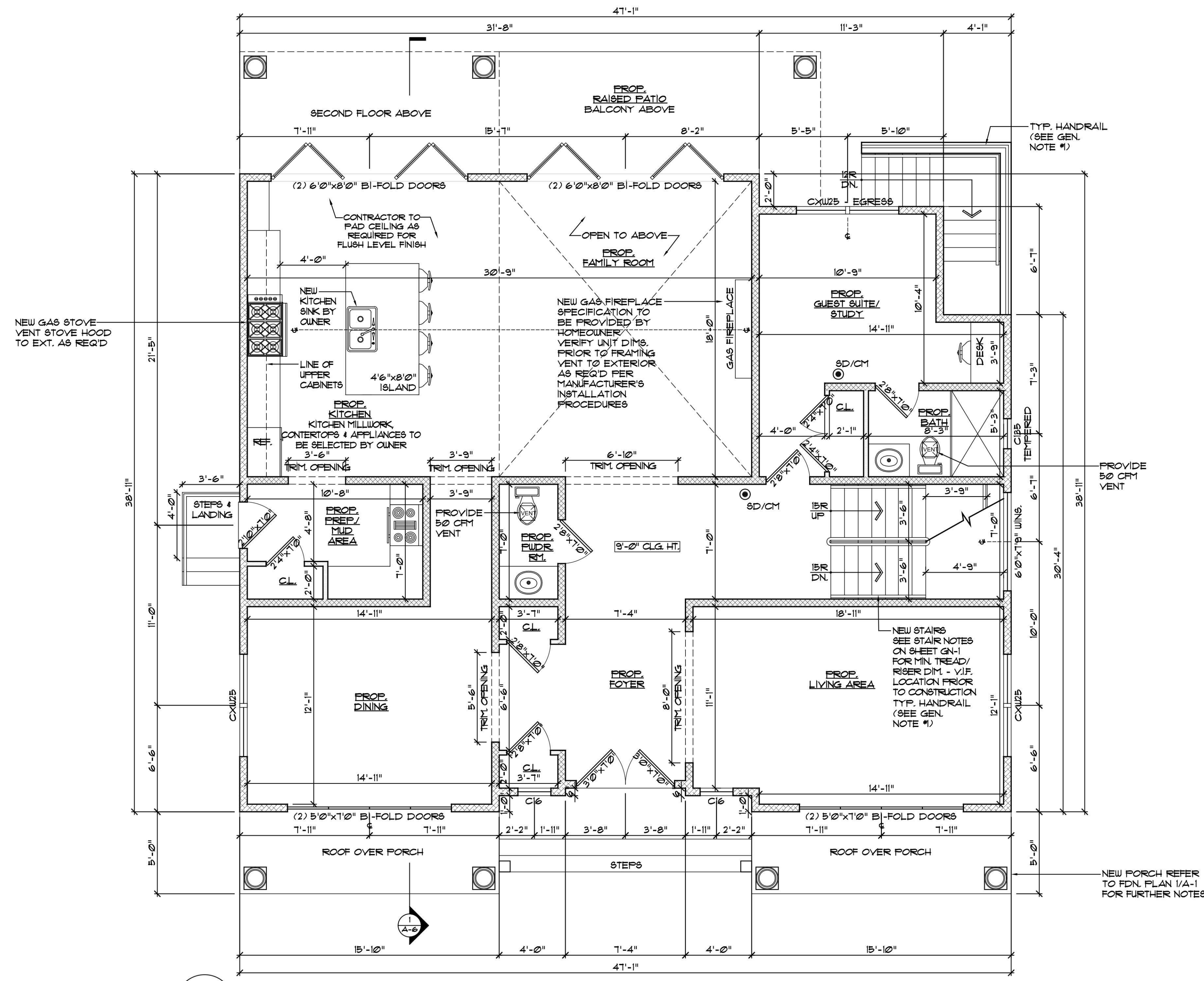
DRAWN BY: R.H. CHECKED BY: J.M.

PROJECT #: 24006 SHEET NUMBER

DATE: 06.14.2024

SCALE: AS NOTED

**A-2**



1 PROPOSED FIRST FLOOR PLAN  
A-2 SCALE : 1/4" = 1'-0"

GENERAL NOTE #1  
MIN. 34"-38" HT. CONTINUOUS HANDRAIL FOR ALL BALCONIES & ENTIRE LENGTH OF STAIRS. GUARDS REQ'D ON OPEN SIDES OF STAIR WHICH DO NOT ALLOW THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIAMETER, AS PER RCNY'S 2020 (TYPICAL)

GENERAL NOTE #2  
ALL NEW WINDOWS SPECIFIED ARE ANDERSEN 400 SERIES. ANY CHANGES IN SPECIFICATIONS OR MANUFACTURER, CONTRACTOR TO REVIEW AND SPECIFY COMPARABLE PRODUCT W/ OWNER

GENERAL NOTE #3  
24" x 36" FULL DOWN ATTIC STAIR INSULATE AND SEAL ALL PENETRATIONS AS REQ.

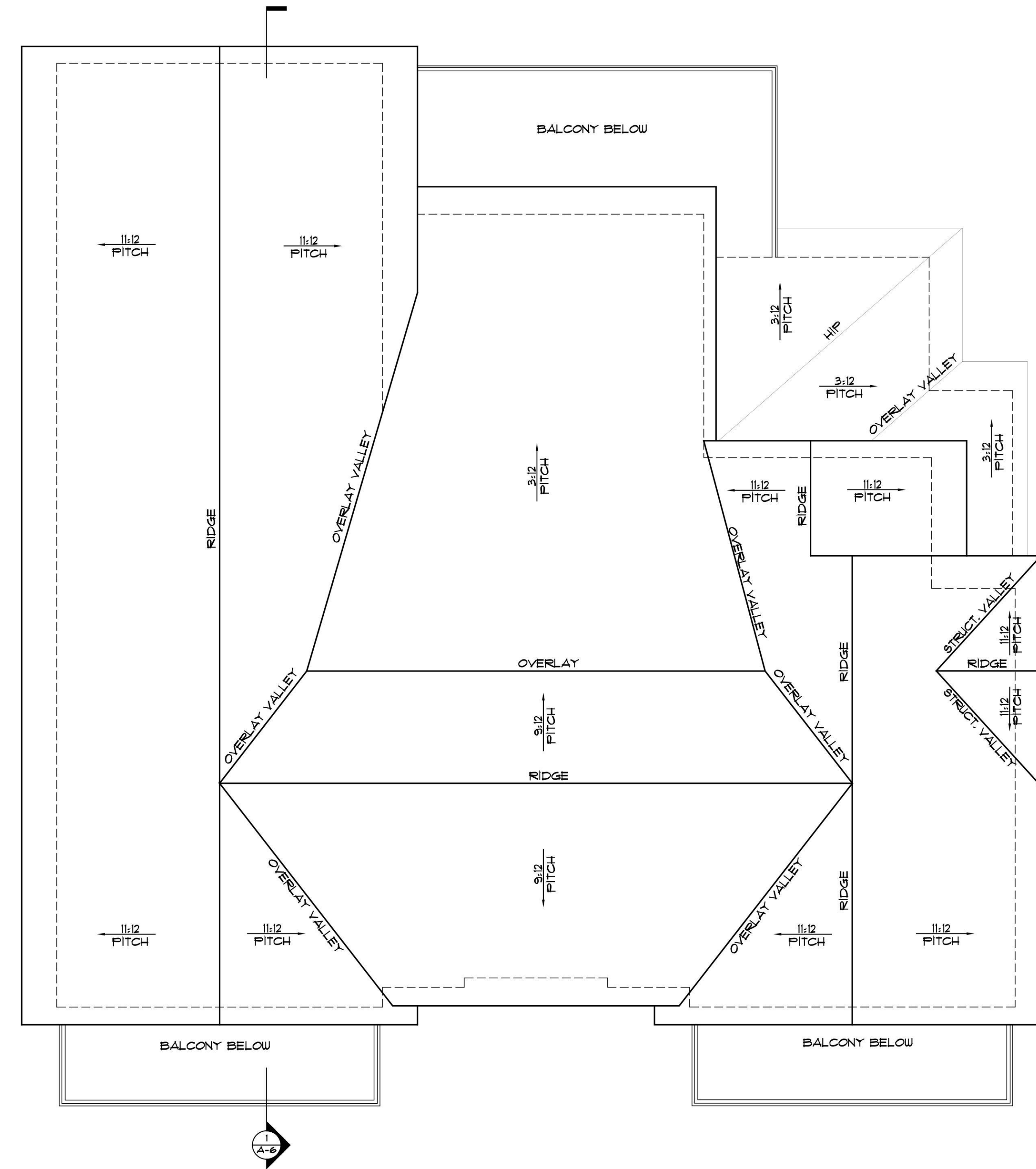
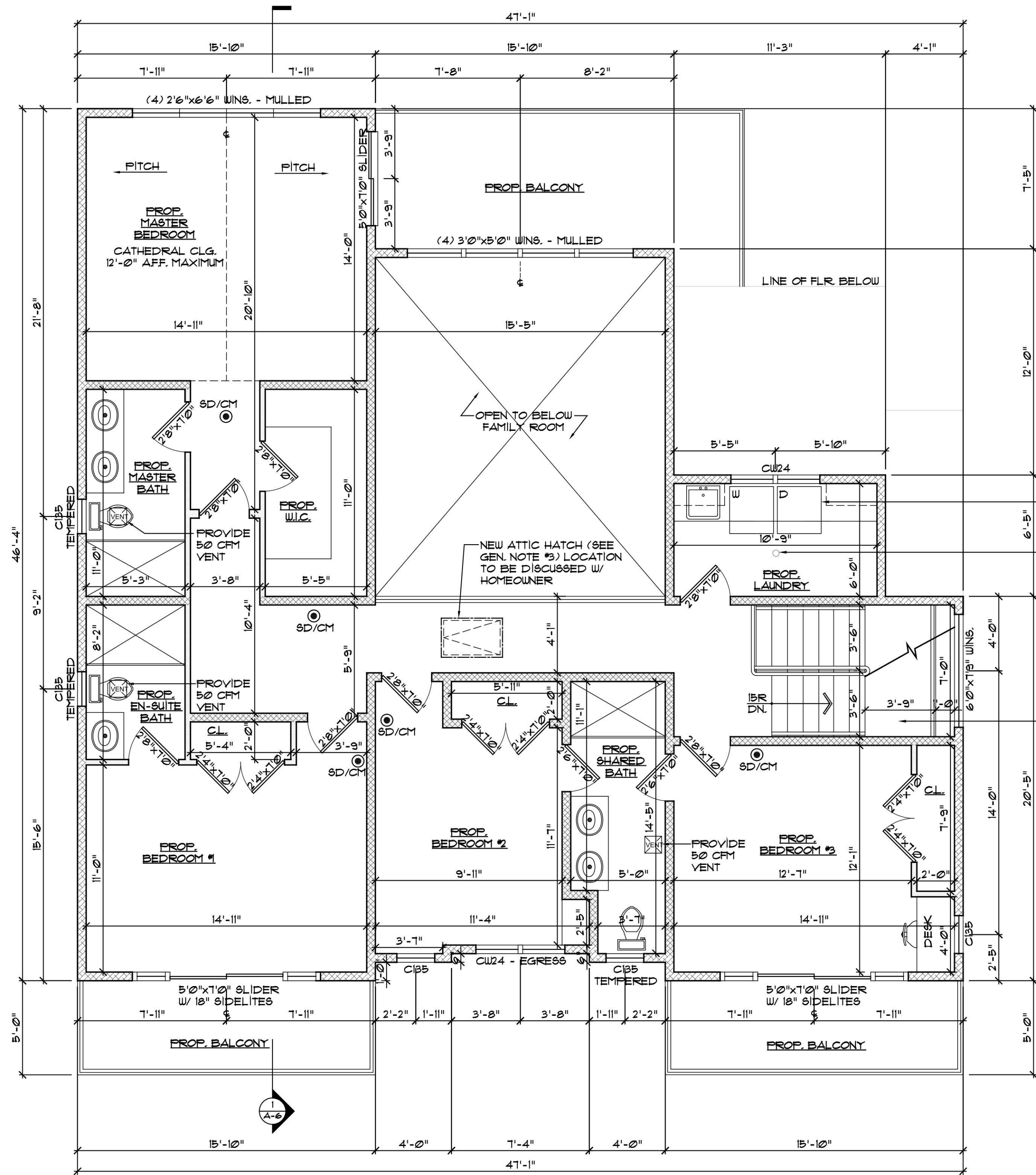
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	NEW 12" P.C. FDN. WALL ON A 24"x12" DEEP FTG. (SIZES VARY AS PER PLAN)

SD/CM SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER R314, R315



1 PROPOSED SECOND FLOOR PLAN  
A-3 SCALE : 1/4" = 1'-0"

2 PROPOSED ROOF PLAN  
A-3 SCALE : 1/4" = 1'-0"

- GENERAL NOTE #1**  
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SD/CM SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER R314, R315

NOTES  
**DISAPPROVED**  
Nicholas Vissichelli  
07/29/2024

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**RBP24-000607**

**SUBMISSIONS**

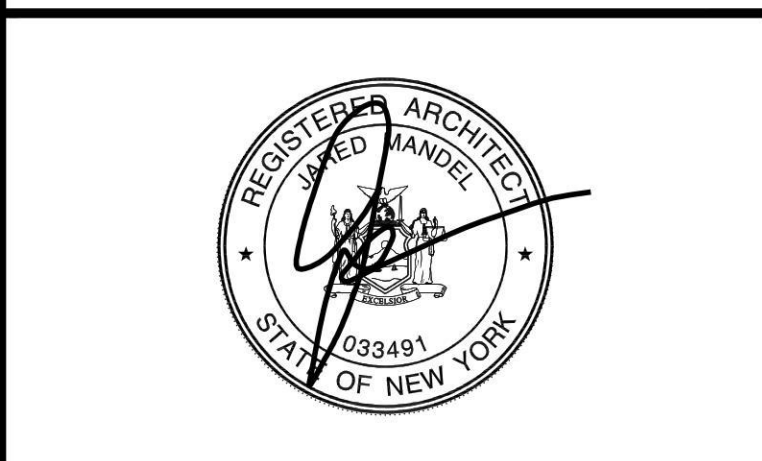
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25 HILLSIDE AVE.  
WILLISTON PARK - N.Y.  
P: 516-629-9060  
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PAGE CONTENTS:  
PROPOSED FLOOR PLANS, ROOF PLAN

APPLICATION #:

DRAWN BY: R.H. CHECKED BY: J.M.

PROJECT #: 24006 SHEET NUMBER: A-3

DATE: 06.14.2024

SCALE: AS NOTED

NOTES  
**DISAPPROVED**

Nicholas Vissichelli  
07/29/2024

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**RBP24-000607**



1 PROPOSED FRONT ELEVATION  
A-4 SCALE : 1/4" = 1'-0"



2 PROPOSED RIGHT ELEVATION  
A-4 SCALE : 1/4" = 1'-0"

SUBMISSIONS

#	DATE	DESCRIPTION
1	06.20.24	INITIAL SUBMISSION
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PAGE CONTENTS:

EXTERIOR ELEVATIONS

APPLICATION #: \_\_\_\_\_

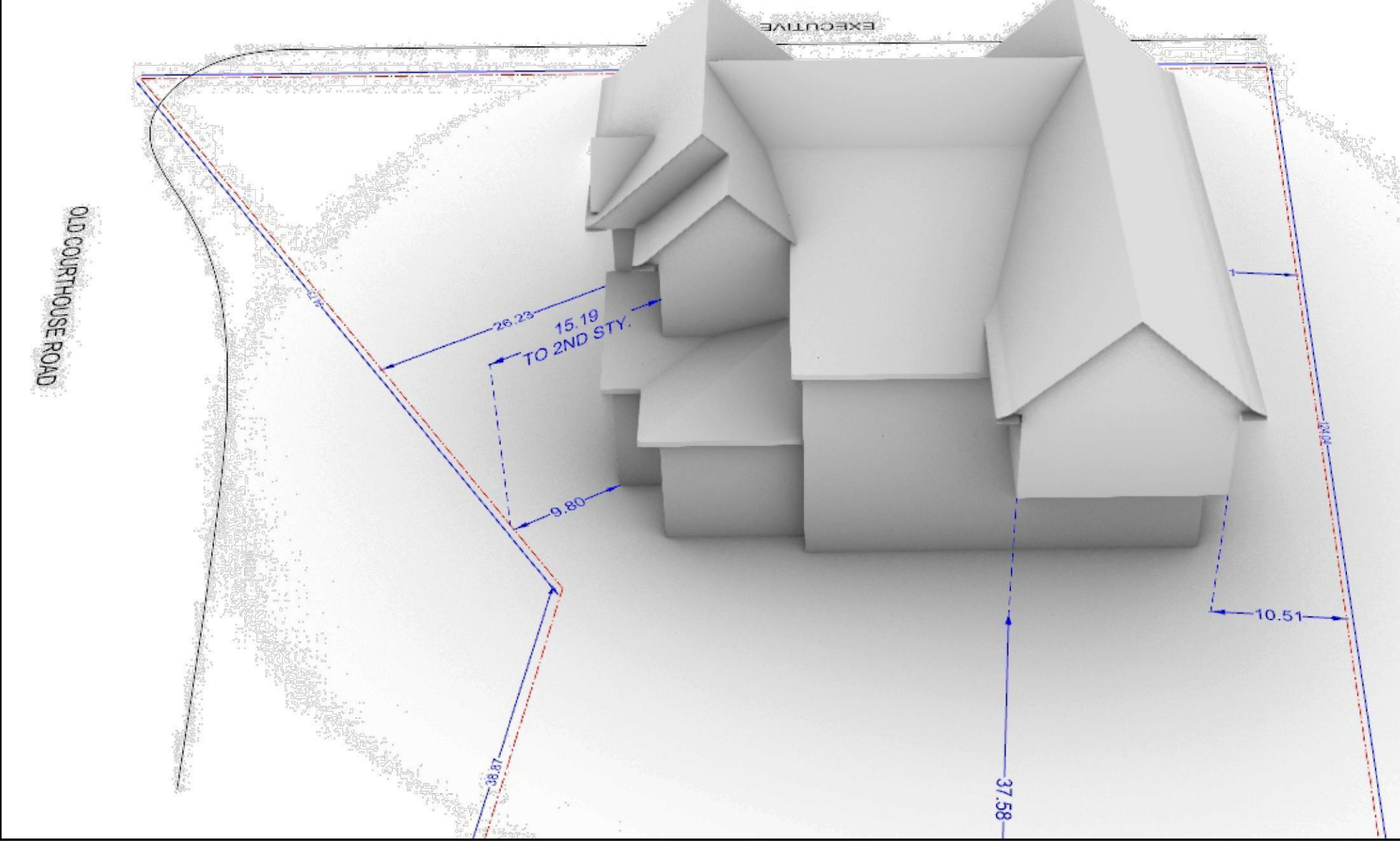
DRAWN BY: R.H. CHECKED BY: J.M.

PROJECT #: 24006 SHEET NUMBER: A-4

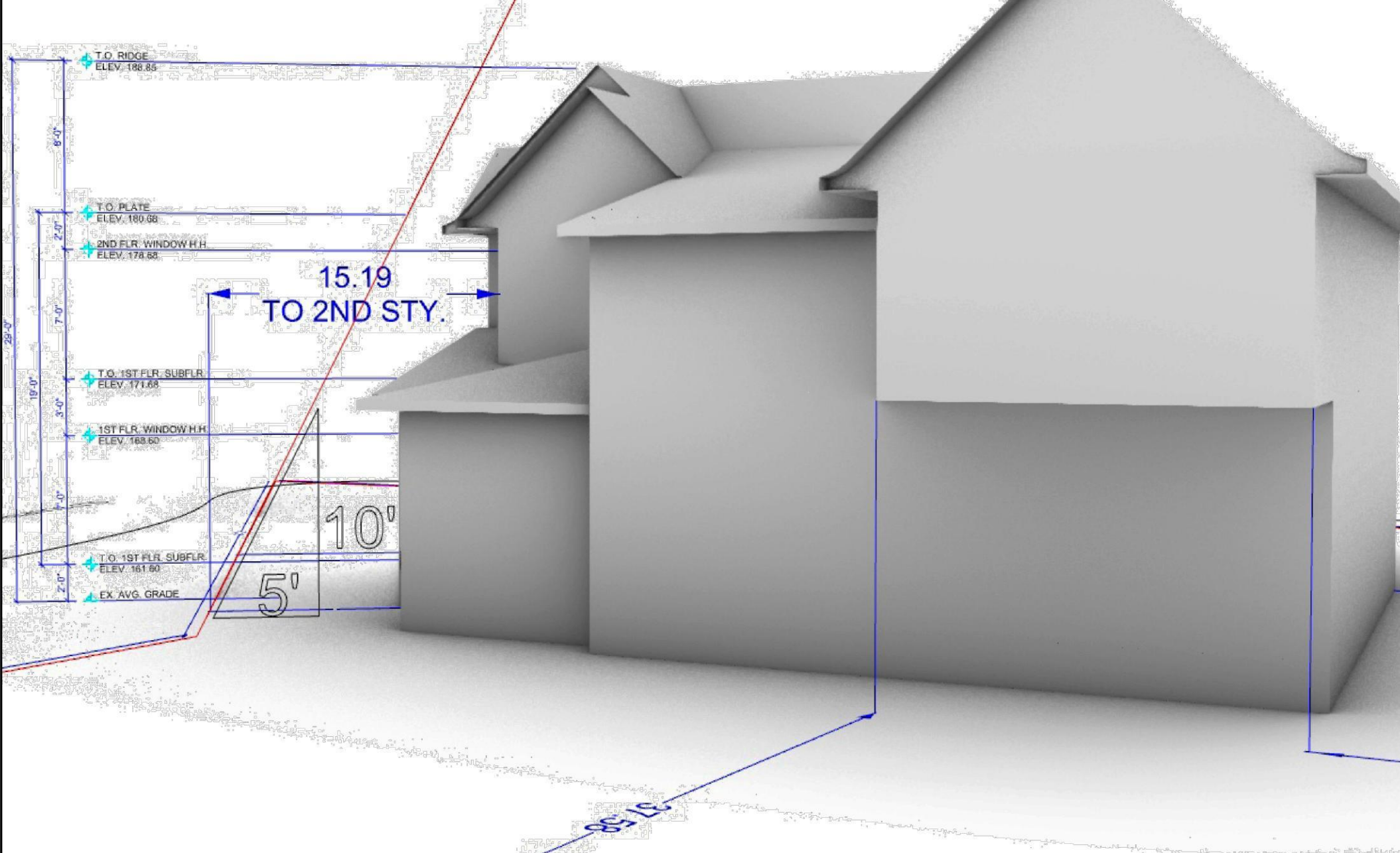
DATE: 06.14.2024

SCALE: AS NOTED

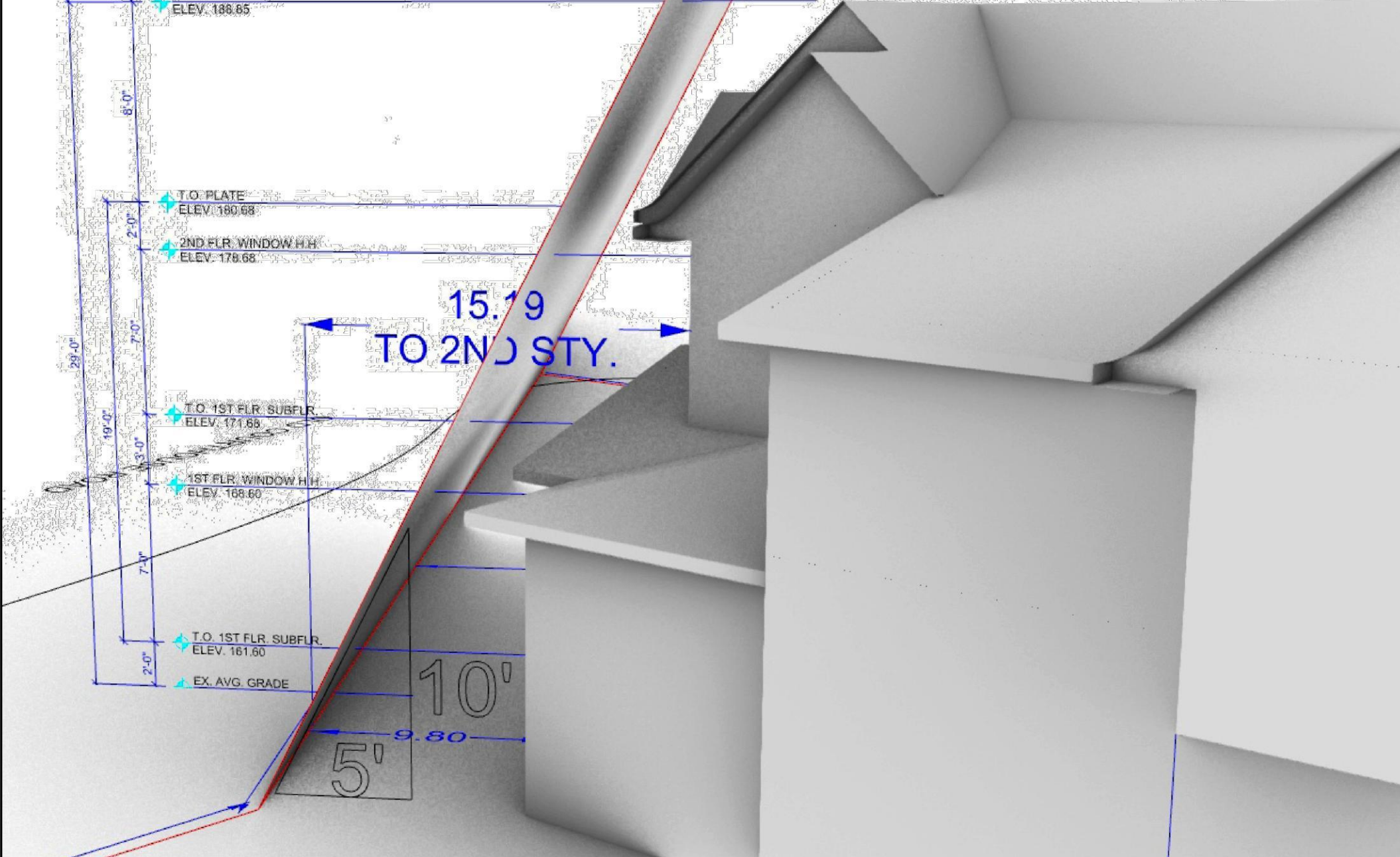
**SITE AERIAL  
REAR VIEW**



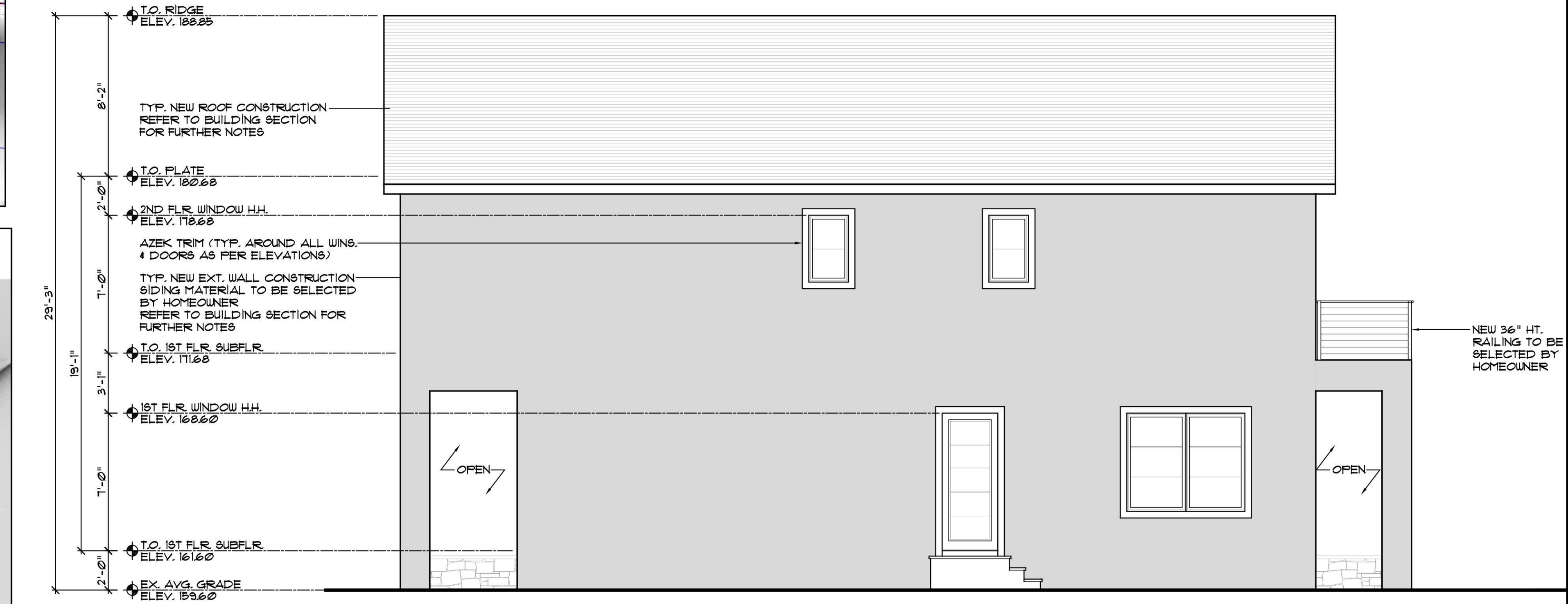
**SKY EXPOSURE PLANE  
ELEVATIONS + CLIPPING PLANE**



**SKY EXPOSURE PLANE  
CLIPPING PLANE VIEW**



1 PROPOSED REAR ELEVATION  
A-5 SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION  
A-5 SCALE: 1/4" = 1'-0"

**NOTES  
DISAPPROVED**

Nicholas Vissichelli  
07/29/2024

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the provisions of the Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**RBP24-000607**

**SUBMISSIONS**

#	DATE	DESCRIPTION
1	06.20.24	INITIAL SUBMISSION
2	07.17.24	RESUBMISSION
3	07.26.24	RESUBMISSION

EST. - 2009

# JM

JARED MANDEL  
ARCHITECTS

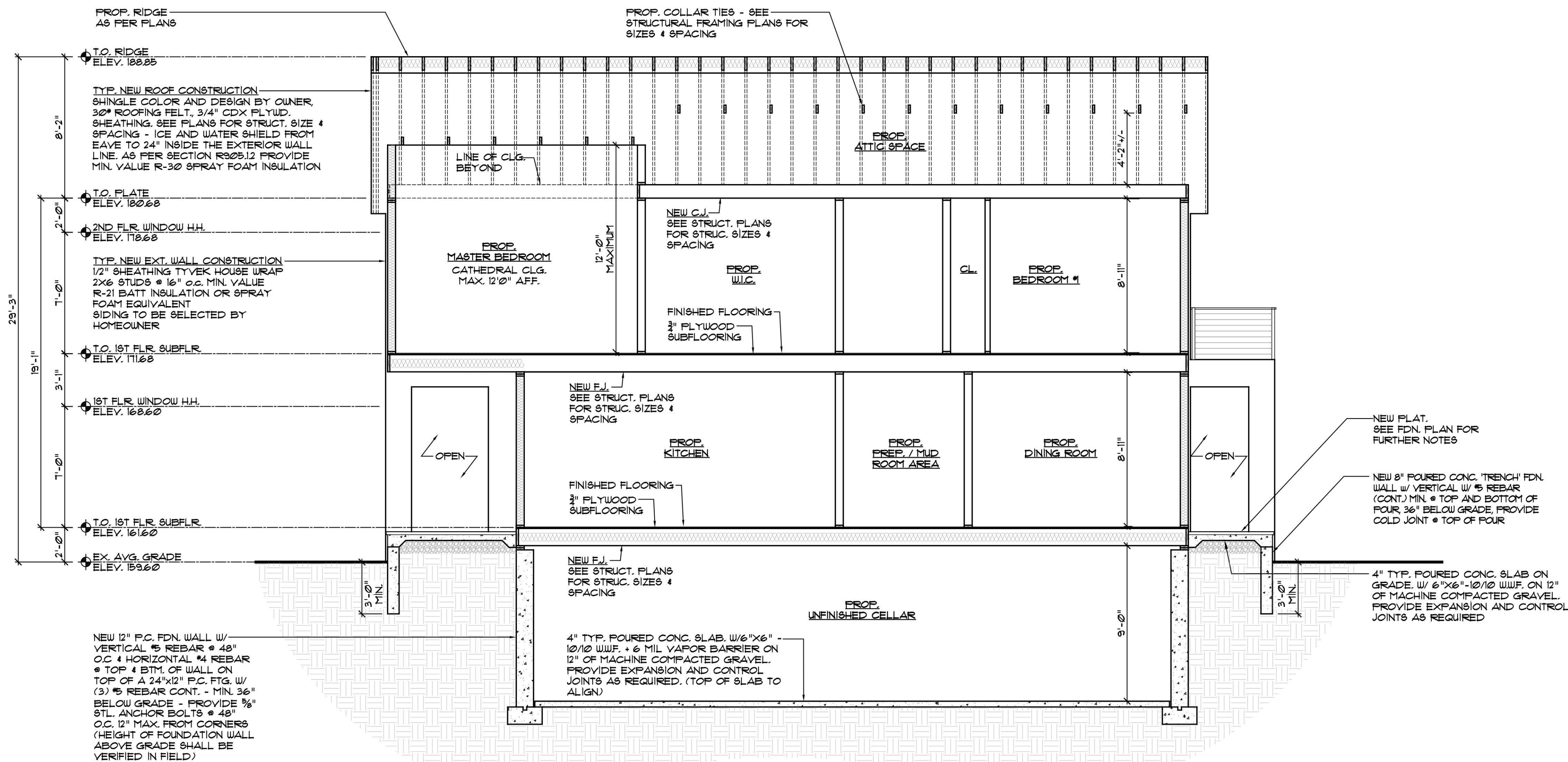
25 HILLSIDE AVE.  
WILLISTON PARK - N.Y.  
P: 516 - 629-9060  
F: 516 - 750-9008  
Email: Info@Mandelarchitects.com



PRIVATE RESIDENCE  
191 EXECUTIVE DRIVE  
NEW HYDE PARK, NY 11040

PAGE CONTENTS:

EXTERIOR ELEVATIONS	
APPLICATION #:	-----
DRAWN BY: R.H.	CHECKED BY: J.M.
PROJECT #: 24006	SHEET NUMBER
DATE: 06.14.2024	<b>A-5</b>
SCALE: AS NOTED	

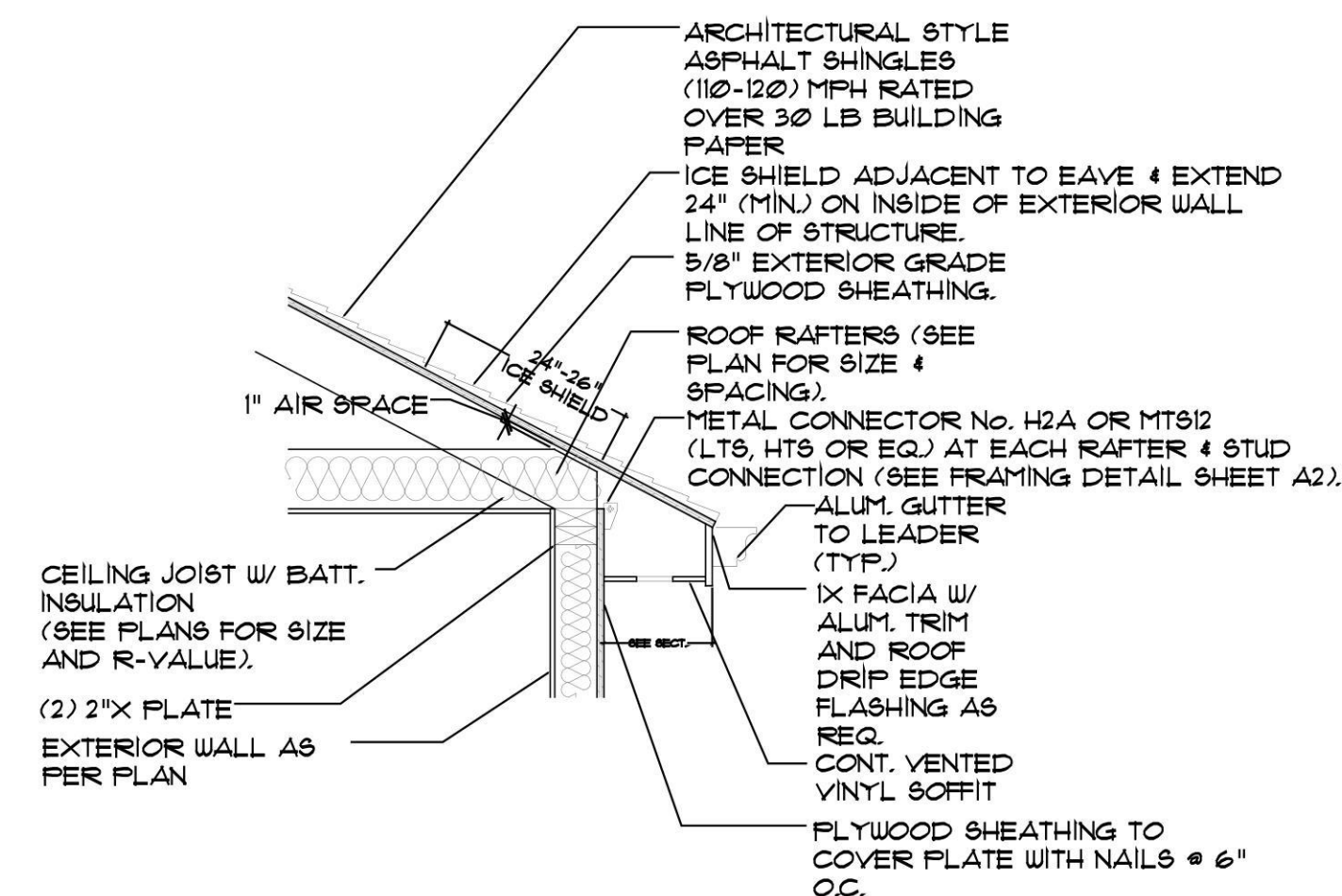


**BUILDING SECTION NOTES:**

- \*\*REGARDLESS OF ROOF PITCH OR DIMENSIONS SHOWN, THE ACTUAL HEIGHT OF THE HIGHEST ROOF RIDGE AND OR ROOF SHALL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT AS ESTABLISHED BY THE TOWN OF NORTH HEMPSTEAD. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES TO MAXIMUM HEIGHT EXISTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD MEASUREMENTS REGARDING THESE HEIGHTS.\*\*
- ALL EXTERIOR WOOD FRAME WALL AND INTERIOR BEARING WALLS SHALL HAVE (2" THICK) SOLID WOOD BLOCKING AT INTERMEDIATE WALL HEIGHT AS PER SHEARWALL DETAIL ON FRAMING DETAIL SHEET FOR SHEARWALL DIAGRAM.
- THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS REGARDING NEW YORK STATE CODE COMPLIANCE, GENERAL NOTES & REQUIREMENTS, FRAMING DETAILS AND NAILING REQUIREMENTS AND SHALL BE RESPONSIBLE FOR ALL METAL CONNECTOR REQUIREMENTS.
- ALL LUMBER SHALL BE 'DOUGLAS FIR' No. 2 GRADE OR BETTER WITH A MINIMUM FIBER BENDING STRESS  $F_b$  OF (1000 PSI) SINGULAR AND (1400 PSI) REPETITIVE WITH MODULUS OF ELASTICITY  $E = 16000000$ .
- ALL METAL CONNECTORS SHALL BE 'SIMPSON - STRONG TIE' AS PER NUMBERS SHOWN ON DRAWING AND DETAILS AND SHALL BE 'HDG - HOT DIPPED GALVANIZED'.
- ALL CONNECTORS, FASTENERS, NAILS, BOLTS AND ANCHORS SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH THE 'ACO' TREATED LUMBER 'SIMPSON STRONG TIE', 'Z-MAX' OR EQUAL.
- NEW ROOF SHINGLES SHALL BE RATED TO WITHSTAND 120 MPH WIND LOADS.
- PROVIDE METAL CONNECTOR AT WINDOW AND DOOR HEADER, NO HIG OR EQUAL. SEE FRAMING DETAILS.
- TOP PLATE MINIMUM SPLICE DIMENSION TO CONFORM AS PER SCHEDULE ON FRAMING DETAILS SHEET.
- SEE PLANS FOR LOCATION OF ANY SHEAR WALL CORNER HOLD DOWNS.
- SEE GENERAL NOTES FOR ALL OTHER CONSTRUCTION REQUIREMENTS.
- PROVIDE EXTERIOR LIGHT FIXTURES AT EACH EXTERIOR ENTRANCE DOOR AS PER E303.3.
- PROVIDE MECHANICAL VENTILATION IN EACH BATHROOM & POWDER ROOM AS PER R303.3.
- PROVIDE VALLEY FLASHING AT ALL ROOF VALLEYS AS PER R303.2.
- DRYER SHALL BE VENTED TO THE EXTERIOR AS PER M302.
- GROUND FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER (GFI) RECEPTACLES SHALL BE REQUIRED IN A BATHROOM, TOILETS AND ALL OTHER WET LOCATIONS INCLUDING BUT NOT LIMITED TO THE GARAGE AND FRONT AND REAR OF DWELLING AS PER E302.
- SHEAR WALL DESIGN - TYPE 2
  - CORNER SHEAR WALL TIE DOWNS AT EACH CORNER (SEE FLOOR PLANS FOR LOCATIONS) HDU8-SDS25 (ALLOWABLE LOAD = 1810 LBS. EACH. SEE PLANS FOR CATALOG NO. AND ALLOWABLE LOAD CAPACITY).
  - SHEAR WALL BETWEEN DOOR & WINDOW AND WINDOW & CORNER (INTERIOR SEGMENTED SHEAR WALL).
  - FIELD BUILT SHEARWALL USING 2D COMMON NAILS @ 16" O.C. STUDS.

**1 PROPOSED BUILDING SECTION**

A-6 SCALE : 1/4" = 1'-0"



**2 TYP. ROOF EAVE DETAIL**

A-6 SCALE : 3/16" = 1'-0"

NOTES  
**DISAPPROVED**

Nicholas Vissichelli  
07/29/2024

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**JARED MANDEL ARCHITECTS**

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Email : Info@Mandelarchitects.com

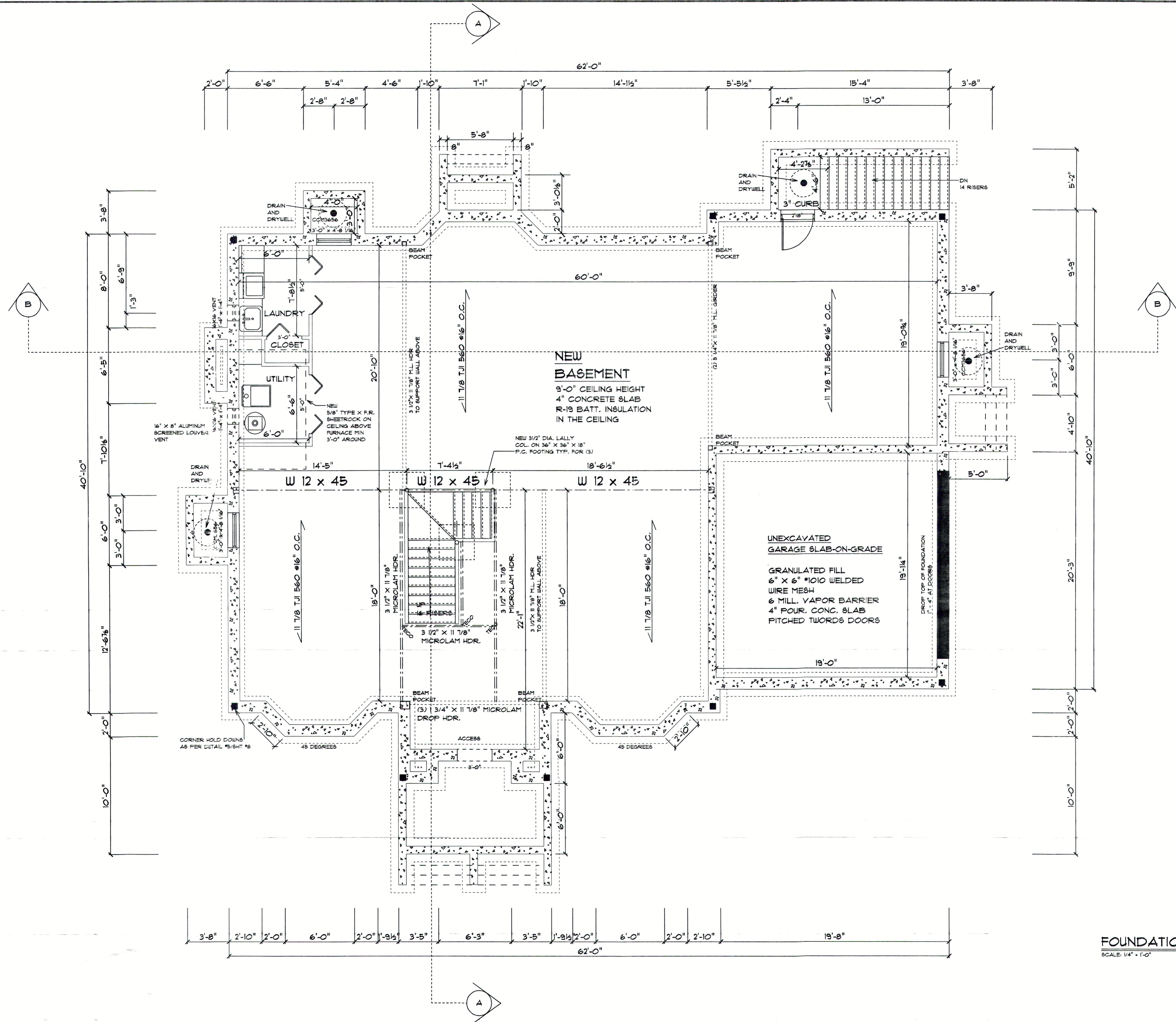


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NEW HYDE PARK, NY 11040

PAGE CONTENTS:  
PROPOSED SECTIONS, DETAILS, NOTES

APPLICATION #: \_\_\_\_\_  
DRAWN BY: R.H. CHECKED BY: J.M.  
PROJECT #: 24006 SHEET NUMBER: **A-6**  
DATE: 06.14.2024  
SCALE: AS NOTED





**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**CHRISTOPHER GARTEN**  
ARCHITECT  
44 BROADWAY GREENLAWN  
(631) 754-5809

**PROJECT:**  
LEROY BARROCA  
PERCHERON LANE  
ROSLYN HEIGHTS, N.Y.

**JOB NUMBER:**  
05-105

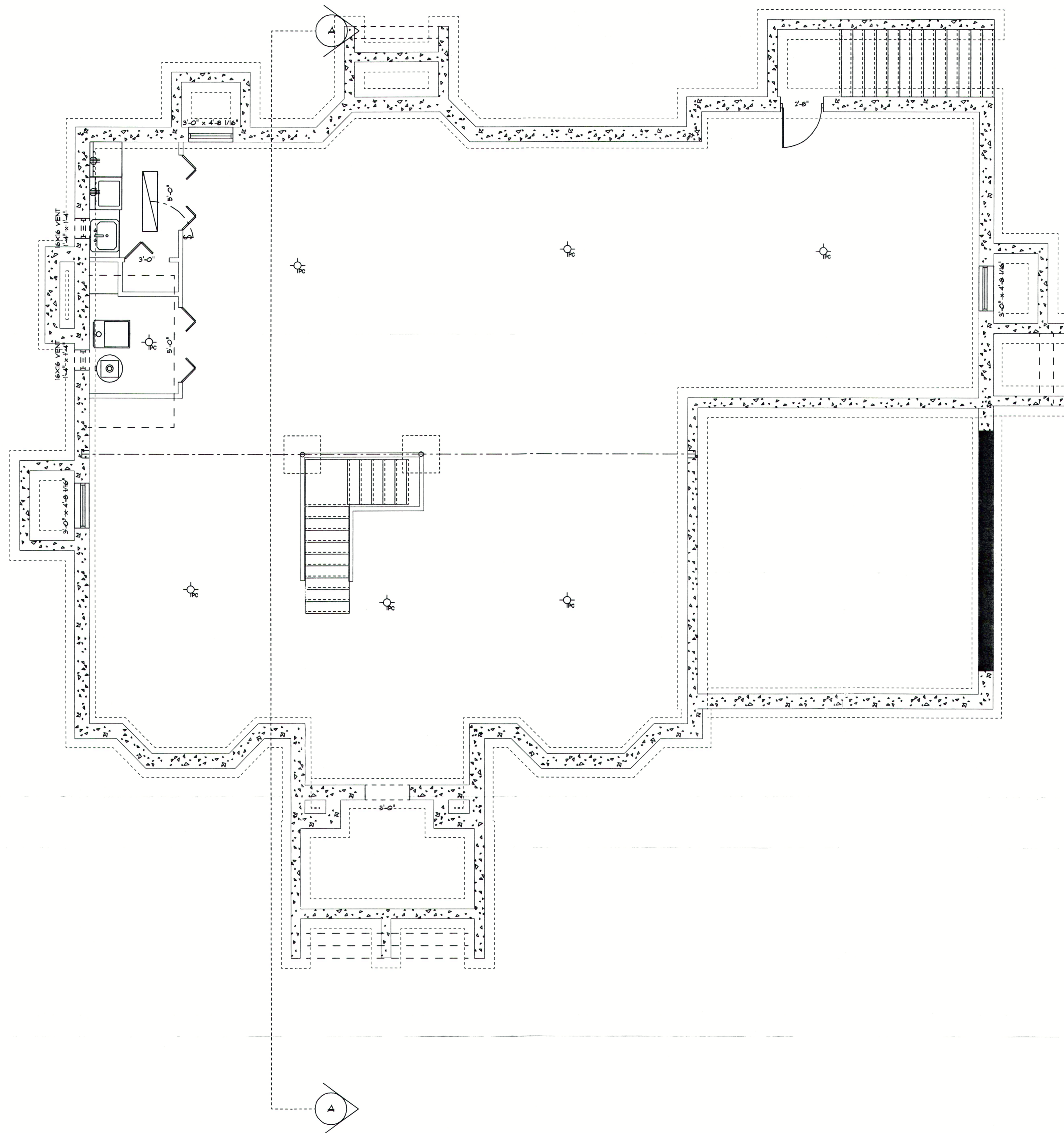
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FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**DATE:**  
11/10/05

**SHEET #**  
2 OF 8



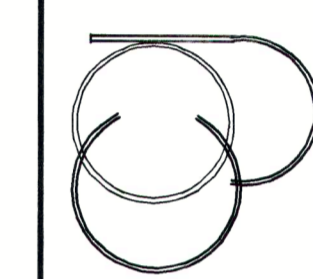
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SM. RECESSED LIGHT (LOW VOLTAGE)	⊕
LIGHT SWITCH	⌚
3 WAY LIGHT SWITCH	⌚ <sub>3</sub>
LIGHT SWITCH DIMMER	⌚ <sub>dim</sub>
LIGHT SWITCH TIMER	⌚ <sub>t</sub>
DUPLEX RECEPTACLE	Ⓛ
30A 220V RECEPTACLE	Ⓛ
GFI OUTLET	Ⓛ <sub>gfi</sub>
SMOKE DETECTOR	Ⓢ
CARBON MONOXIDE DETECTOR	Ⓢ
EXHAUST FAN/LIGHT	Ⓢ
HEAT LIGHT	⊕
WALL SCONCE	Ⓢ
MOTION SENSOR FLOODLIGHT ON A SWITCH	Ⓢ
WALL MOUNTED LIGHTS	Ⓢ
RECESSED SOFFIT LIGHT	○
CABLE T.V.	c
PHONE JACK	p
PENDANT LIGHTS	Ⓢ
CHANDELIER	Ⓢ
FULL CHAIN LIGHT	Ⓢ



FOUNDATION ELECTRIC PLAN  
SCALE: 1/4" = 1'-0"



CHRISTOPHER GARTEN  
ARCHITECT  
44 BROADWAY GREENLAWN  
(631) 754-5809



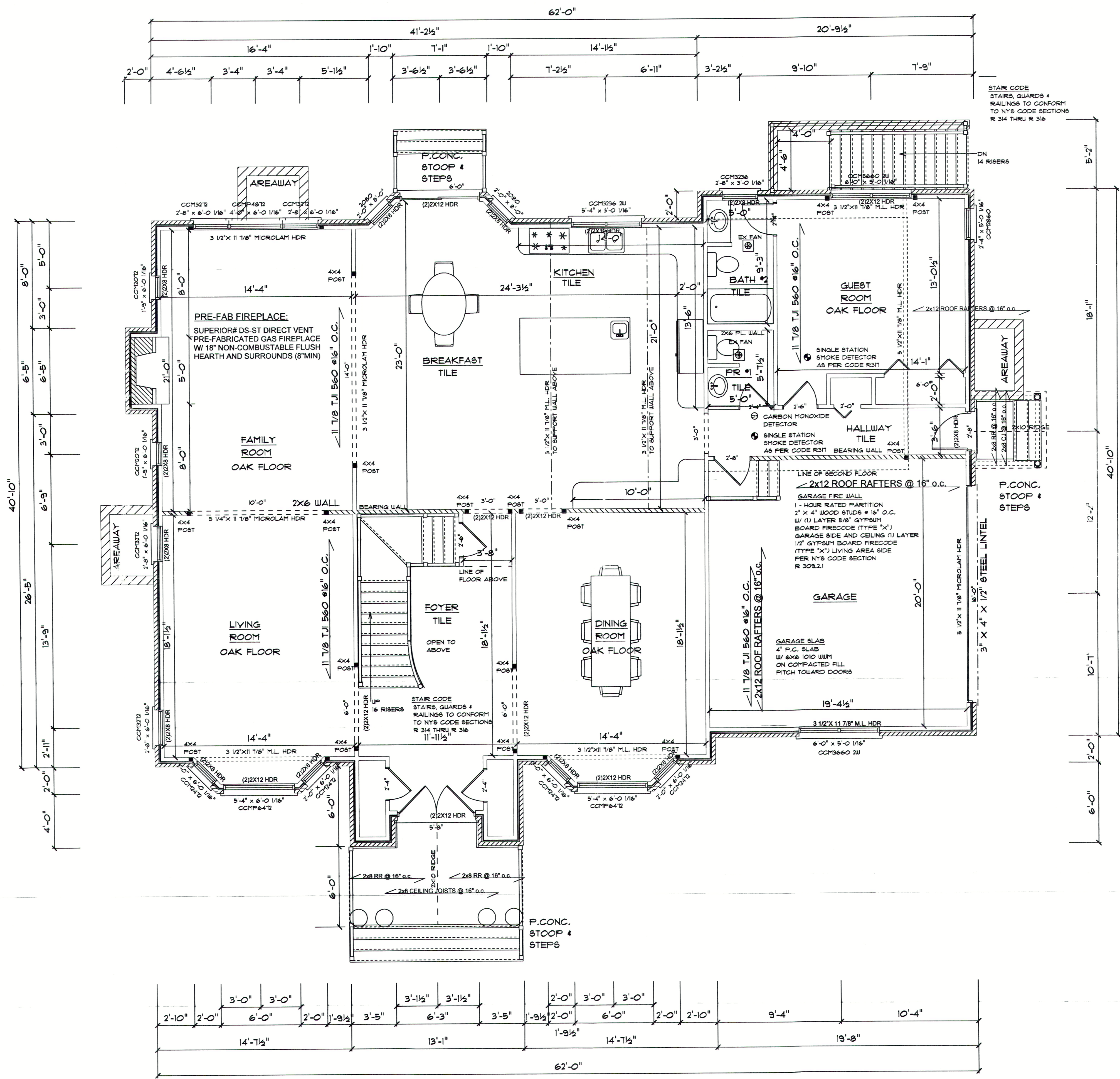
PROJECT: LEROY BARROCA  
PERCHERON LANE  
ROSLYN HEIGHTS, N.Y.

JOB NUMBER:

DRAWING: FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

DATE: 11/10/05

SHEET: 2A OF 8



**1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

AREA:

1ST FLOOR	= 2205 SF
2ND FLOOR	= 1735 SF
+1/2 UPPER FOYER	= 400
GARAGE	= 400
<b>TOTAL AREA ACTUAL</b>	<b>= 4,340*</b>
<b>TOTAL AREA PERMITTED</b>	<b>= 4,340</b>

CHRISTOPHER GARTEN  
ARCHITECT  
44 BROADWAY GREENLAWN  
(631) 754-5809

LEROY BARROCA  
PERCHERON LANE  
ROSELYN HEIGHTS, N.Y.

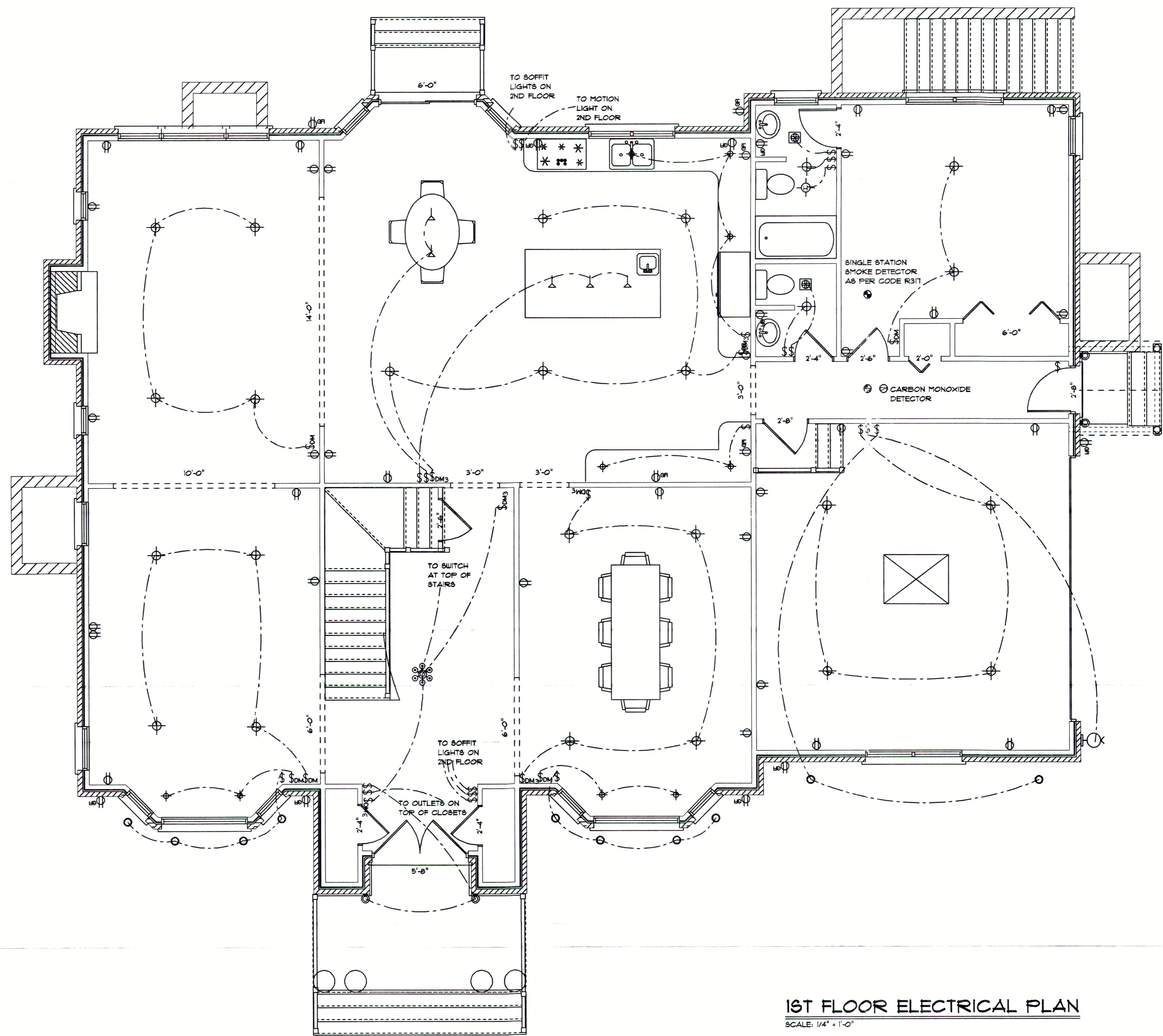
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JOB NUMBER:  
**05-105**

DRAWING:  
**1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

DATE:  
**11/10/05**  
SHEET #  
**3** OF  
**8**



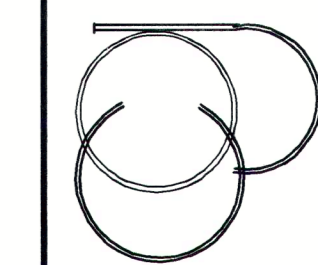
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RECESSED LIGHT (HIGH HAT)	⊕
SM. RECESSED LIGHT (LOW VOLTAGE)	⊕
LIGHT SWITCH	⌞
3 WAY LIGHT SWITCH	⌞ <sub>3</sub>
LIGHT SWITCH DIMMER	⌞ <sub>DM</sub>
3-WAY LIGHT SWITCH DIMMER	⌞ <sub>DM3</sub>
LIGHT SWITCH TIMER	⌞ <sub>T</sub>
DUPLEX RECEPTACLE	⊕
30A 220V RECEPTACLE	⊕
GFI OUTLET	⊕ <sub>GFI</sub>
SMOKE DETECTOR	⊙
CARBON MONOXIDE DETECTOR	⊙
EXHAUST FAN/LIGHT	⊕
HEAT LIGHT	⊕
WALL SCONCE	⊕
MOTION SENSOR FLOODLIGHT ON A SWITCH	⊕
WALL MOUNTED LIGHTS	⊕
RECESSED SOFFIT LIGHT	○
CABLE T.V.	C
PHONE JACK	P
PENDANT LIGHTS	⌞
CHANDELIER	⊕



1ST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



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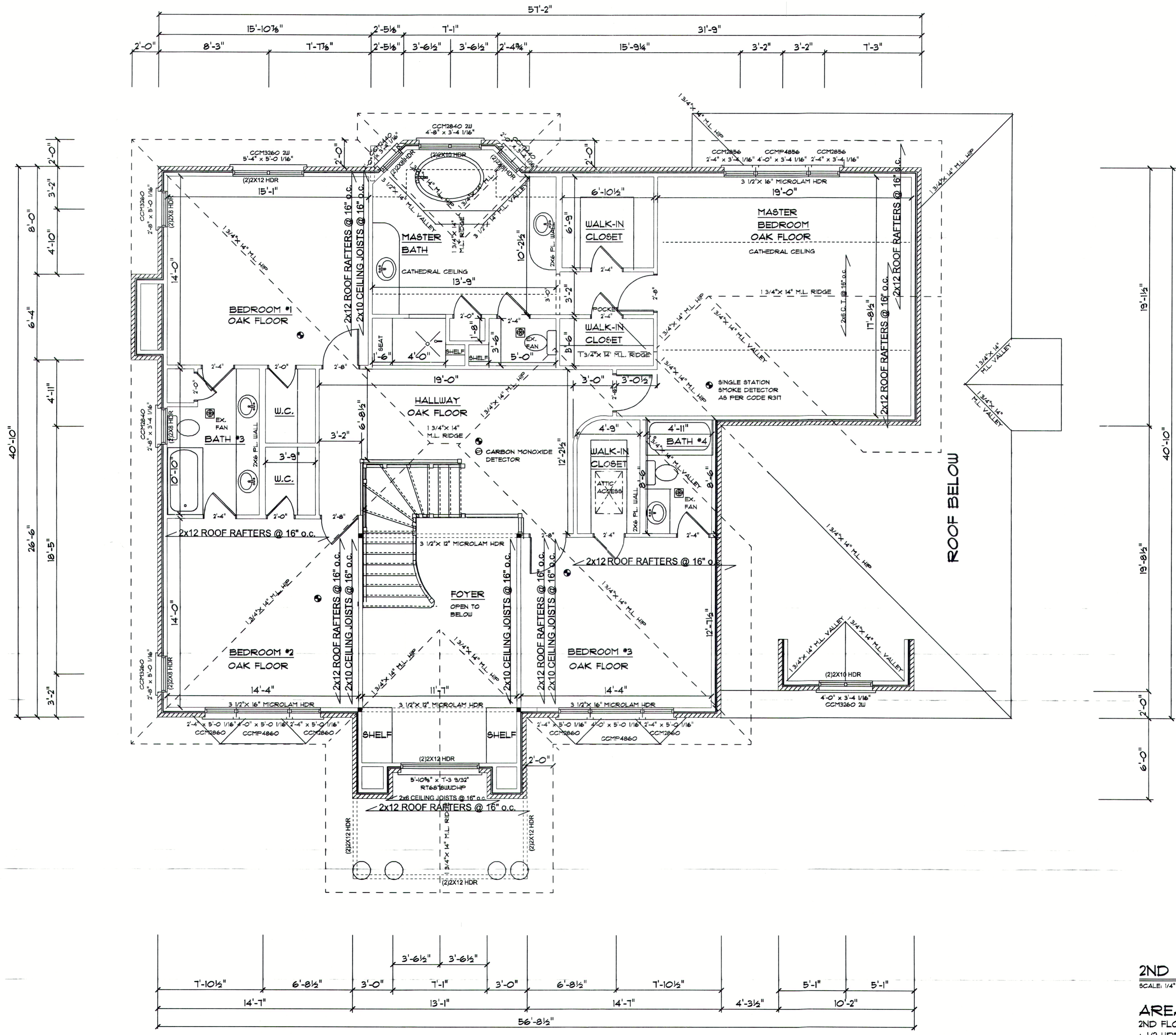


PROJECT: LEROY BARROCA  
PERCHERON LANE  
ROSLYN HEIGHTS, N.Y.

JOB NUMBER:  
05-105

DRAWING:  
1ST FLOOR  
ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

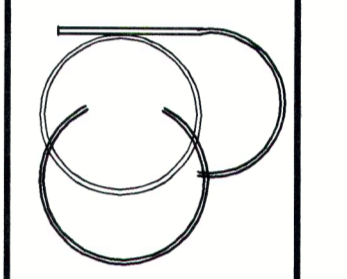
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11/10/05  
SHEET:  
3A OF  
8



**2ND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
**AREA:**  
 2ND FLOOR  
 + 1/2 UPPER FOYER = 1735 SF



**CHRISTOPHER GARTEN**  
 ARCHITECT  
 44 BROADWAY GREENLAWN  
 (631) 754-5809



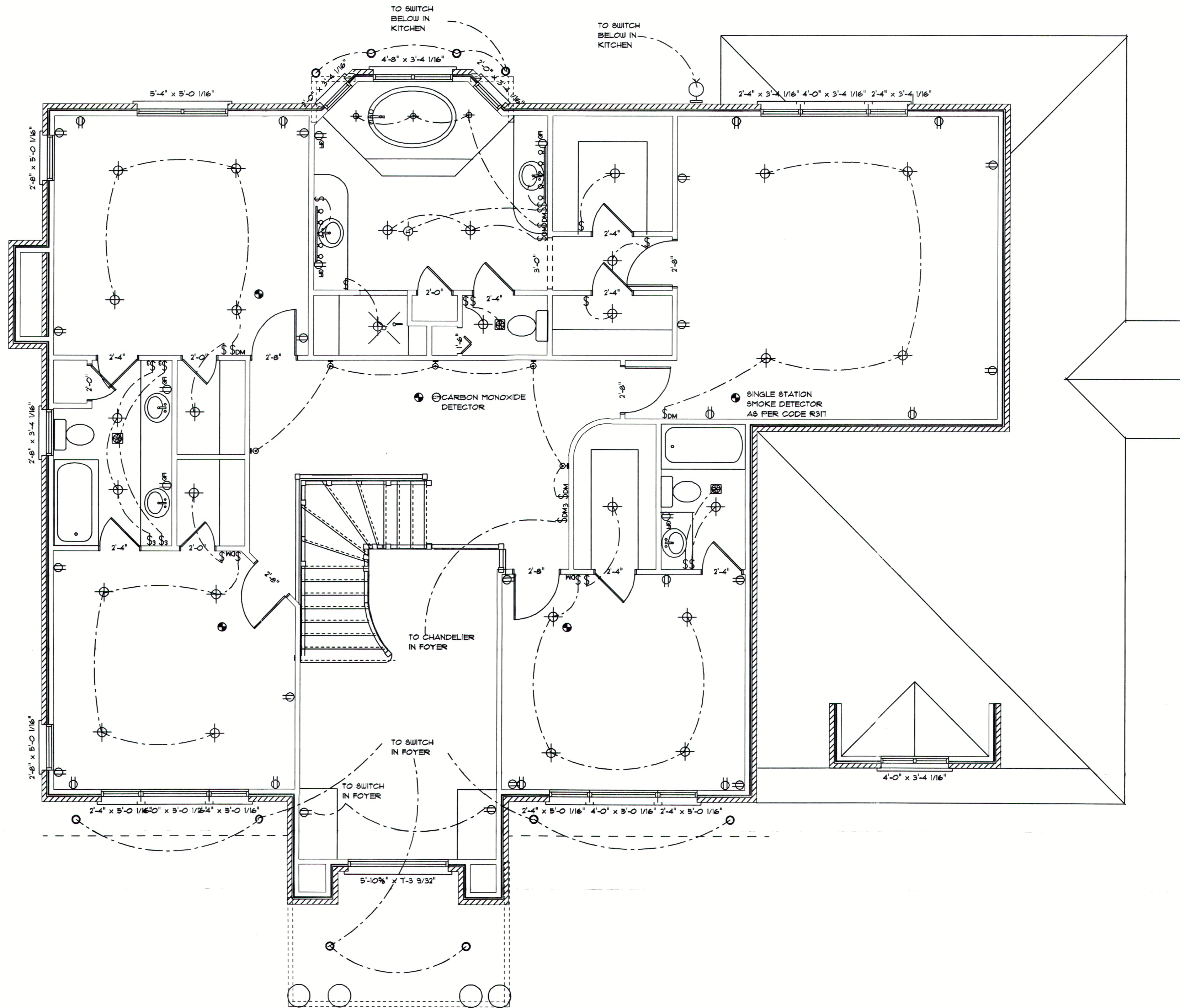
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 LEROY BARROCA  
 PERCHERON LANE  
 ROSLYN HEIGHTS, N.Y.

**JOB NUMBER:**  
 05-105

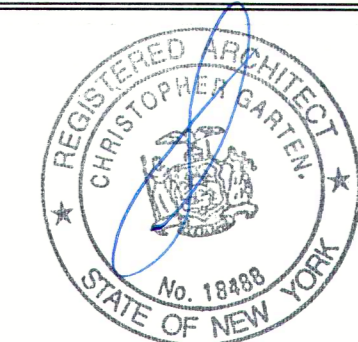
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 11/10/05  
**SHEET #**  
 4 OF 8

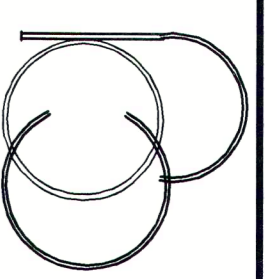
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8M. RECESSED LIGHT (LOW VOLTAGE)	⊕
LIGHT SWITCH	Ⓢ
3 WAY LIGHT SWITCH	Ⓢ <sub>3</sub>
LIGHT SWITCH DIMMER	Ⓢ <sub>DM</sub>
LIGHT SWITCH TIMER	Ⓢ <sub>T</sub>
DUPLEX RECEPTACLE	Ⓛ
30A 220V RECEPTACLE	Ⓛ
GFI OUTLET	Ⓛ <sub>GFI</sub>
SMOKE DETECTOR	⊙
CARBON MONOXIDE DETECTOR	⊙
EXHAUST FAN/LIGHT	Ⓛ
HEAT LIGHT	⊕
WALL SCONCE	Ⓛ
MOTION SENSOR FLOODLIGHT ON A SWITCH	Ⓛ
WALL MOUNTED LIGHTS	⊙
RECESSED SOFFIT LIGHT	○
CABLE T.V.	c
PHONE JACK	Ⓟ
PENDANT LIGHTS	Ⓛ
CHANDELIER	Ⓛ



2ND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



CHRISTOPHER GARTEN  
ARCHITECT  
44 BROADWAY GREENLAWN  
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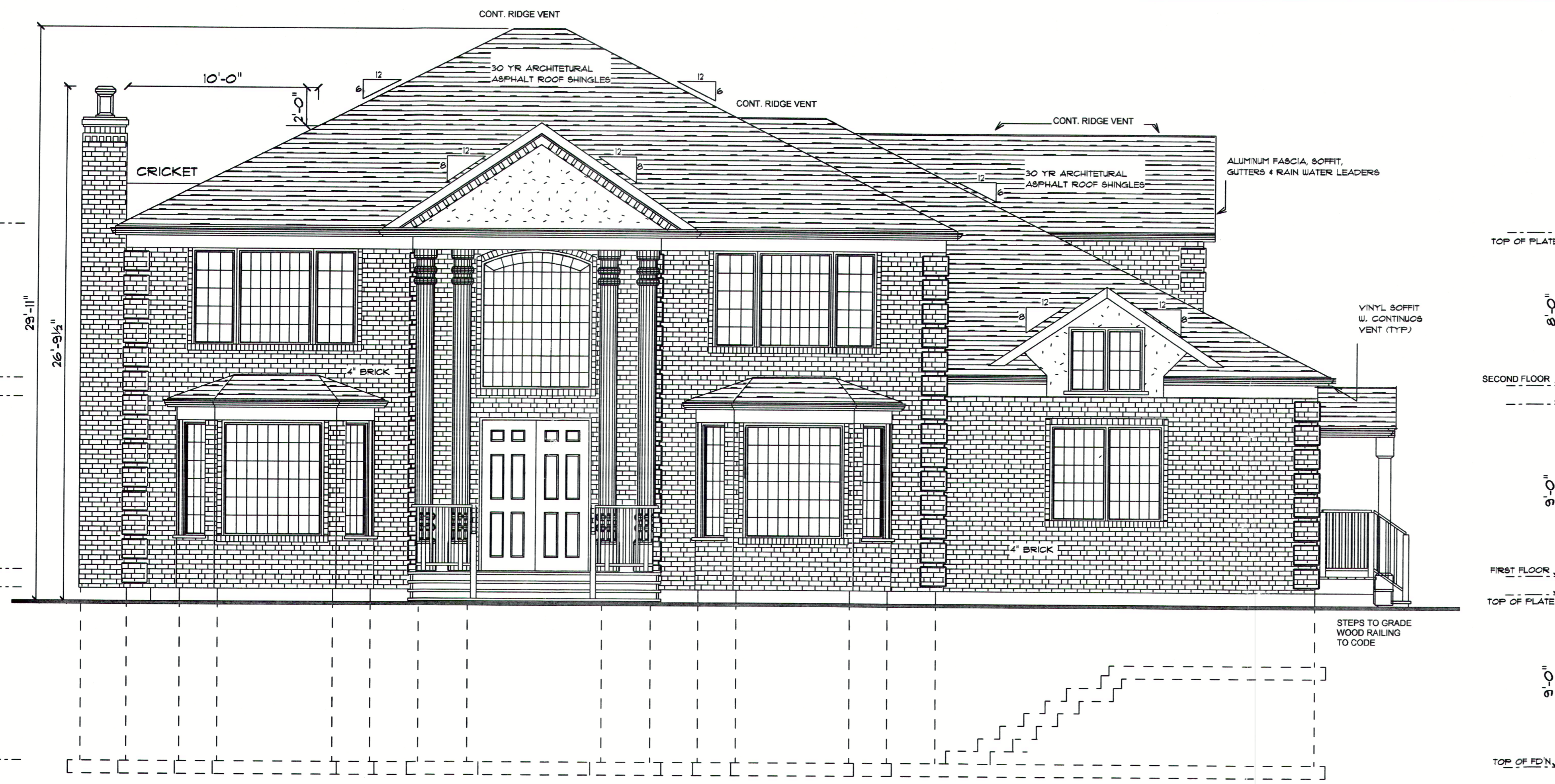
LEROY BARROCA  
PERCHERON LANE  
ROSLYN HEIGHTS, N.Y.

PROJECT:  
JOB NUMBER:  
05-105

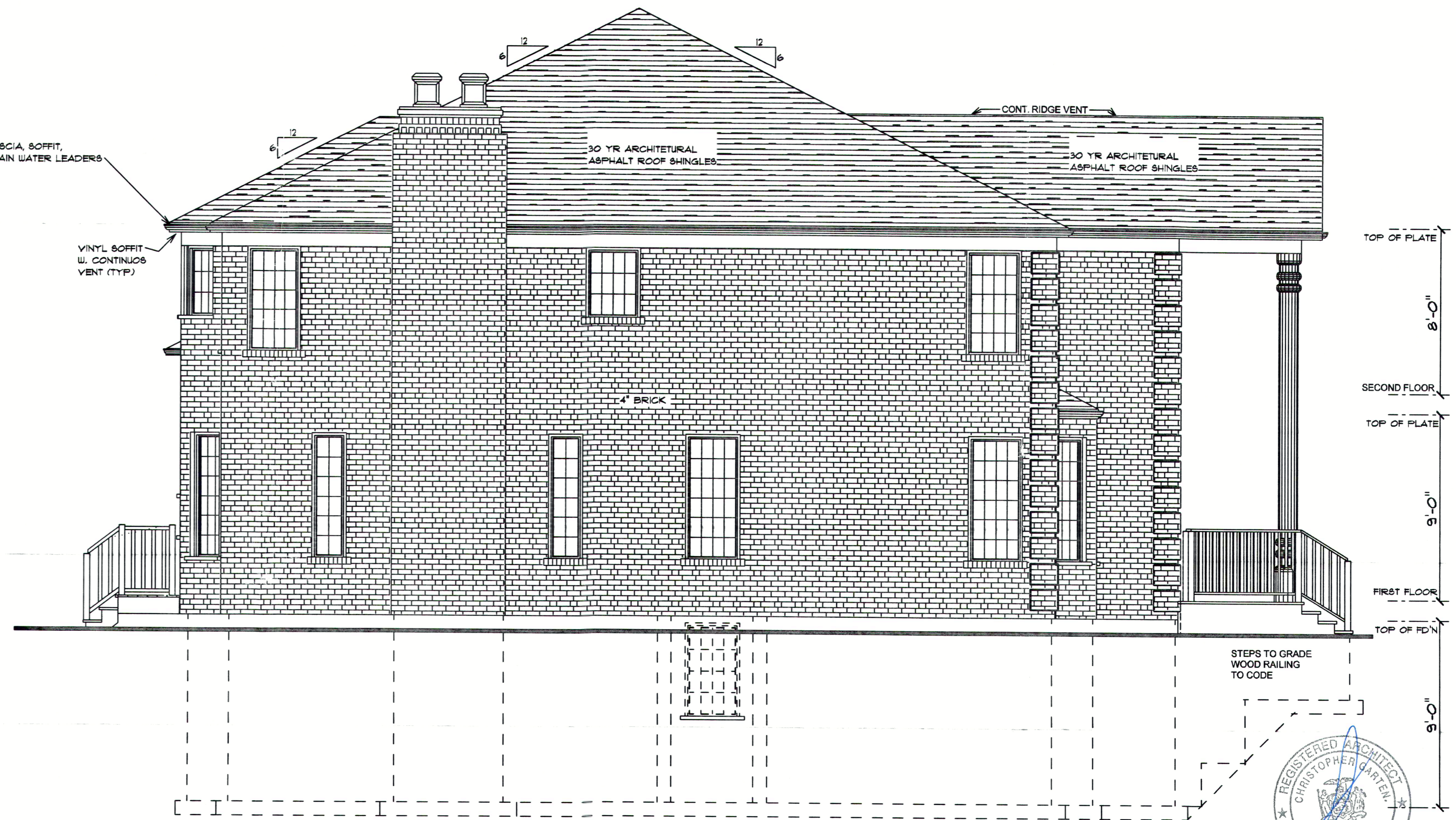
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2ND FLOOR  
ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

DATE:  
11/10/05

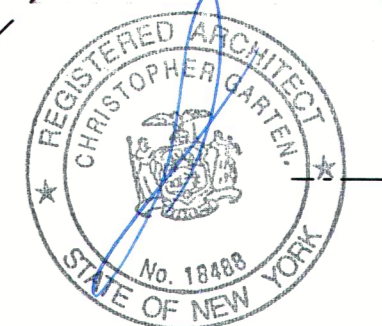
SHEET:  
4A OF  
8



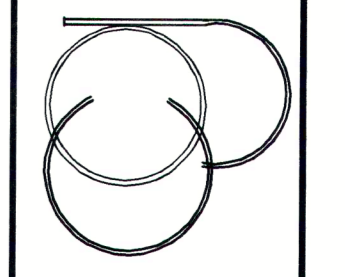
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



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ROSLYN HEIGHTS, N.Y.

JOB NUMBER:  
05-105

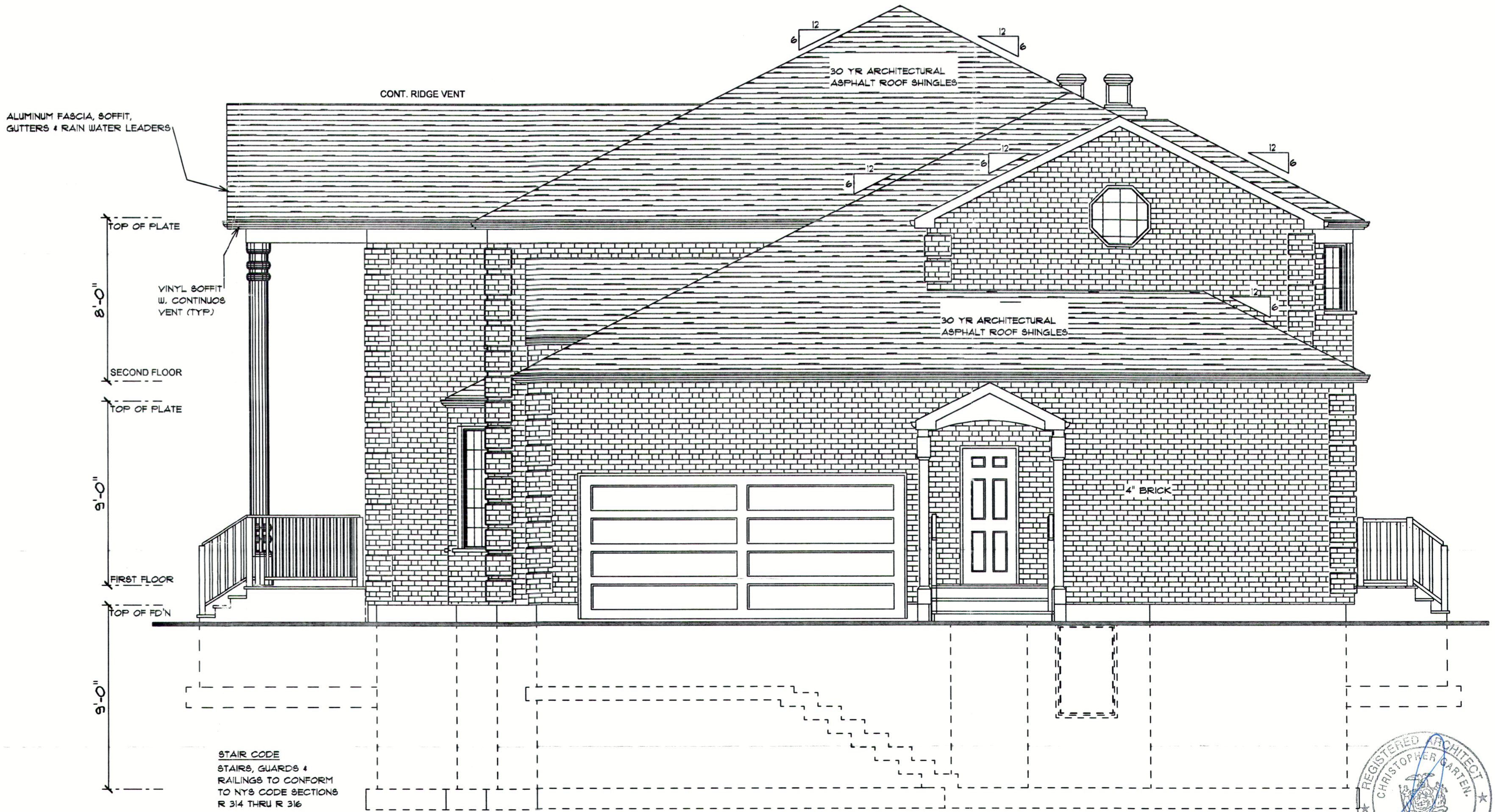
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ELEVATION  
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DATE:  
11/10/05

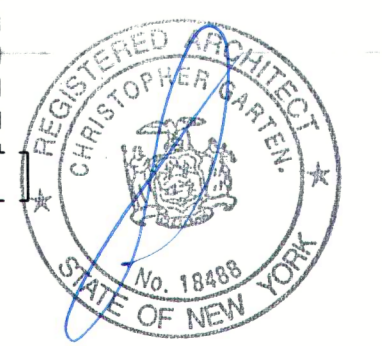
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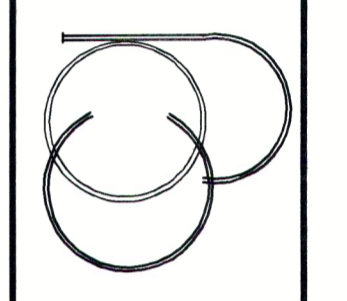
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



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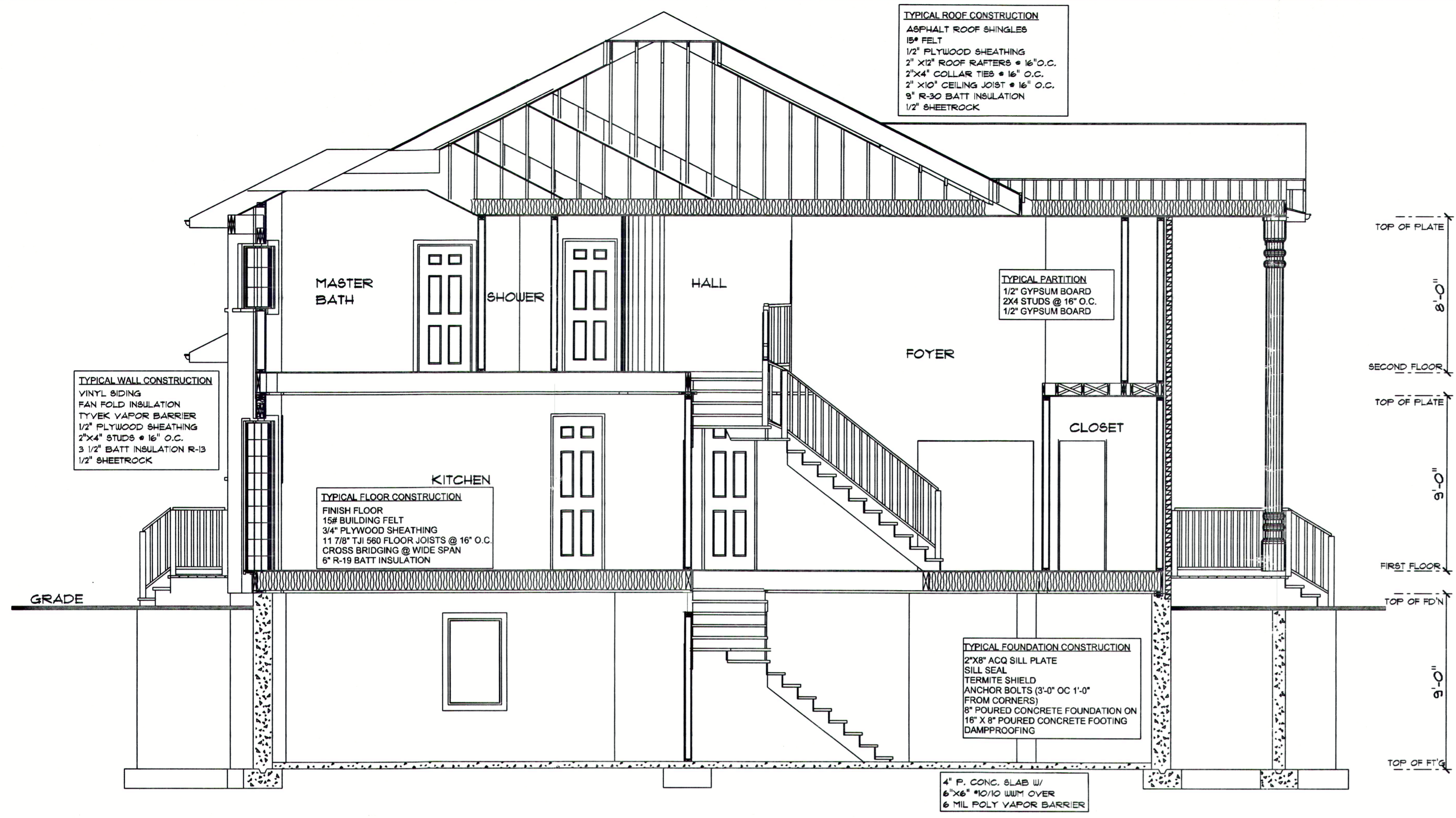
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LEROY BARROCA  
PERCHERON LANE  
ROSLYN HEIGHTS, N.Y.

JOB NUMBER:  
05-105

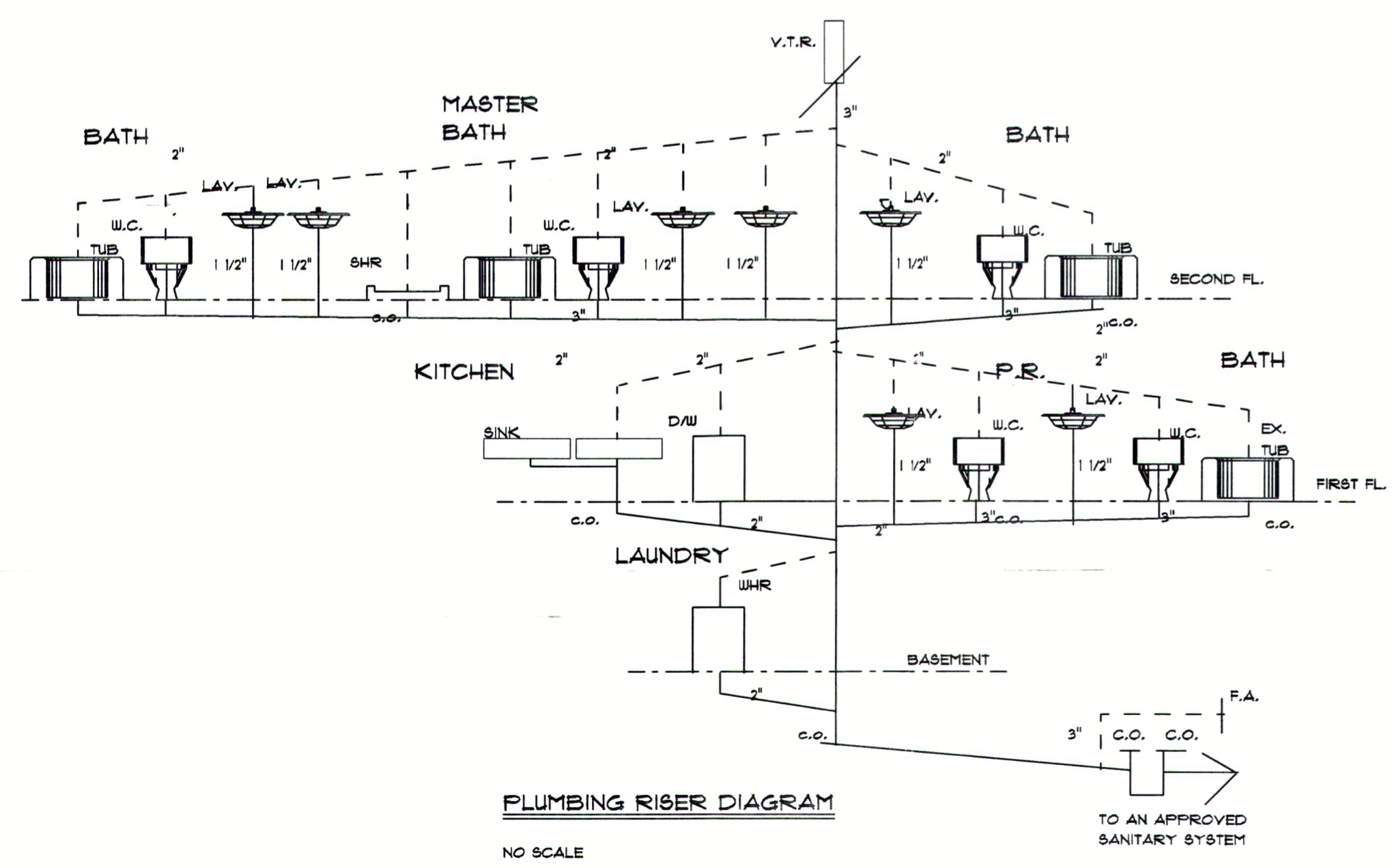
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REAR & RIGHT  
ELEVATION  
SCALE: 1/4" = 1'-0"

DATE:  
11/10/05

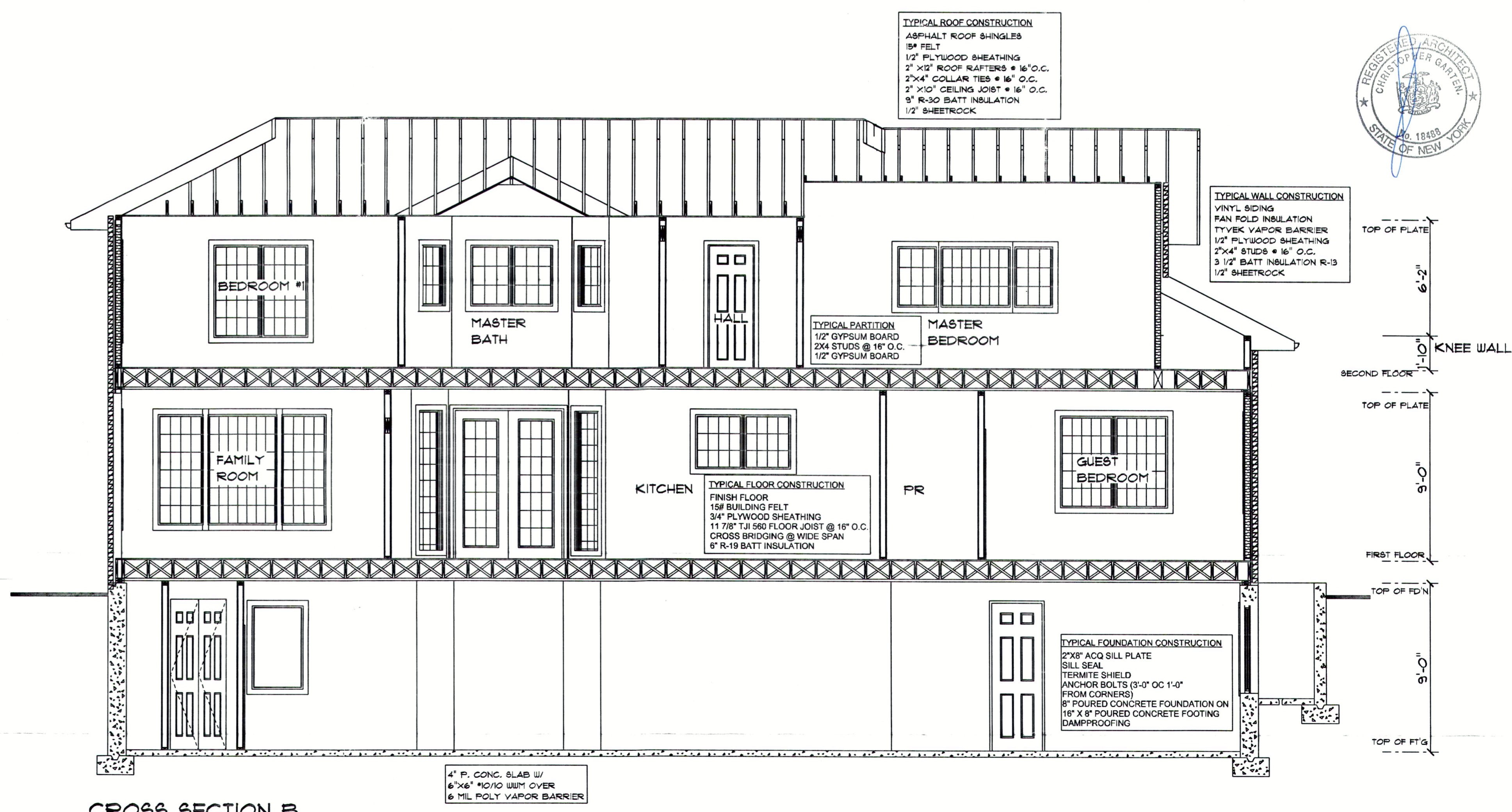
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6 OF 8



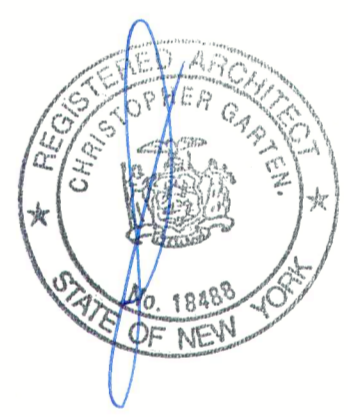
**CROSS SECTION A**  
SCALE: 1/4" = 1'-0"



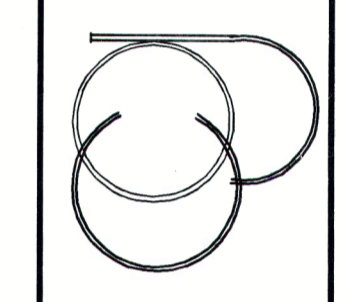
**PLUMBING RISER DIAGRAM**  
NO SCALE



**CROSS SECTION B**  
SCALE: 1/4" = 1'-0"



**CHRISTOPHER GARTEN**  
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**LEROY BARROCA**  
PERCHERON LANE  
ROSLYN HEIGHTS, N.Y.

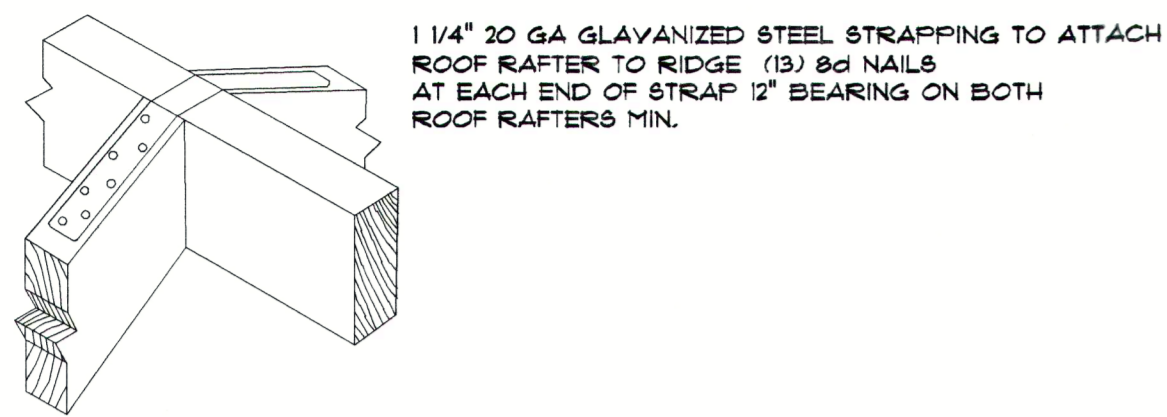
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**05-105**

DRAWING:  
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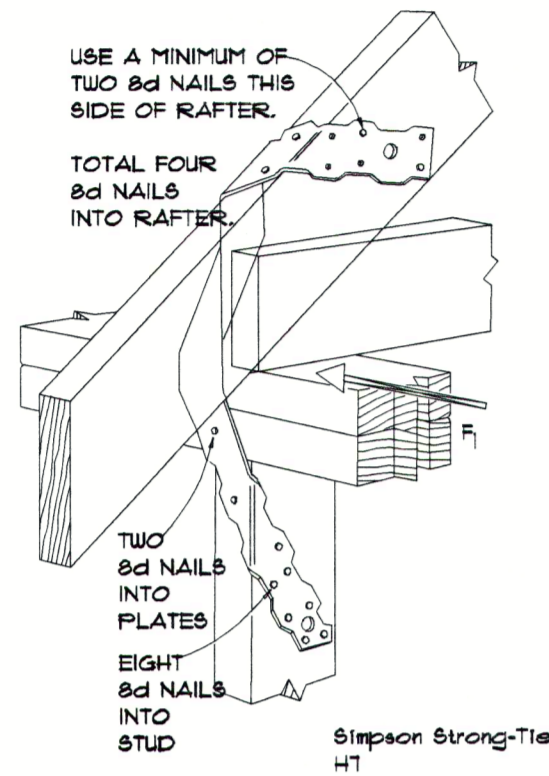
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**11/10/05**

SHEET:  
**1** OF  
**8**

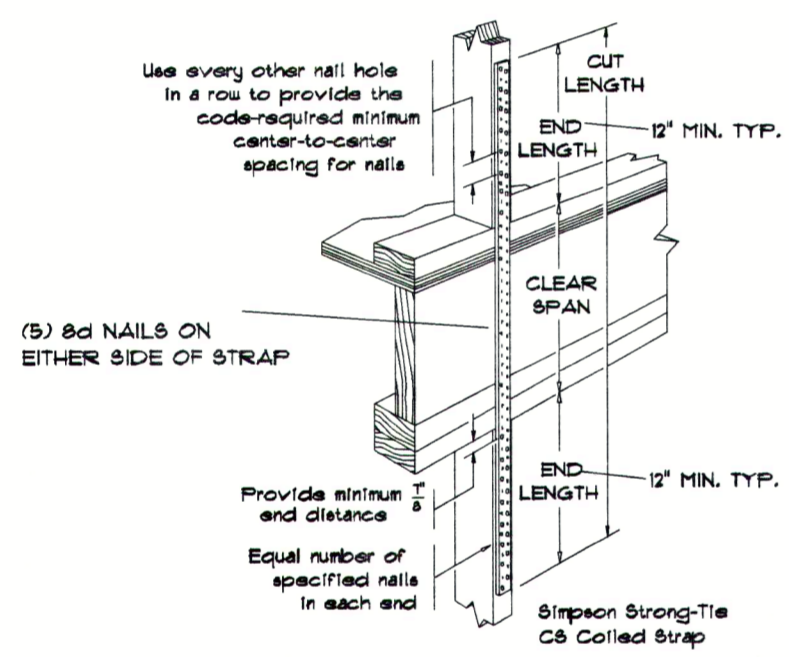




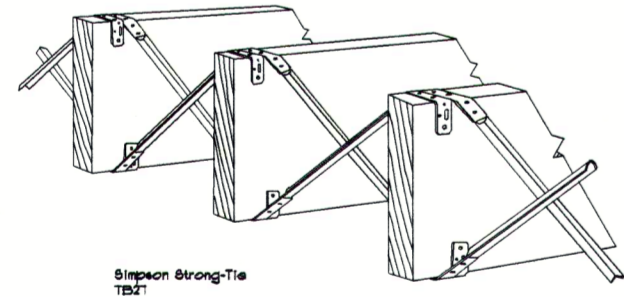
**1 RAFTER TO RIDGE TIE**  
SIMPSON STRONG-TIE RR



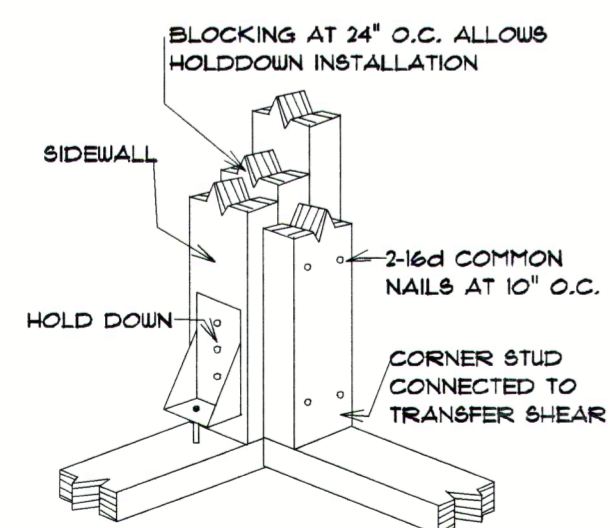
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SIMPSON STRONG-TIE HT



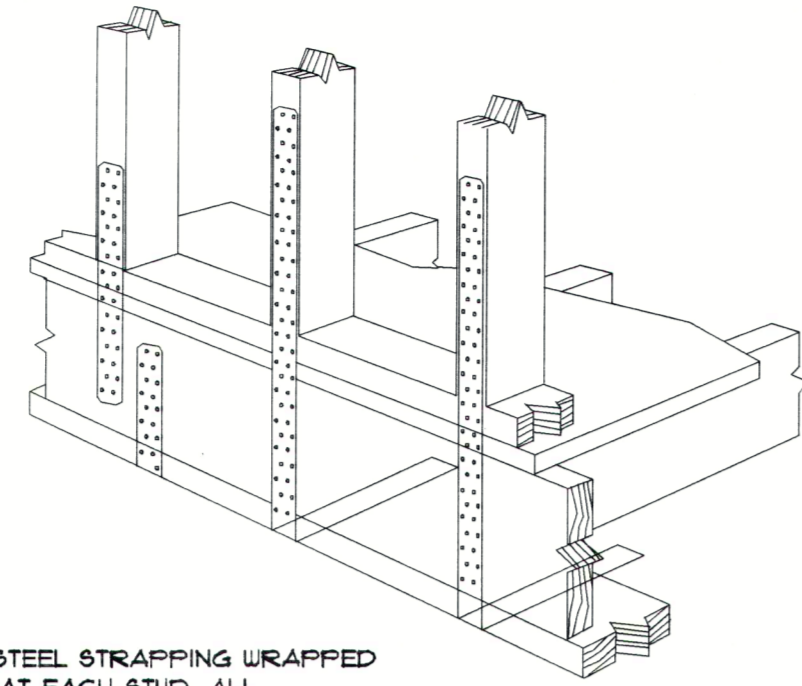
**3 STUD TO STUD CONNECTION**  
SIMPSON STRONG-TIE CS



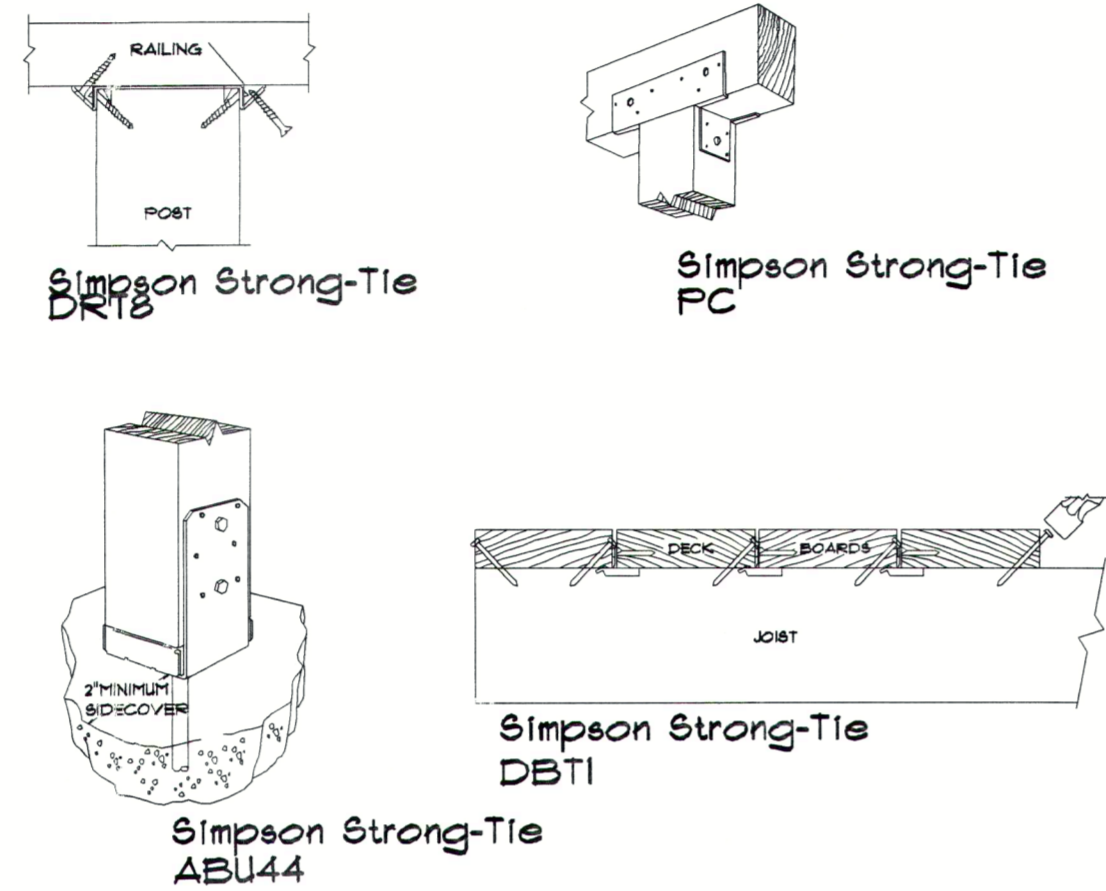
**4 FLOOR JOISTS BRACING**  
SIMPSON STRONG-TIE TBZT



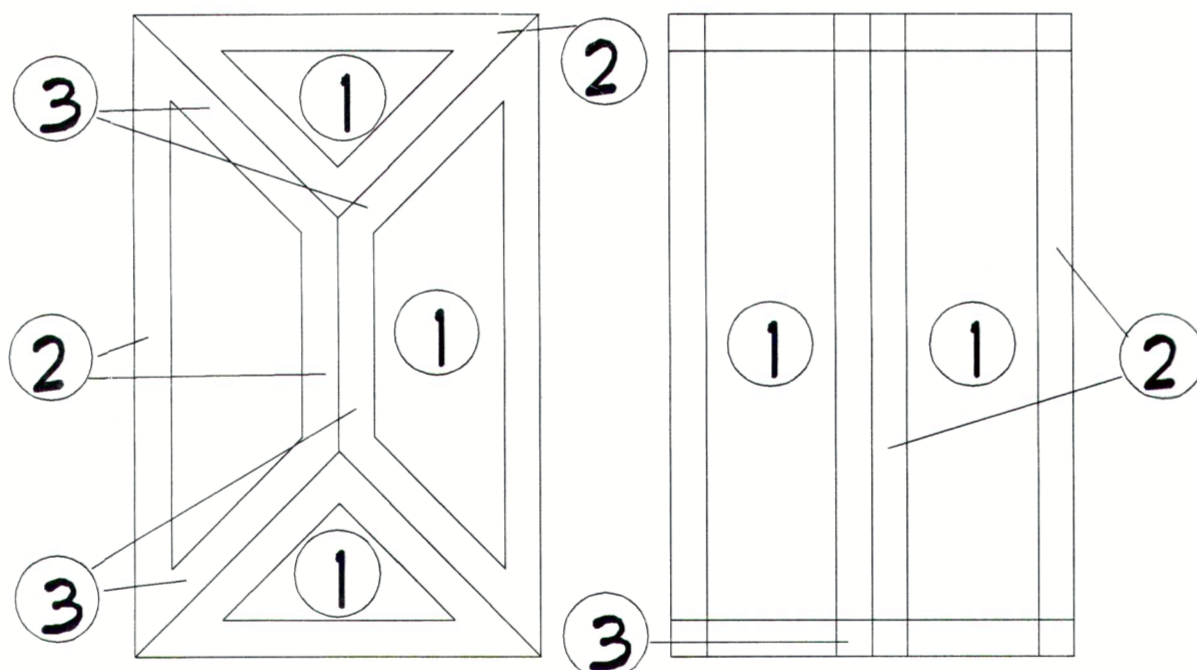
**5 CORNER HOLD DOWN ANCHORS**  
SIMPSON STRONG-TIE HP4D



**6 FLOOR/WALL ASSEMBLY TO FOUNDATION**  
LPT4 + LSTA18 (REPLACE LSTA W/ CS16 OR MTA 16 IF APPLICABLE)



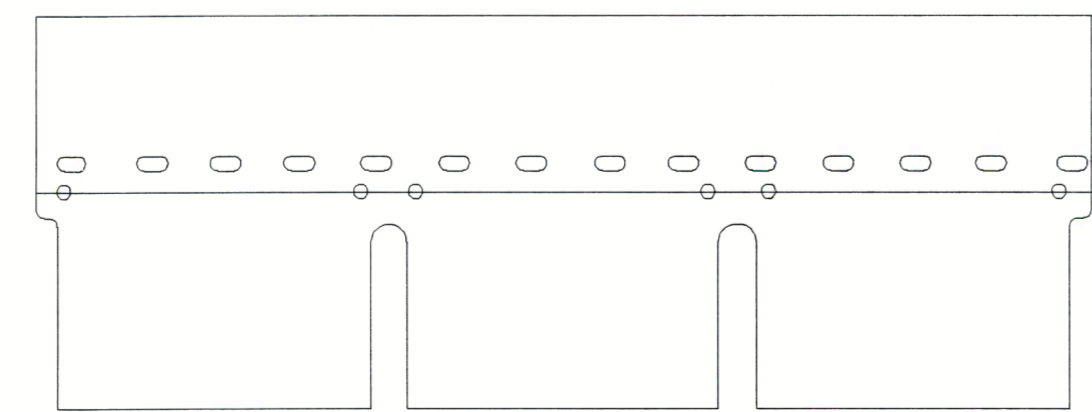
**7 TYPICAL DECK DETAILS**  
SCALE: 1" = 1'-0"



**8 ROOF FASTENING ZONES FOR WIND UPLIFT**

ROOF SHEATHING FASTENING SCHEDULE					
REGION	NAILS	PANEL LOCATION(a)	ROOF FASTENING ZONE		
			1	2	3
HIGH WIND UPLIFT	8d COMMON	PANEL EDGES	6	6	4(b)
		PANEL FIELD	6	6	6(b)

- (a). EDGE SPACING ALSO APPLIES OVER ROOF FRAMING AT GABLE END WALLS  
 (b). USE 8d RING SHANK NAILS IN THIS ZONE IF MEAN AT GABLE END WALLS



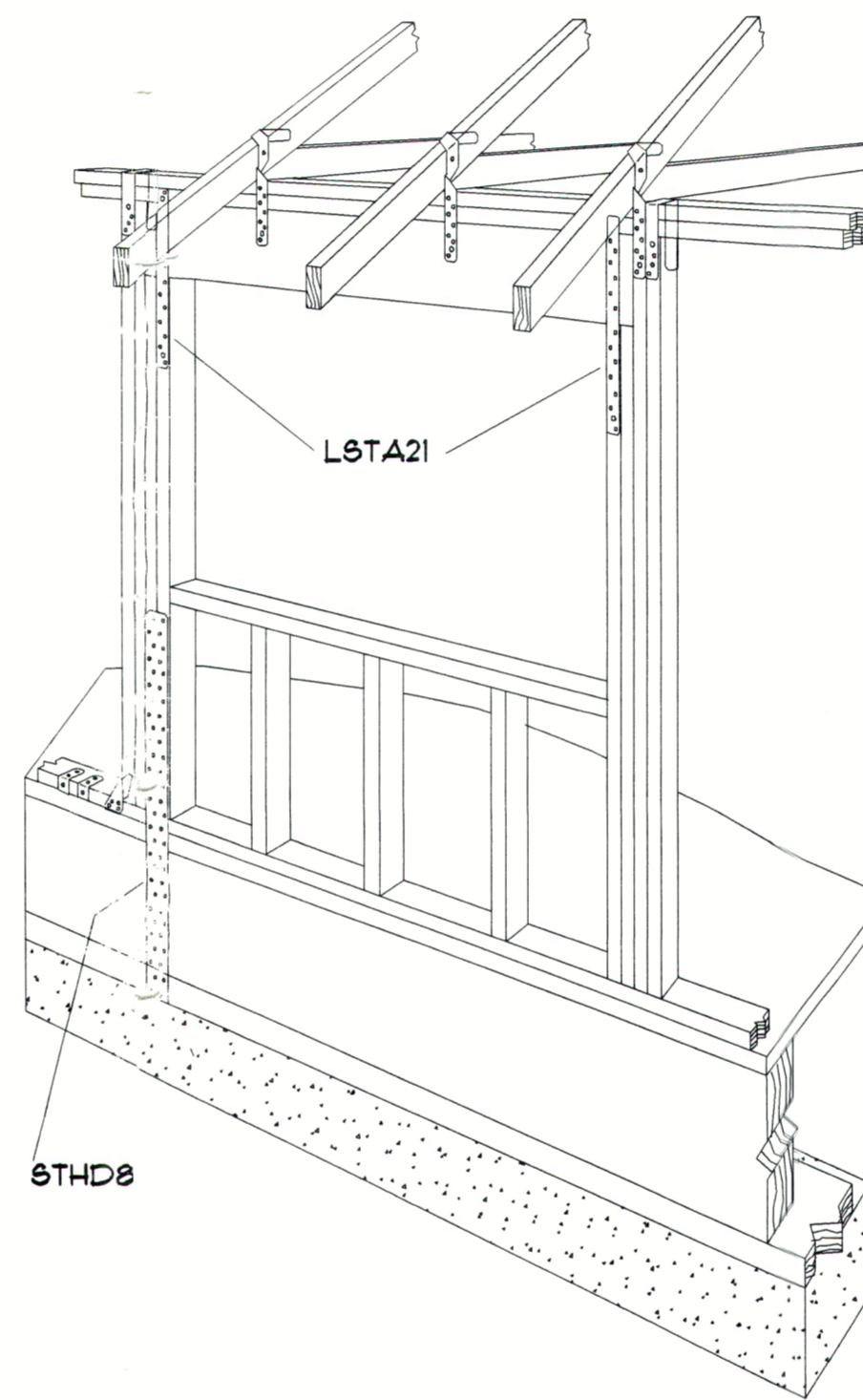
**9 ROOF SHINGLE NAILING PATTERN**  
FOR HIGH WIND

1. (6) NAILS PER SHINGLE  
 2. (1) NAIL ON EACH END 1" IN FROM THE EDGE  
 4. (1) ON EACH SIDE OF THE CUTOUT

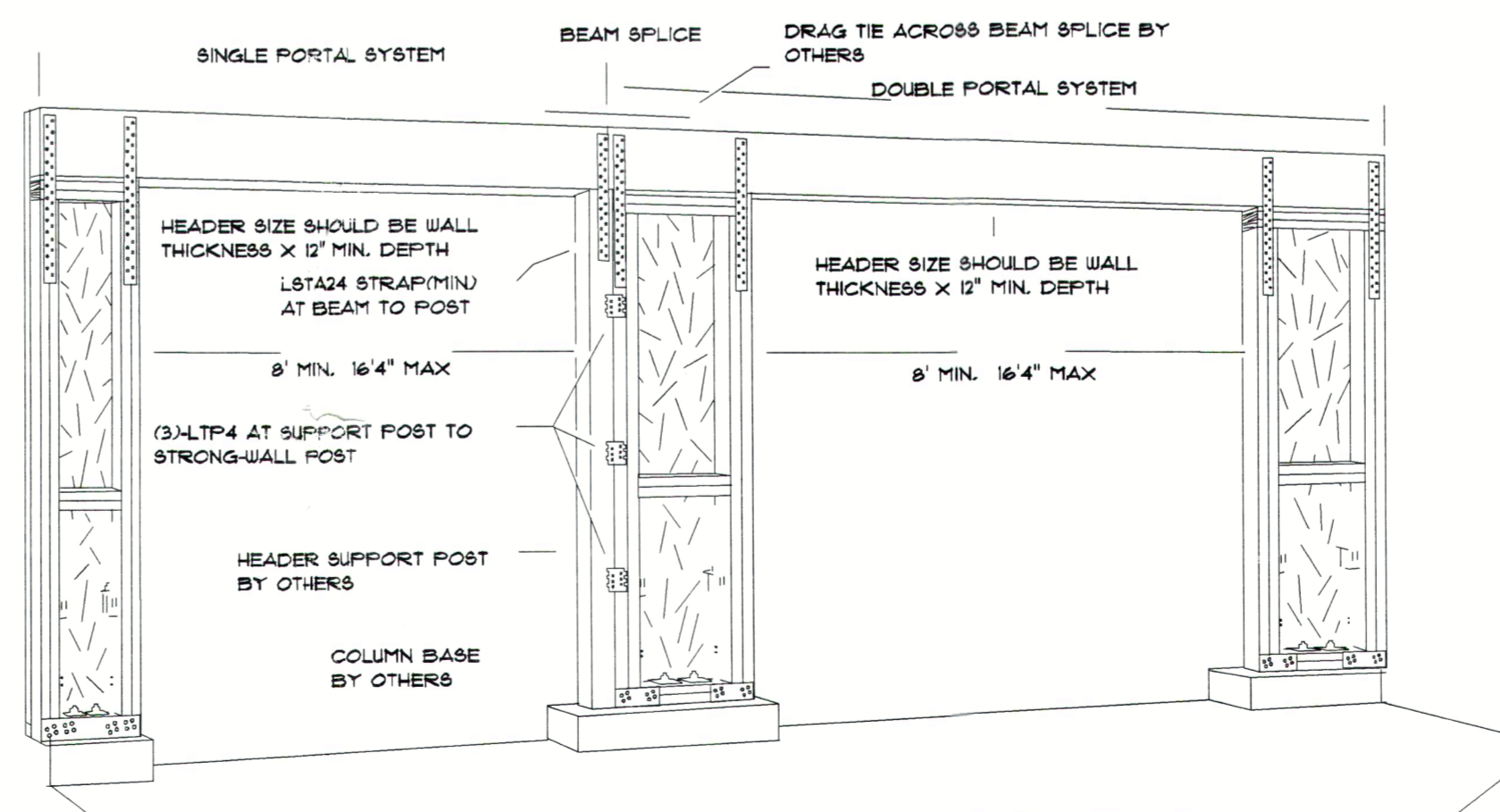
N.Y.S. CODE TABLE R301.2.1.2 WIND-BORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS			
FASTENER TYPE	FASTENER SPACING		
	PANEL SPAN < 4 FOOT	4 FOOT < PANEL SPAN < 6 FOOT	6 FOOT < PANEL SPAN < 8 FOOT
2-1/2" #6 WOOD SCREWS	16"	12"	9"
2-1/2" #8 WOOD SCREWS	16"	16"	12"

**10 WIND-BORNE DEBRIS STRUCTURAL PANELS**  
SCALE: 1" = 1'-0"

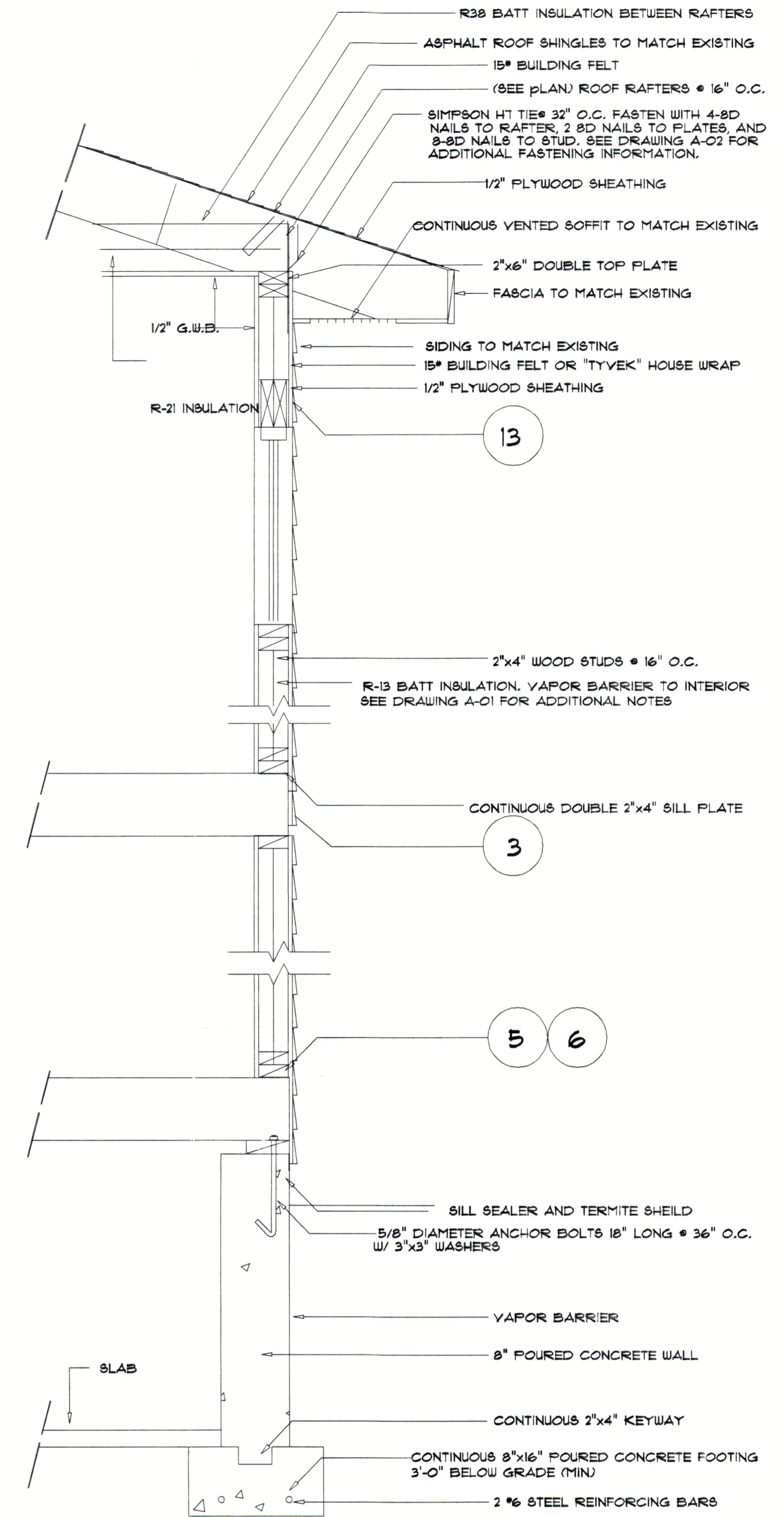
- A. THIS TABLE IS BASED ON 110 MPH WIND SPEEDS AND A 33 FOOT MEAN ROOF HEIGHT  
 B. FASTENERS SHALL BE INSTALLED OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL  
 C. NAILS SHOULD BE 10d COMMON OR 12d BOX NAILS  
 D. WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 450 POUNDS



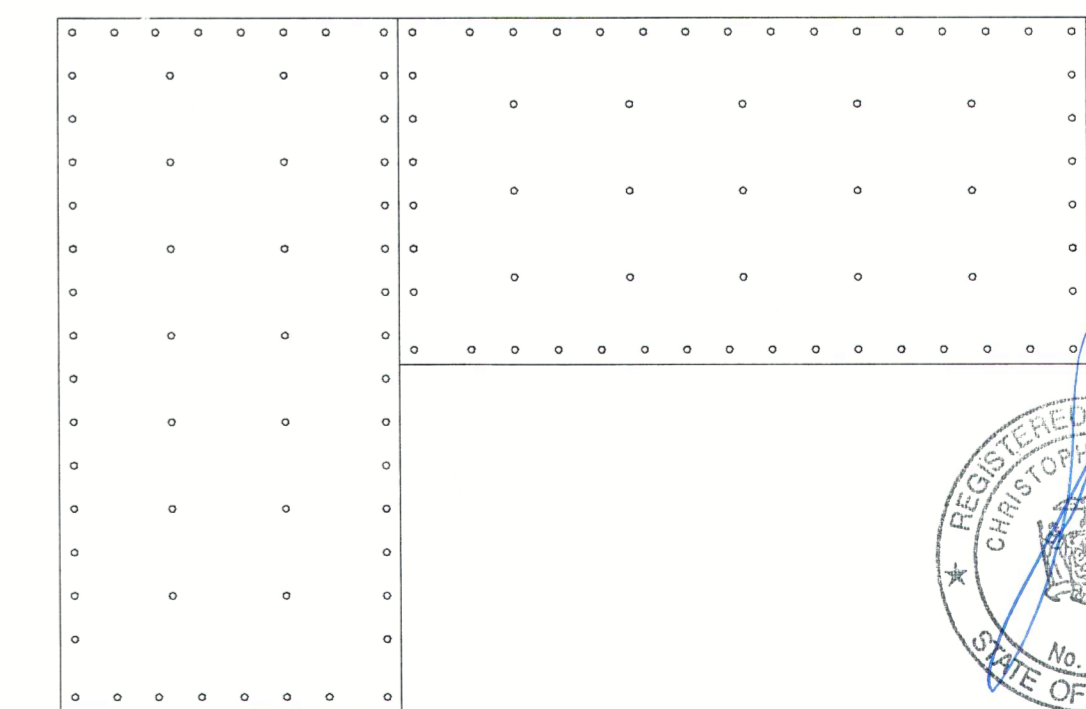
**11 HEADER ANCHORAGE DETAIL**  
SIMPSON STRONG-TIE HTT2 + LSTA 21



**12 SINGLE AND DOUBLE PORTAL ASSEMBLY**  
SCALE: 1" = 1'-0"



**13 TYPICAL WALL SECTION**  
SCALE: 1" = 1'-0"

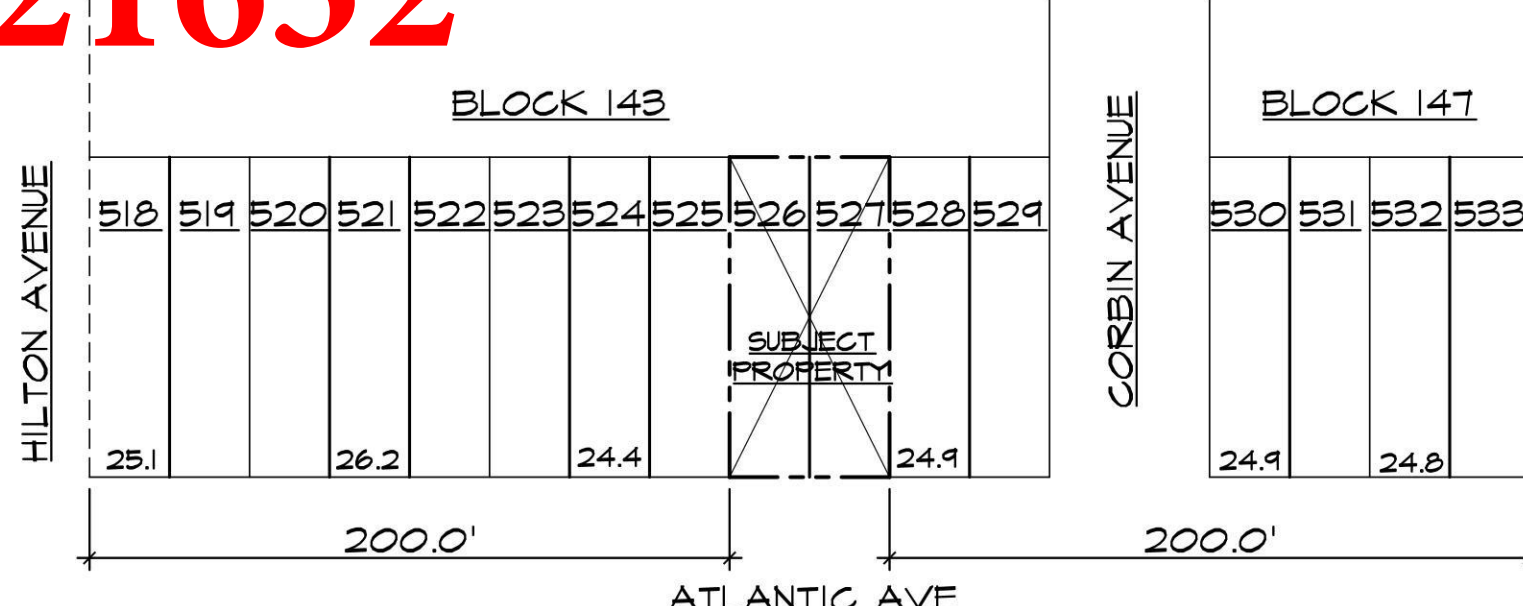


**14 WALL SHEATHING NAILING PATTERN**  
SIMPSON STRONG-TIE HTT2 + LSTA 21

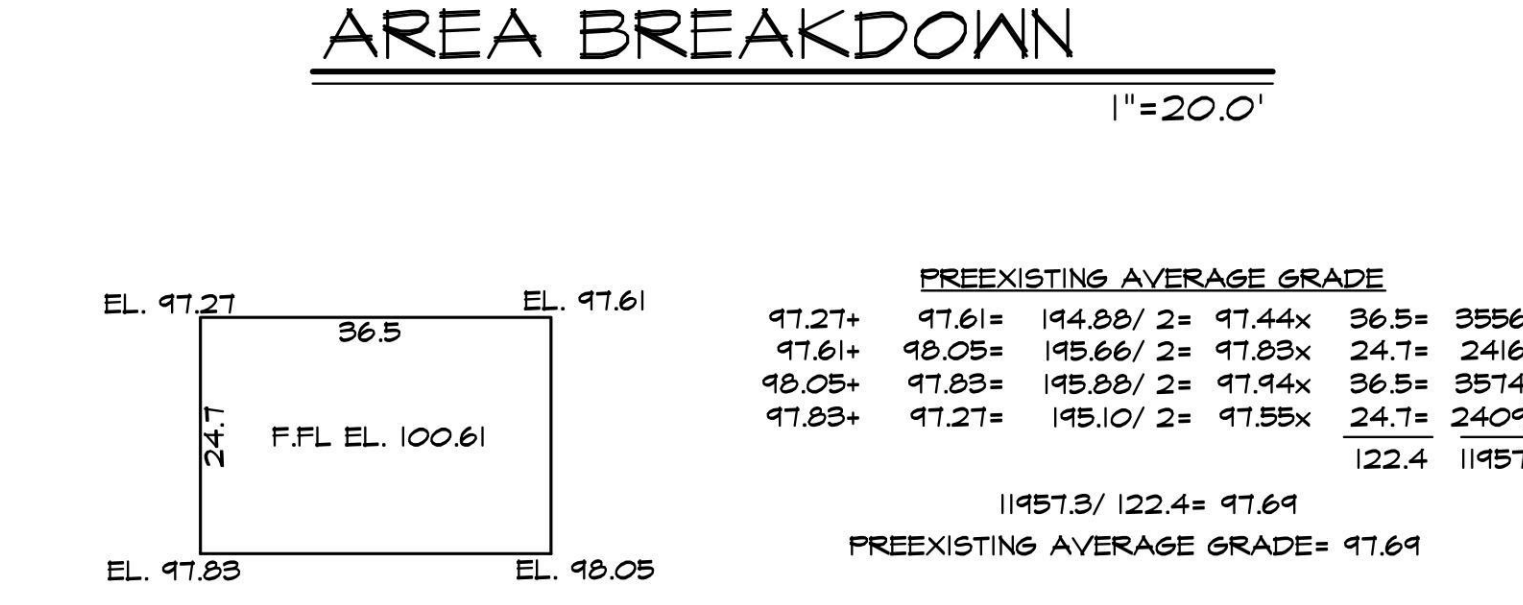
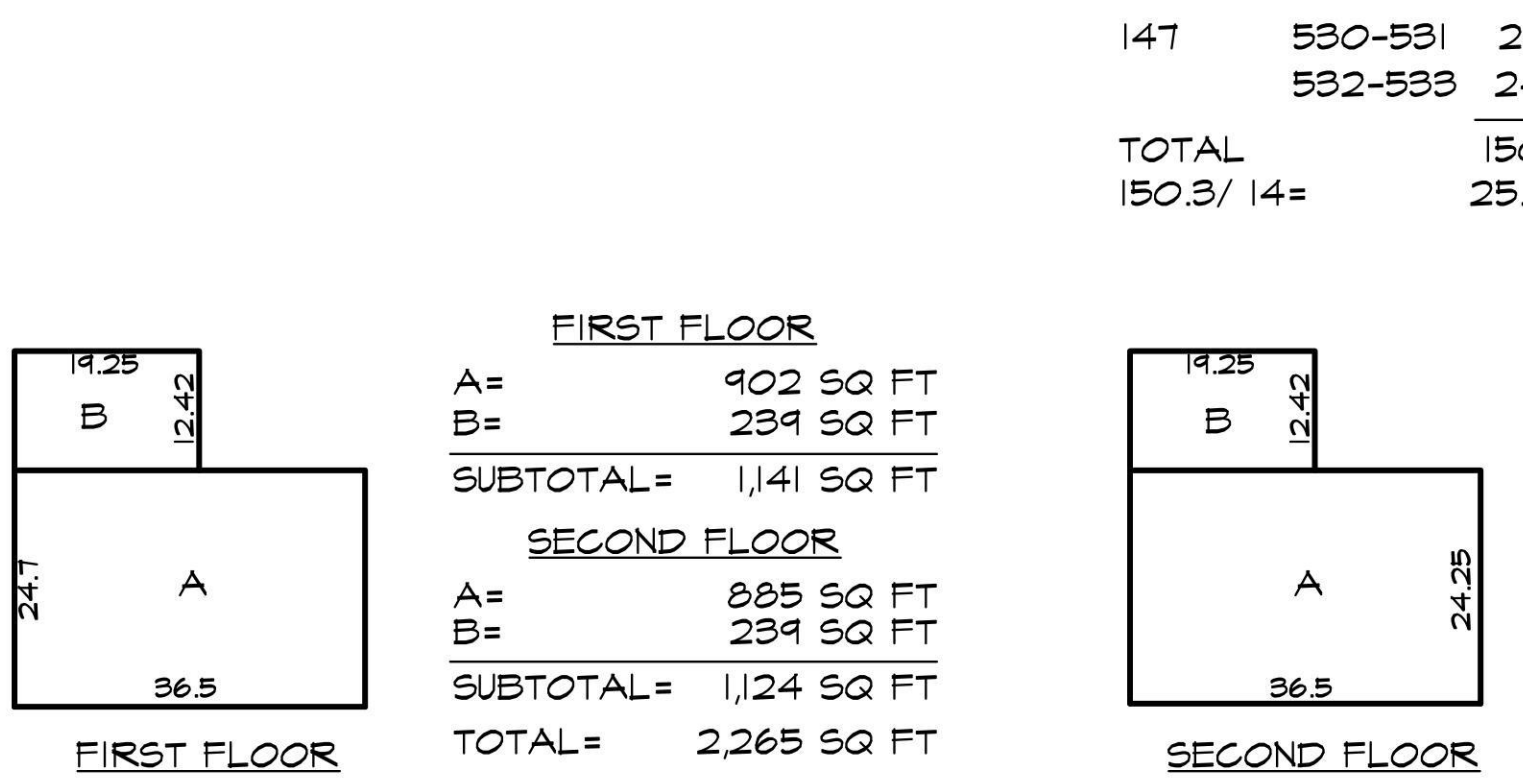
1. SHEATHING TO BE INSTALLED WITH 6d NAILS  
 2. INSTALL PLYWOOD VERTICALLY AT ALL CORNERS  
 3. SPACE NAILS @ 6" O.C. AT PLYWOOD EDGES  
 4. SPACE NAILS @ 12" O.C. VERTICALLY IN PLYWOOD FIELD



#21632



AVERAGE FRONT YARD SETBACK CALCULATION. Table with columns for BLOCK, LOT, and setback distances (e.g., 25.1, 26.2, 24.4, 24.9).



TOWN OF NORTH HEMPSTEAD ZONING. SECTION 33, BLOCK 143, LOT 526, ZONE R-C RESIDENCE C.

PERMITTED USE: SINGLE FAMILY DETACHED DWELLING. BUILDING HEIGHT: OVERALL FROM AVERAGE PRE-EXISTING GRADE AT BUILDING PERIMETER 28'-11" PROPOSED.

FLOOR AREA: 50% MAX. ALL FLOORS, ATTACHED GARAGES, ENCLOSED PORCHES AND ROOFED TERRACES HAVING MORE THAN 50% OF THE PERIMETER ENCLOSED...

FRONT YARD: 25' MINIMUM/ 40' MAXIMUM. AVERAGE FRONT YARD DEPTH WITHIN 200' ON EACH SIDE OF LOT OR 25', WHICHEVER IS GREATER.

SIDE YARD: 5' MINIMUM/ 25% OF WIDTH OF LOT. AGGREGATE: 25% OF 50' = 12.5' MINIMUM AGGREGATE. 4.6' SIDE YARD/ 15' MIN AGGREGATE PROPOSED.

OFF STREET PARKING: ONE FAMILY DWELLING 2 MINIMUM- 10'x20'. PARKING WITHIN FRONT YARD PERMITTED. 2 SPACES PROVIDED.

EROSION CONTROL/ STORM WATER MANAGEMENT: ALL CONSTRUCTION WITH IMPERVIOUS SURFACE AREA INCREASE OF 250 SQ FT REQUIRES UNDERGROUND RETENTION OF 2.5' OF RAINFALL.

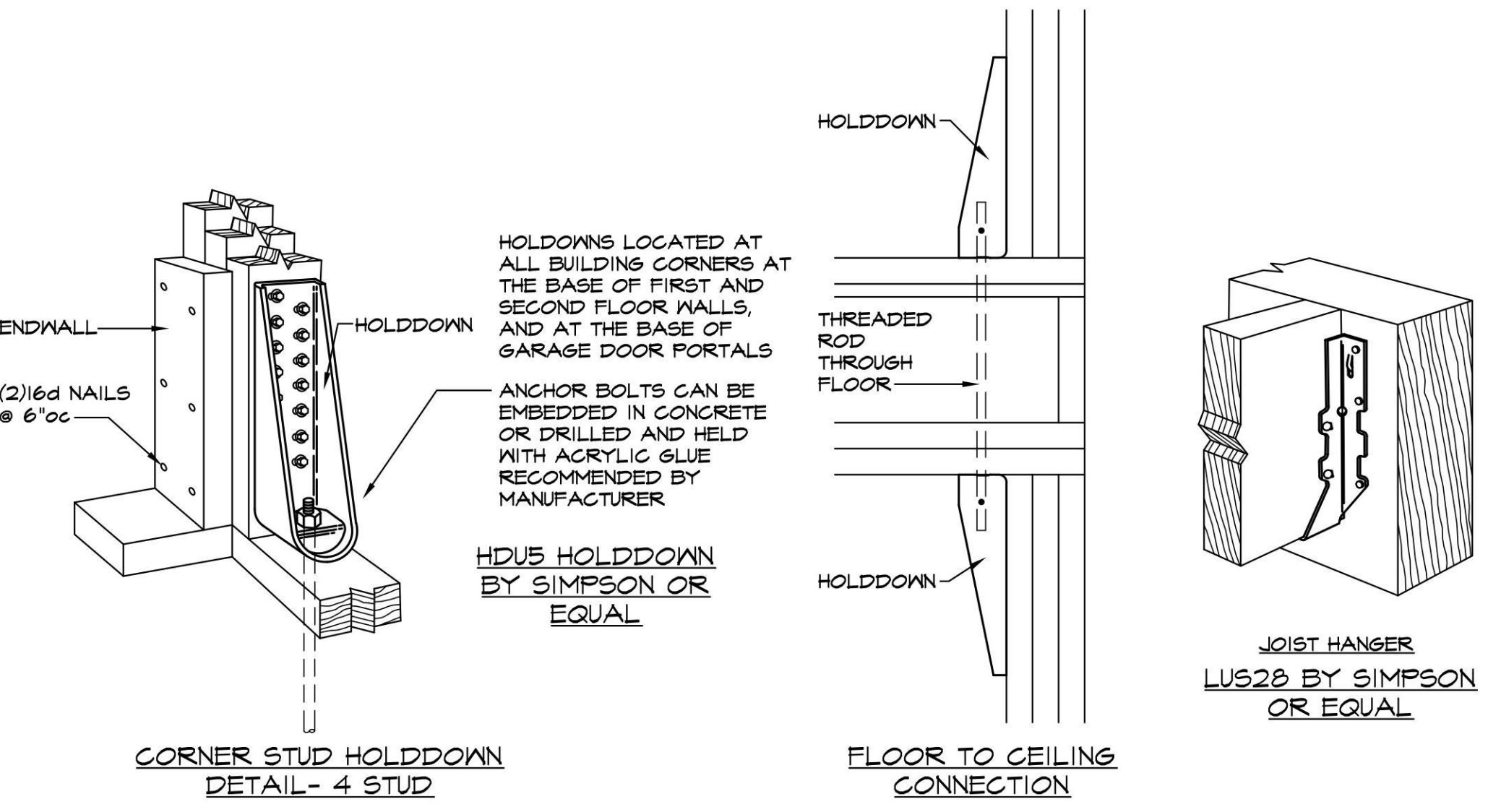
RESIDENTIAL CODE OF NYS: OCCUPANCY CLASSIFICATION R3- ONE FAMILY DWELLING. CONSTRUCTION CLASSIFICATION Vb- WOOD FRAME.

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS. Includes categories like UNHABITABLE ATTICS WITHOUT STORAGE (10 PSF), INTERIOR WALLS AND PARTITIONS (H/180), etc.

TABLE R301.7 DEFLECTION. Includes categories like RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS (L/180), INTERIOR WALLS AND PARTITIONS (H/180).

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA. Includes categories like GROUND SNOW LOAD (20 PSF), WIND DESIGN (130 MPH), TOPOGRAPHIC EFFECTS (YES).

TABLE R301.6 MINIMUM ROOF LIVE LOADS OF HORIZONTAL PROJECTION. USE GROUND SNOW LOAD 20 PSF.

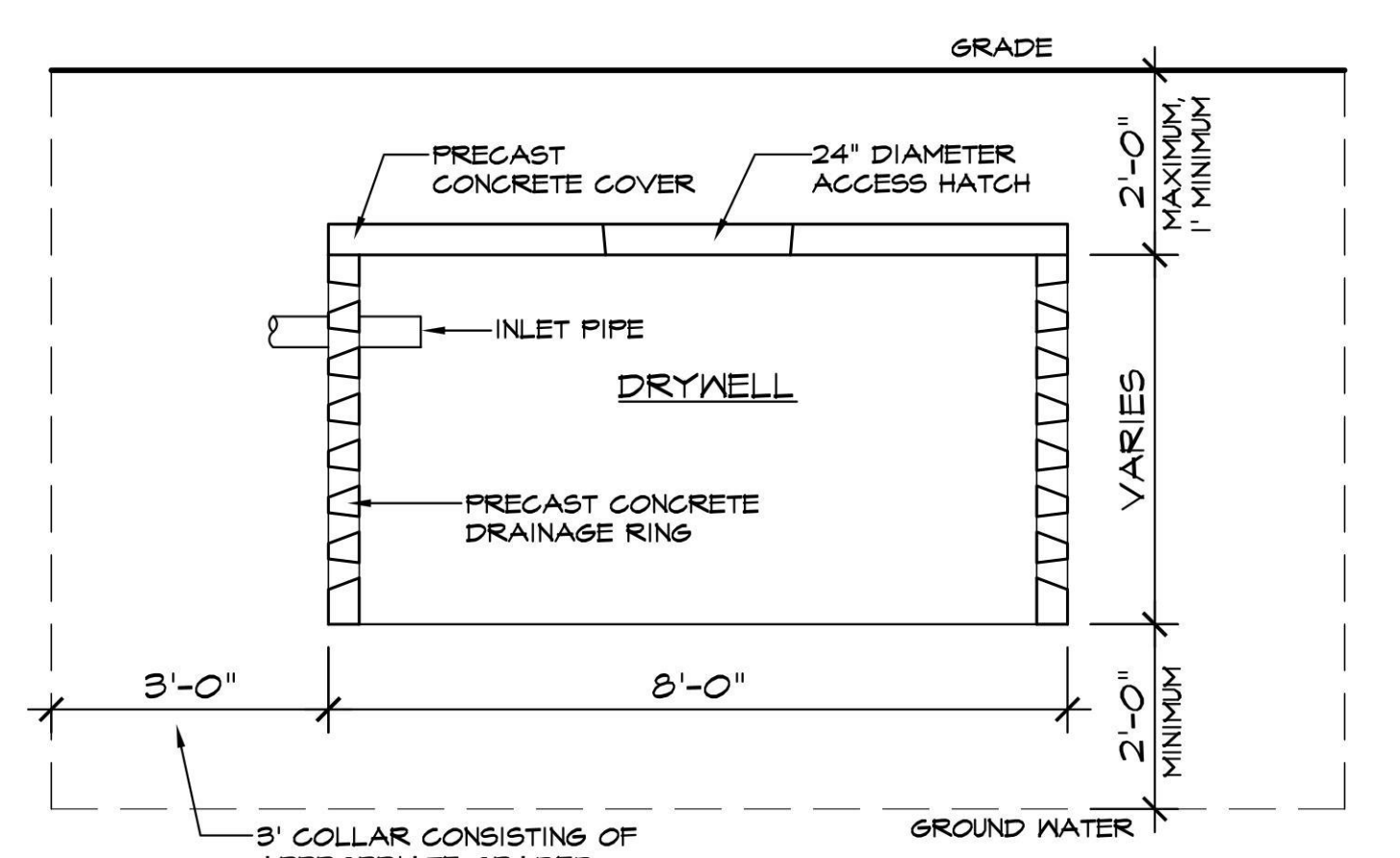


CONNECTOR DETAILS. 1/2" = 1'-0"

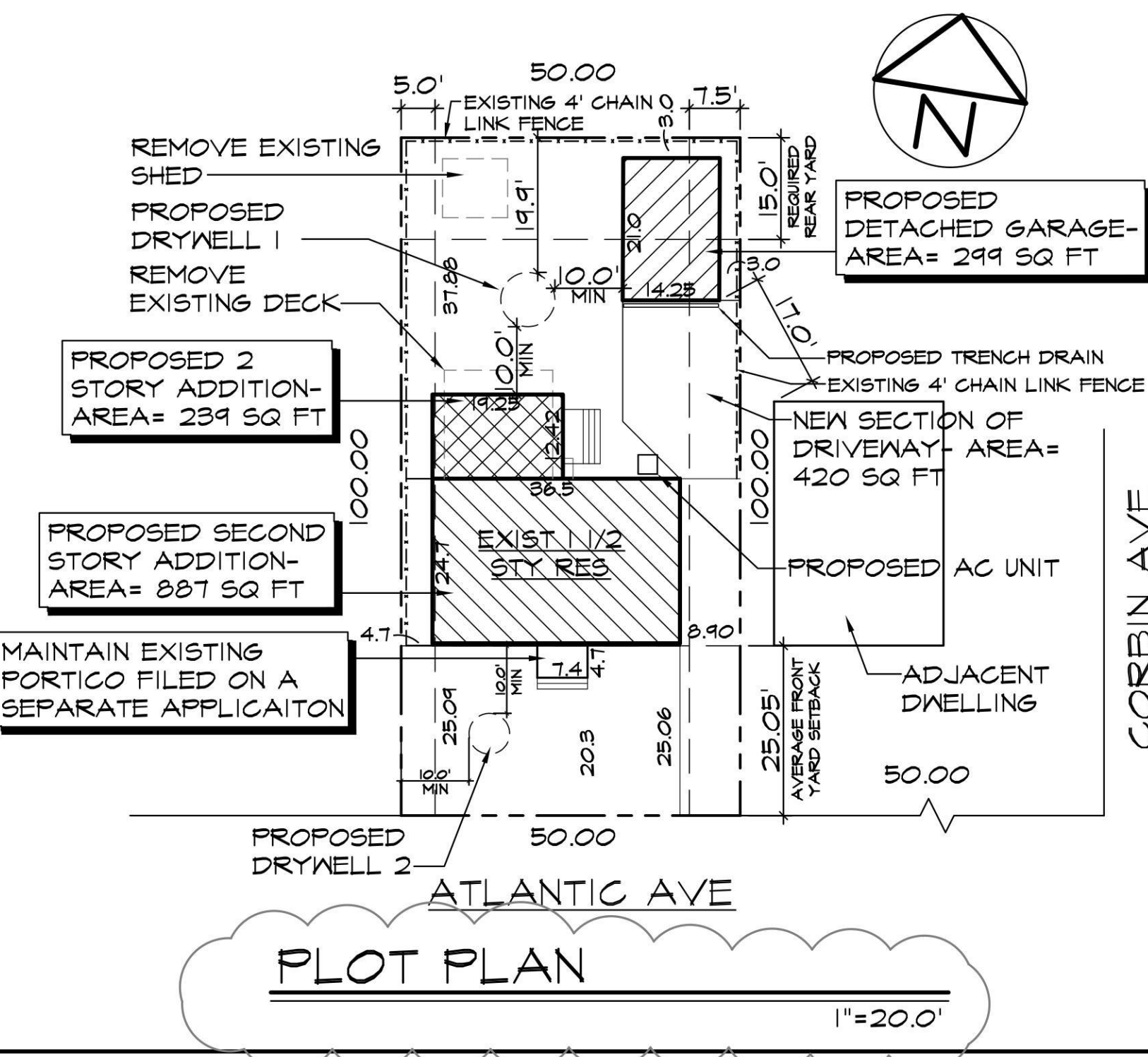
DRAINAGE CALCULATIONS

DRYWELL 1 (REAR YARD): 2 STORY DWELLING 682 SQ FT, DETACHED GARAGE 299 SQ FT, DRIVENAY 420 SQ FT. TOTAL 1,401 SQ FT.

DRYWELL 2 (FRONT YARD): 2 STORY DWELLING 456 SQ FT, EXISTING PORTICO 35 SQ FT. TOTAL 491 SQ FT.



DRYWELL DETAIL. 1/2" = 1'-0"



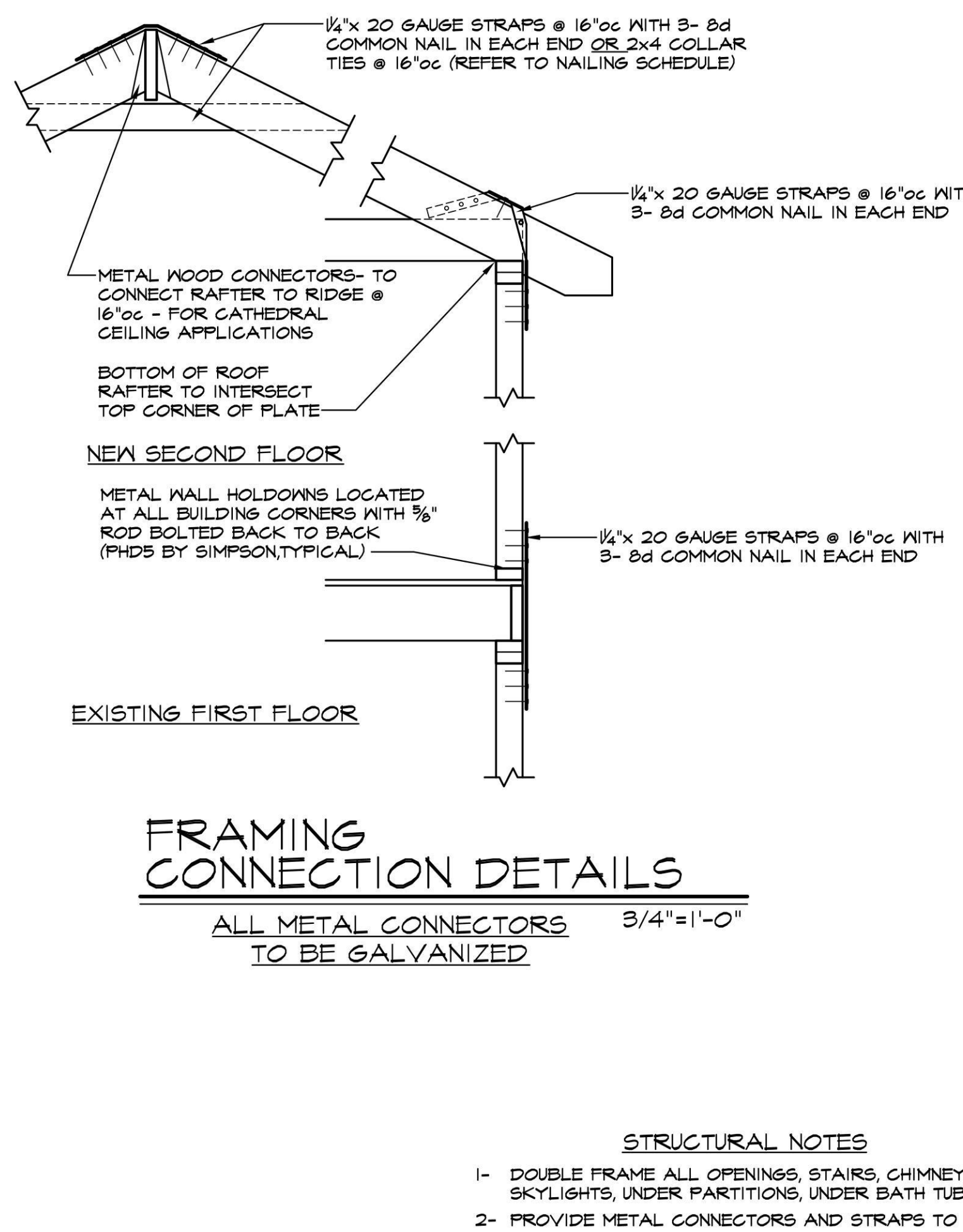
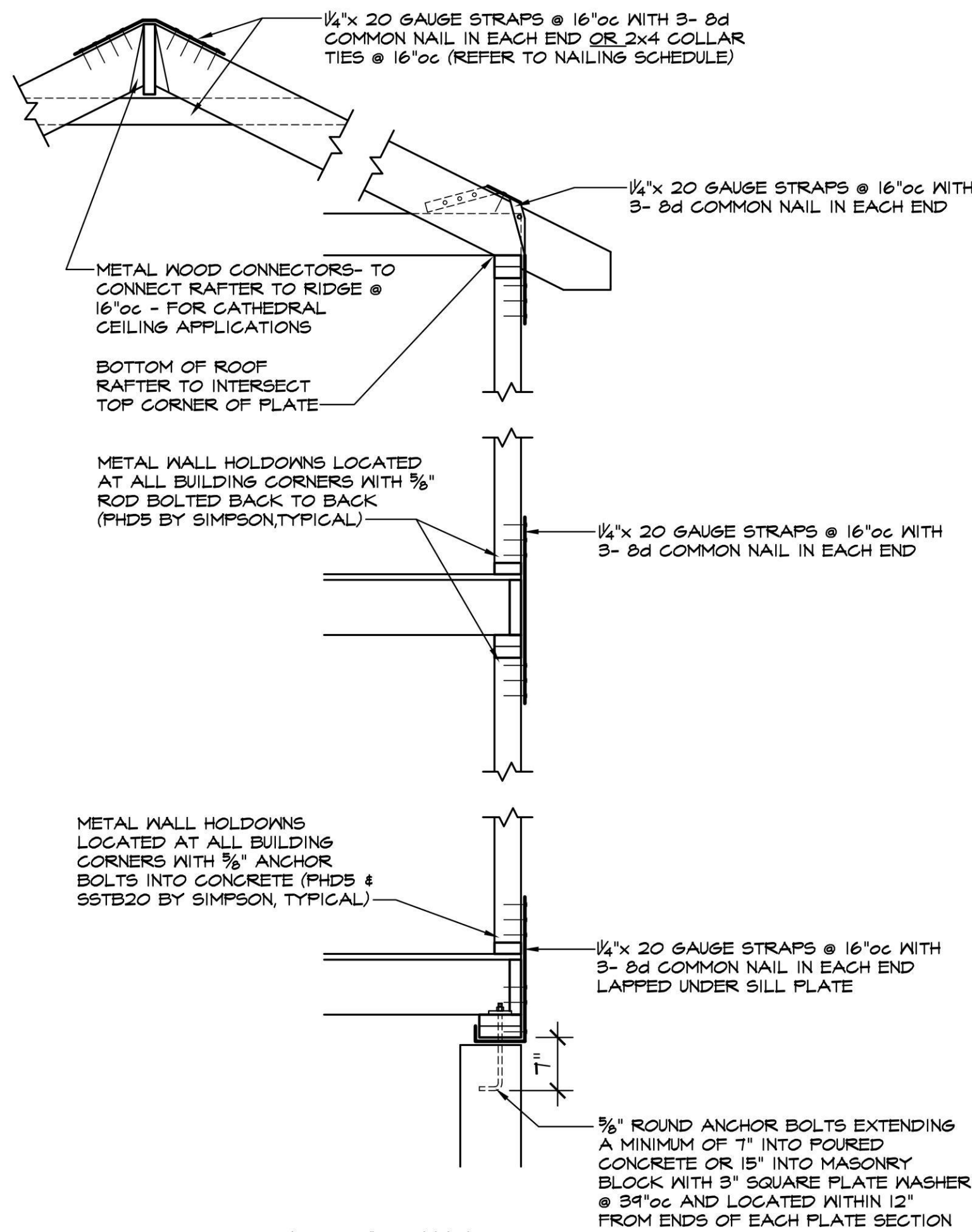
- GENERAL NOTES/ 2020 RESIDENTIAL CODE OF NYS. 1- TO THE BEST OF CHRIS GRAY'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, SUCH PLANS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE 2020 WOOD FRAME CONSTRUCTION MANUAL, NFPA TO STANDARD, NATIONAL ELECTRIC CODE, AND LOCAL ZONING CODE.

DISAPPROVED. Carlos Reyes 09/23/2024

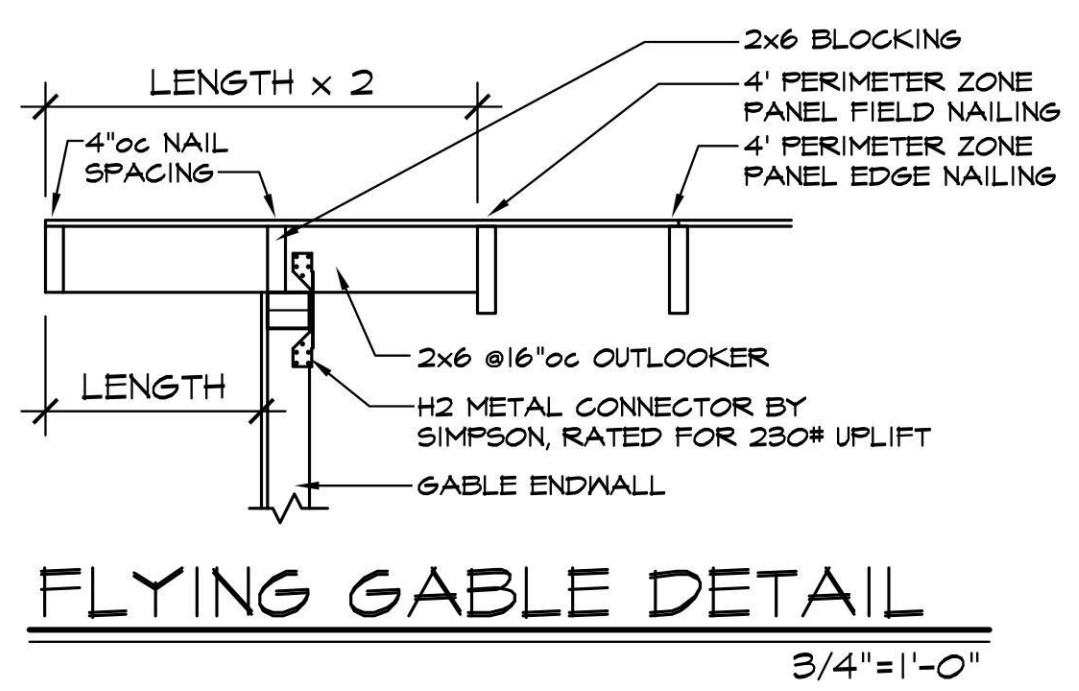
APPLICATION NO. RBP24-000782. REVISED PLANS 9-12-24

GRAY ARCHITECTURAL SERVICES, P.C. 2401 CAPRI PL N. BELLMORE, NY 11710. PHONE 516 679-4722. FAX 516 679-2698. Chris Gray 27536 Registered through 8-31-2026.

NAILING SCHEDULE			
TABLE 3.1 NFPA 2018			
JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
<b>ROOF FRAMING</b>			
RAFTER TO TOP PLATE (TOE NAILED)	3-8d	3-10d	PER RAFTER
CELING JOIST TO TOP PLATE (TOE NAILED)	3-8d	3-10d	PER JOIST
CELING JOIST TO PARALLEL RAFTER (FACE NAILED)	3-8d	3-10d	EACH LAP
CELING JOIST LAPS OVER PARTITIONS (FACE NAILED)	3-8d	3-10d	EACH LAP
COLLAR TIE TO RAFTER (FACE NAILED)	16-FLP	16-FLP	PER TIE
BLOCKING TO RAFTER (TOE NAILED)	2-8d	2-10d	EACH END
RIM BOARD TO RAFTER (END NAILED)	2-8d	2-10d	EACH END
<b>WALL FRAMING</b>			
TOP PLATE TO TOP PLATE (FACE NAILED)	2-16d	2-16d	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE NAILED)	4-16d	2-16d	JOINTS- EACH SIDE
STUD TO STUD (FACE NAILED)	2-16d	2-16d	24"oc
HEADER TO HEADER (FACE NAILED)	16d	16d	16"oc ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END NAILED)	2-16d	2-40d	PER FOOT
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST, OR BLOCKING (FACE NAILED)	2-16d	2-16d	PER FOOT
<b>FLOOR FRAMING</b>			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4-8d	4-10d	PER JOIST
BRIDGING TO JOIST (TOE NAILED)	2-8d	2-10d	EACH END
BLOCKING TO JOIST (TOE NAILED)	2-8d	2-10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-8d	4-16d	EACH JOIST
LEDGER STRIP TO BEAM (FACE NAILED)	3-8d	3-10d	PER JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3-8d	3-10d	PER JOIST
BAND JOIST TO JOIST (END NAILED)	3-8d	4-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-8d	3-10d	PER FOOT
<b>ROOF SHEATHING</b>			
WOOD STRUCTURAL PANELS	8d	10d	#6"oc EDGE, #12"oc FIELD
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	3-8d	3-10d	PER SUPPORT
1"x10" OR WIDER			
<b>CELING SHEATHING</b>			
GYPSUM WALLBOARD	8d COOLERS	8d COOLERS	1" EDGE/ 10" FIELD
WOOD STRUCTURAL PANELS	8d	10d	#6"oc EDGE, #12"oc FIELD
STRUCTURAL FIBERBOARD PANELS	1/2"	-	3" EDGE/ 6" FIELD
1/2"	11 ga. galv. ROOFING NAIL (0.120"x1/2" LONG x 7/16" HEAD)	-	3" EDGE/ 6" FIELD
25/32"	11 ga. galv. ROOFING NAIL (0.120"x1/2" LONG x 7/16" HEAD)	-	3" EDGE/ 6" FIELD
GYPSUM WALLBOARD	8d COOLERS	8d COOLERS	1" EDGE/ 10" FIELD
HARDBOARD	8d	8d	#6"oc EDGE, #12"oc FIELD
PARTICLE BOARD PANELS	8d	8d	SEE MANUFACTURER
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	3-8d	3-10d	PER SUPPORT
1"x10" OR WIDER			
<b>FLOOR SHEATHING</b>			
WOOD STRUCTURAL PANELS	8d	10d	6" EDGE/ 12" FIELD
1" OR LESS	10d	16d	6" EDGE/ 12" FIELD
GREATER THAN 1"			
DIAGONAL BOARD SHEATHING	2-8d	2-10d	PER SUPPORT
1"x6" or 1"x8"	3-8d	3-10d	PER SUPPORT
1"x10" OR WIDER			



**FRAMED OPENING DETAIL**  
 ALSO USE STRAPPING AS SHOWN ON 1/2"=1'-0"  
 FRAMING CONNECTION DETAILS FOR  
 JACK, KING, & CRIPPLE STUDS

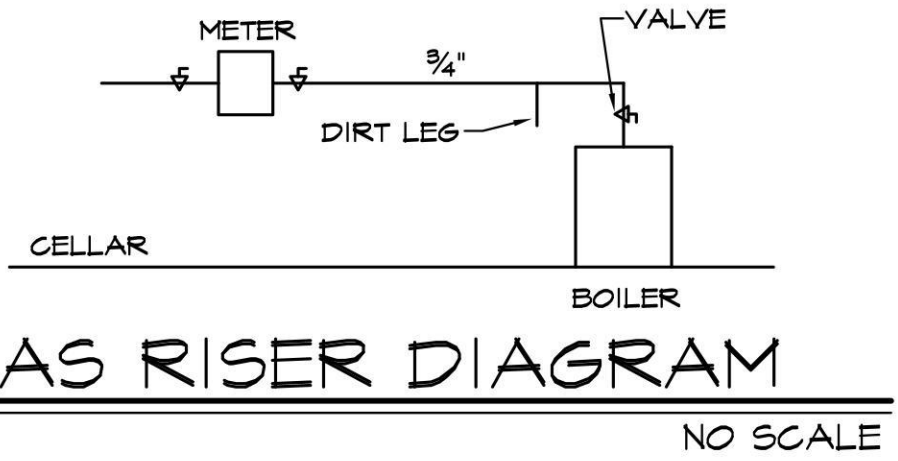


**FLYING GABLE DETAIL**  
 3/4"=1'-0"

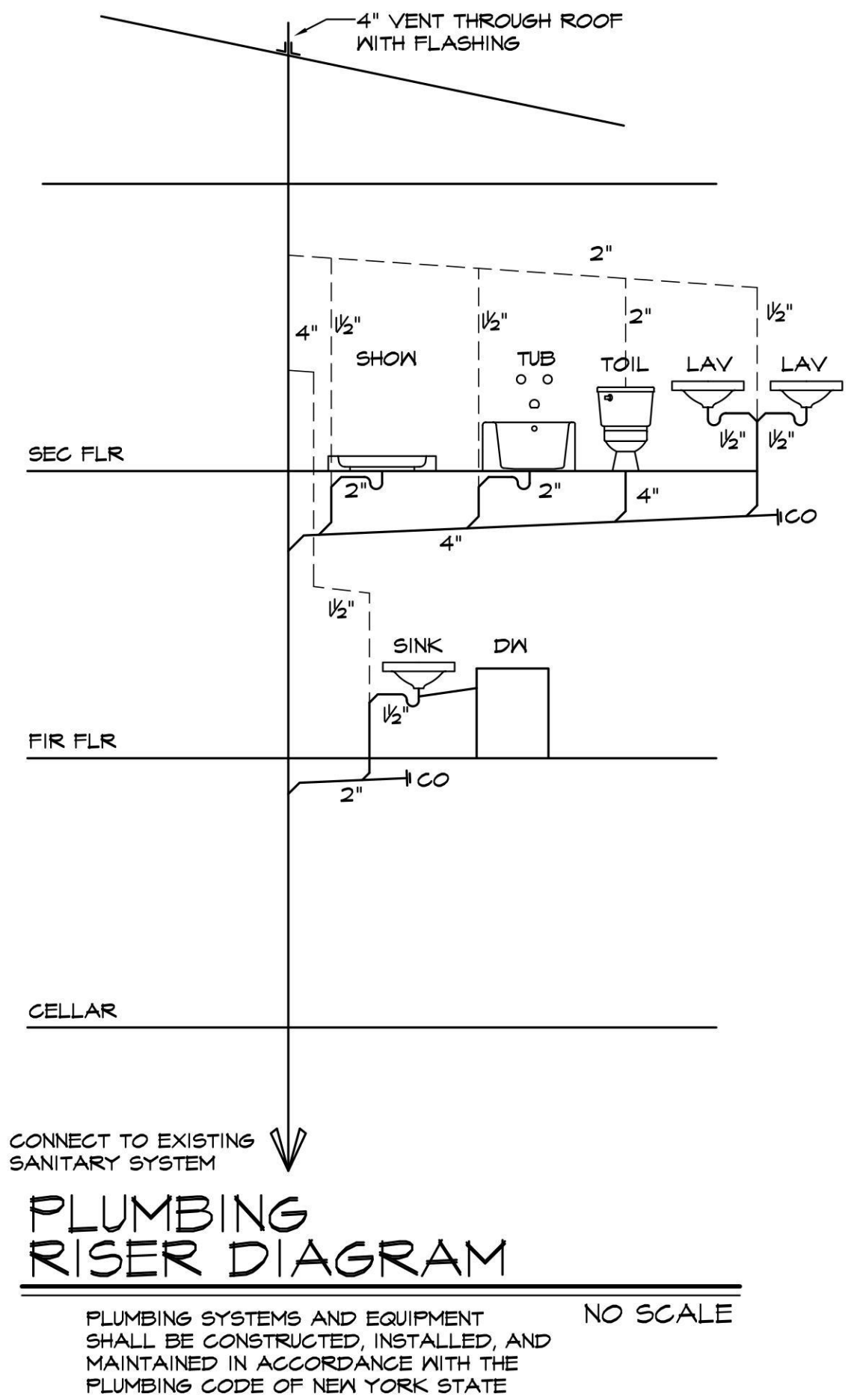
**FRAMING CONNECTION DETAILS**  
 ALL METAL CONNECTORS 3/4"=1'-0"  
 TO BE GALVANIZED

**FRAMING CONNECTION DETAILS**  
 ALL METAL CONNECTORS 3/4"=1'-0"  
 TO BE GALVANIZED

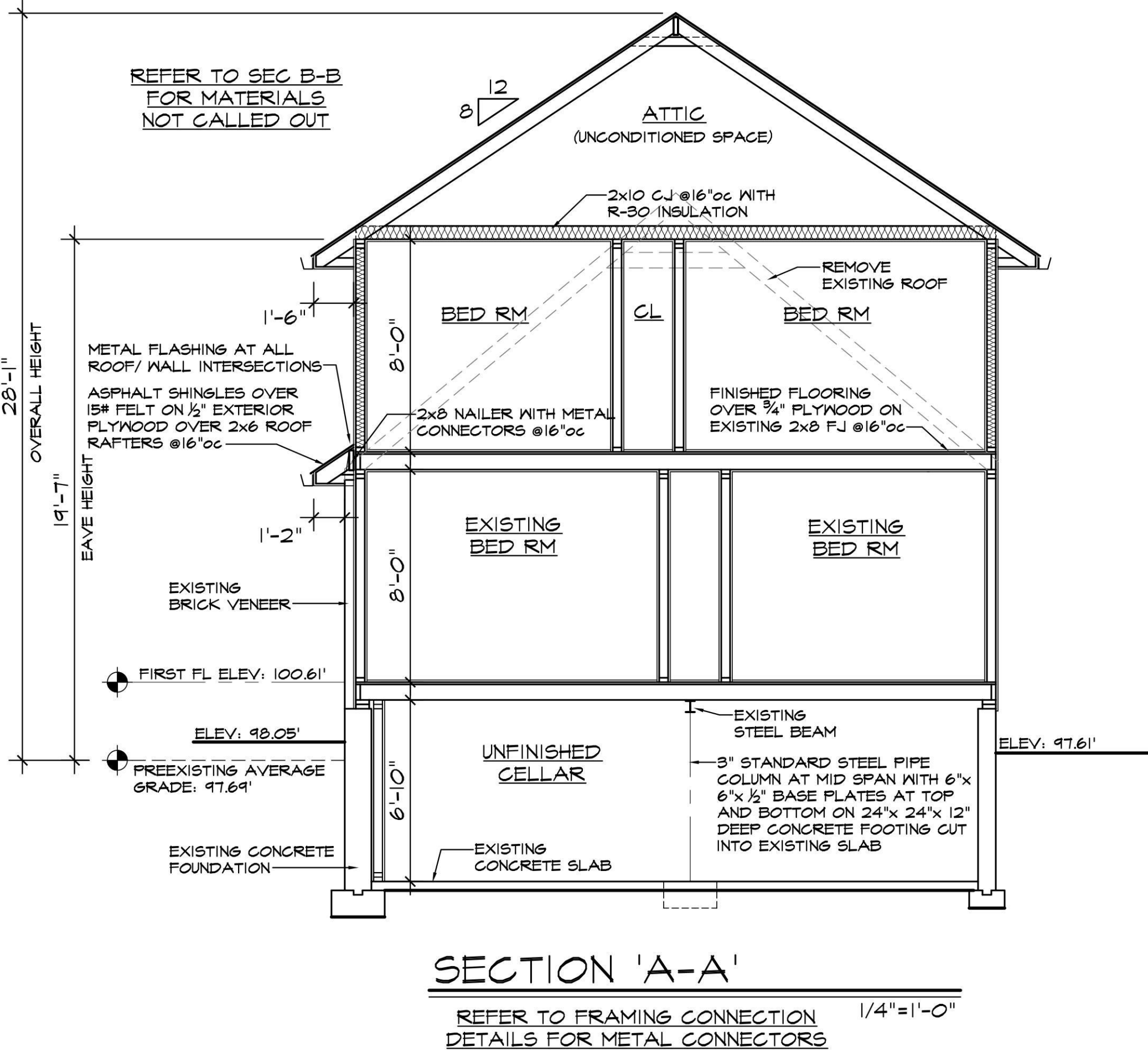
- STRUCTURAL NOTES**
- DOUBLE FRAME ALL OPENINGS, STAIRS, CHIMNEYS, SKYLIGHTS, UNDER PARTITIONS, UNDER BATH TUBS
  - PROVIDE METAL CONNECTORS AND STRAPS TO SECURE ROOF TO WALL DOWN TO FOUNDATION- REFER TO FRAMING CONNECTION DETAILS
  - ALL EXPOSED WOOD OR WOOD COMING IN CONTACT WITH CONCRETE TO BE PRESURE TREATED OR NATURALLY TREATED, ALL FASTENERS AND CONNECTORS TO BE APPROVED FOR USE WITH ACG LUMBER
  - PROVIDE FULL DEPTH SOLID WOOD BLOCKING UNDER ALL WOOD POSTS ENSURING TRANSFER OF LOADS TO FOUNDATION AND FOOTINGS
  - ALL BUILT UP POSTS AND JACK STUDS SHALL BE THOROUGHLY NAILED TO PREVENT BURSTING APART
  - PROVIDE FULL DEPTH SOLID OR CROSS BRIDGING BETWEEN JOISTS AT INTERVALS NOT EXCEEDING 8' (SAWN LUMBER ONLY)
  - 3 FLY BUILT UP BEAMS AND FLITCH BEAMS- PROVIDE 3/8" A325 BOLTS @ 24"oc TOP AND BOTTOM FULL LENGTH OF BEAM
  - ENGINEERED LUMBER- REFER TO MANUFACTURERS HANDBOOK REGARDING RECOMMENDED USES AND HANDLING OF PRODUCT
  - MASONRY CHIMNEYS AND BRICK/ STONE VENEERS TO WOOD FRAME STRUCTURES ARE NOT TO BE USED AS A MEANS OF STRUCTURAL SUPPORT
  - ALL STEEL COLUMNS TO BE CONTINUOUS FROM BEAM TO CONCRETE FOUNDATION/ FOOTING WITH WELDED STEEL BEARING PLATES- ADJUSTABLE SCREW COLUMNS ARE NOT ACCEPTABLE
- WINDOW NOTES**
- WINDOW DESIGNATIONS SHOWN ARE GENERIC UNIT DIMENSIONS- CROSS REFERENCE TO MANUFACTURERS DESIGNATIONS
  - WINDOWS TO BE HIGH PERFORMANCE LOW-E TYPE, NFRC CERTIFIED WITH U VALUE OF .32 OR LESS
  - SKYLIGHTS TO BE HIGH PERFORMANCE LOW-E TYPE, NFRC CERTIFIED WITH U VALUE OF .55 OR LESS
  - EXTERIOR WINDOWS AND DOORS SHALL RESIST A WIND DESIGN PRESSURE- REFER TO CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA CHART
  - COMBINATION WINDOW MILLION JOINING MATERIAL SHALL BE CAPABLE OF RESISTING 1.5 TIMES THE DESIGN PRESSURE LOAD
  - WINDOWS IN BUILDINGS WITHIN 1 MILE OF COAST SHALL RESIST WIND BORNE DEBRIS IMPACT OR BE FITTED WITH WOOD PANELS
  - INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS TO ACHIEVE THE DESIGN PRESSURE AND WEATHER TIGHT SEAL
  - PROVIDE PROPER HARDWARE TO INSURE ADEQUATE EMERGENCY ESCAPE AND RESCUE OPENING CLEARANCES AS STATED IN GENERAL NOTE 15
  - MASONRY OPENINGS- VERIFY EXACT OPENING PRIOR TO POURING FOUNDATION
- HVAC NOTES- HEATING, VENTING, AND AIR CONDITIONING**
- PLUMBER TO CALCULATE NEW HEATING LOADS, ANALYZE EXISTING EQUIPMENT FOR ADEQUACY, AND DETERMINE MODIFICATION OR REPLACEMENT OF UNIT.
  - AIR CONDITIONING INSTALLER TO CALCULATE NEW COOLING LOADS, ANALYZE EXISTING EQUIPMENT FOR ADEQUACY, AND DETERMINE MODIFICATION OR REPLACEMENT OF UNIT.
  - HEAT PRODUCING EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS IN RESPECT TO WALL AND SERVICING CLEARANCES
  - HVAC EQUIPMENT INSTALLED OUTSIDE OF BUILDING MAY BE SUBJECT TO MINIMUM CLEARANCES TO PROPERTY LINES, CHECK WITH LOCAL MUNICIPALITY FOR RULES AND REGULATIONS.
- FINISH NOTES**
- CONTRACTOR TO COORDINATE FINISHES AND COLORS WITH OWNER
  - FINISH MATERIALS TO BE APPLIED AS PER THE MANUFACTURERS GUIDELINES



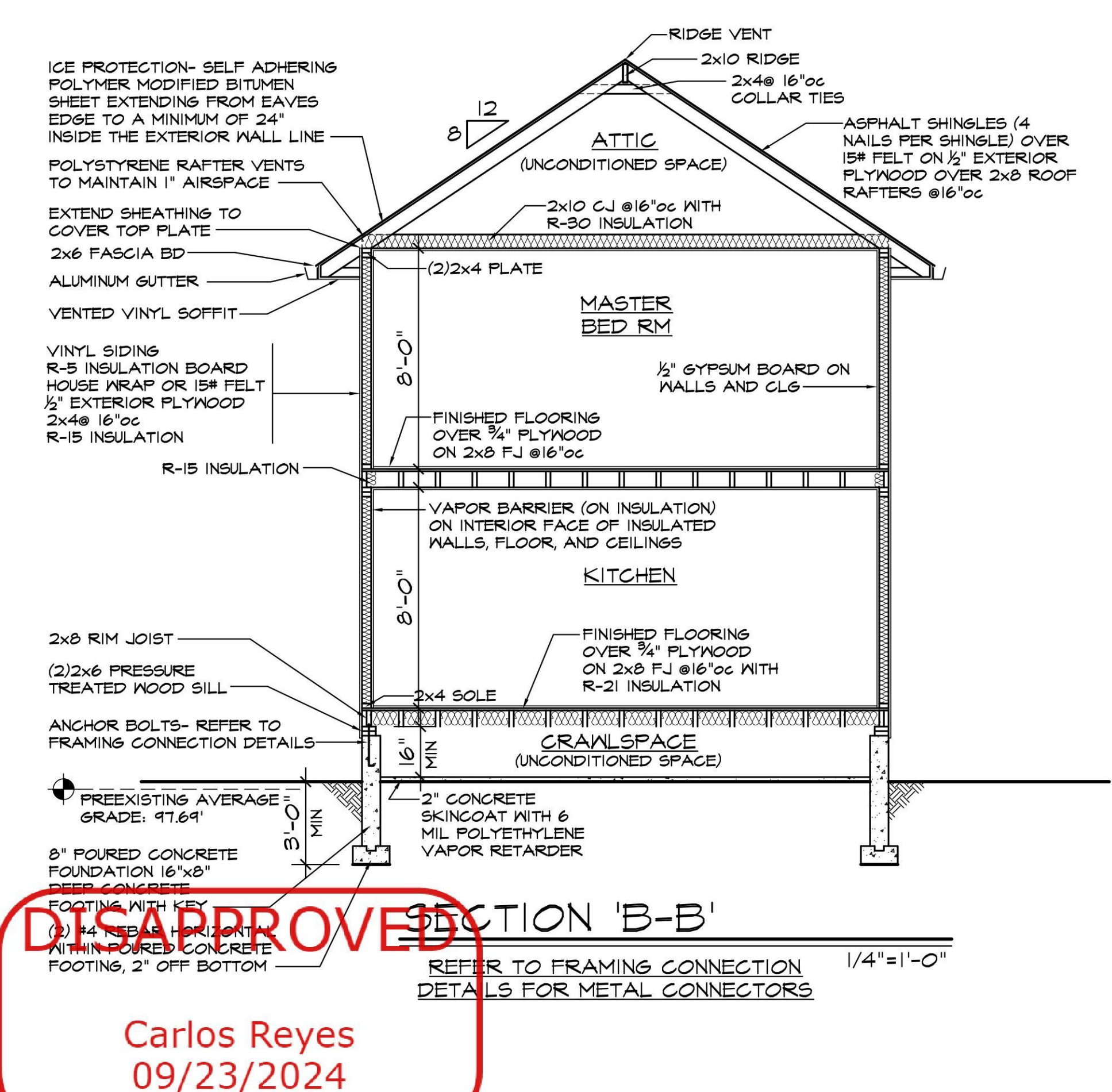
**GAS RISER DIAGRAM**  
 NO SCALE



**PLUMBING RISER DIAGRAM**  
 NO SCALE  
 PLUMBING SYSTEMS AND EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE PLUMBING CODE OF NEW YORK STATE



**SECTION 'A-A'**  
 REFER TO FRAMING CONNECTION DETAILS FOR METAL CONNECTORS 1/4"=1'-0"



**SECTION 'B-B'**  
 REFER TO FRAMING CONNECTION DETAILS FOR METAL CONNECTORS 1/4"=1'-0"

**DISAPPROVED**  
 Carlos Reyes  
 09/23/2024

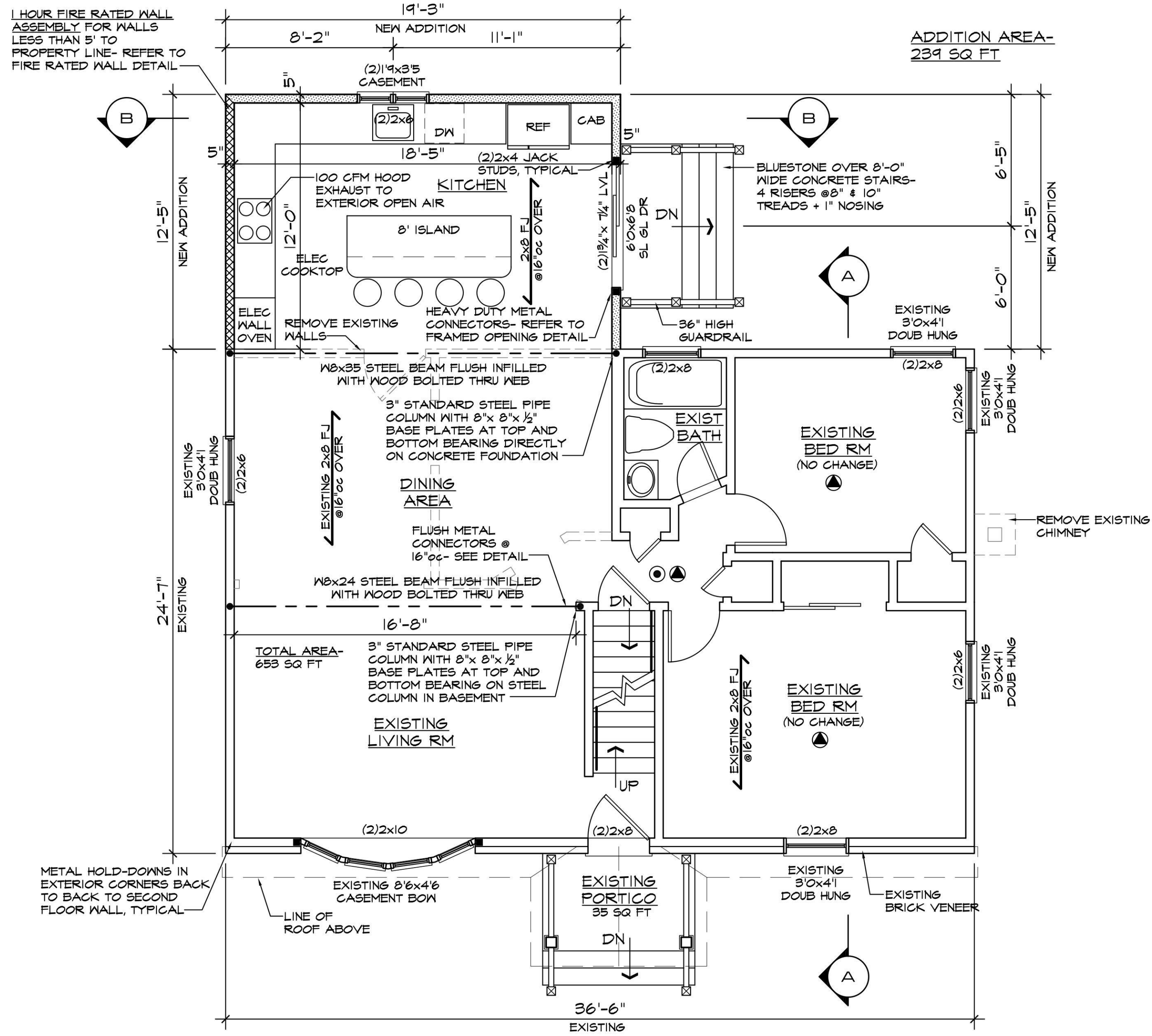


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 PHONE 516 679-4722 FAX 516 679-2698  
 grayarchsvr@verizon.net grayarchsvr.com  
 Chris Gray 27536 Registered through 8-31-2026

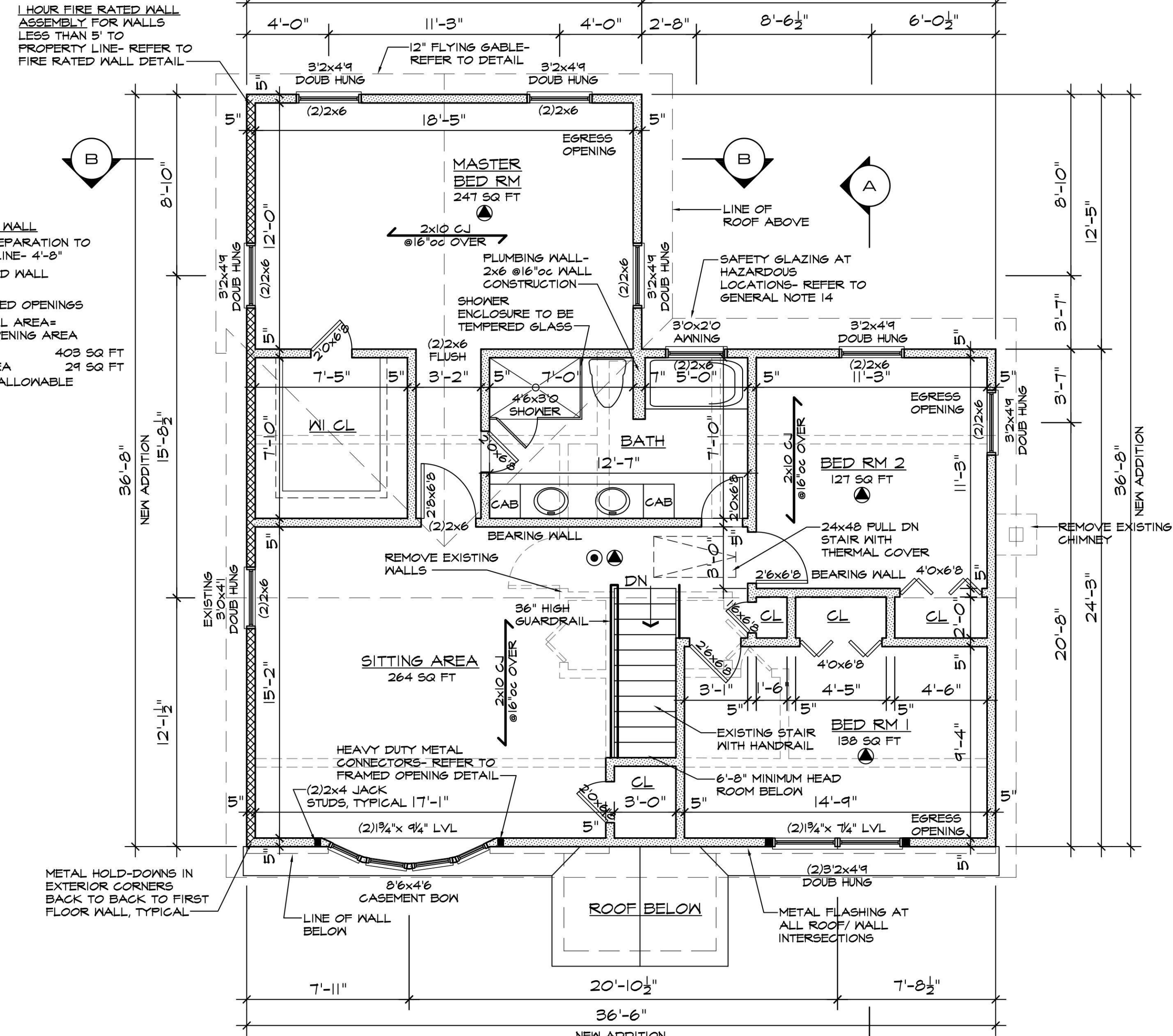


**SOUTHERN RESIDENCE**  
 135 ATLANTIC AVE  
 NEW HYDE PARK, NY 11040  
**PROPOSED SECOND STORY AND 2 STORY ADDITION**

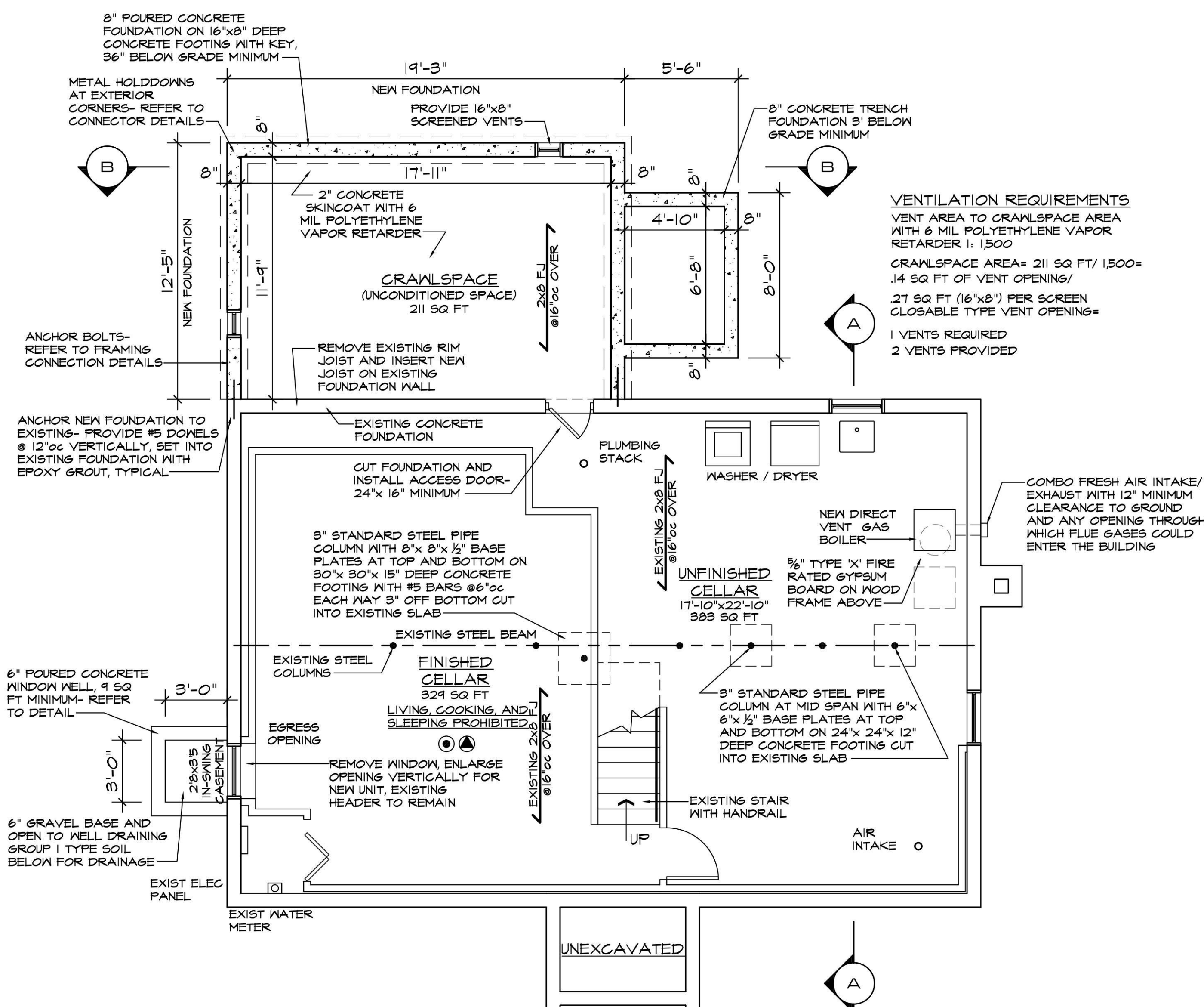
DATE 8-5-24  
 DRAW BY CA  
 OF 5



**FIRST FLOOR PLAN**  
1/4"=1'-0"



**SECOND FLOOR PLAN**  
1/4"=1'-0"



**CELLAR FLOOR PLAN**  
1/4"=1'-0"

**ELECTRICAL LEGEND**

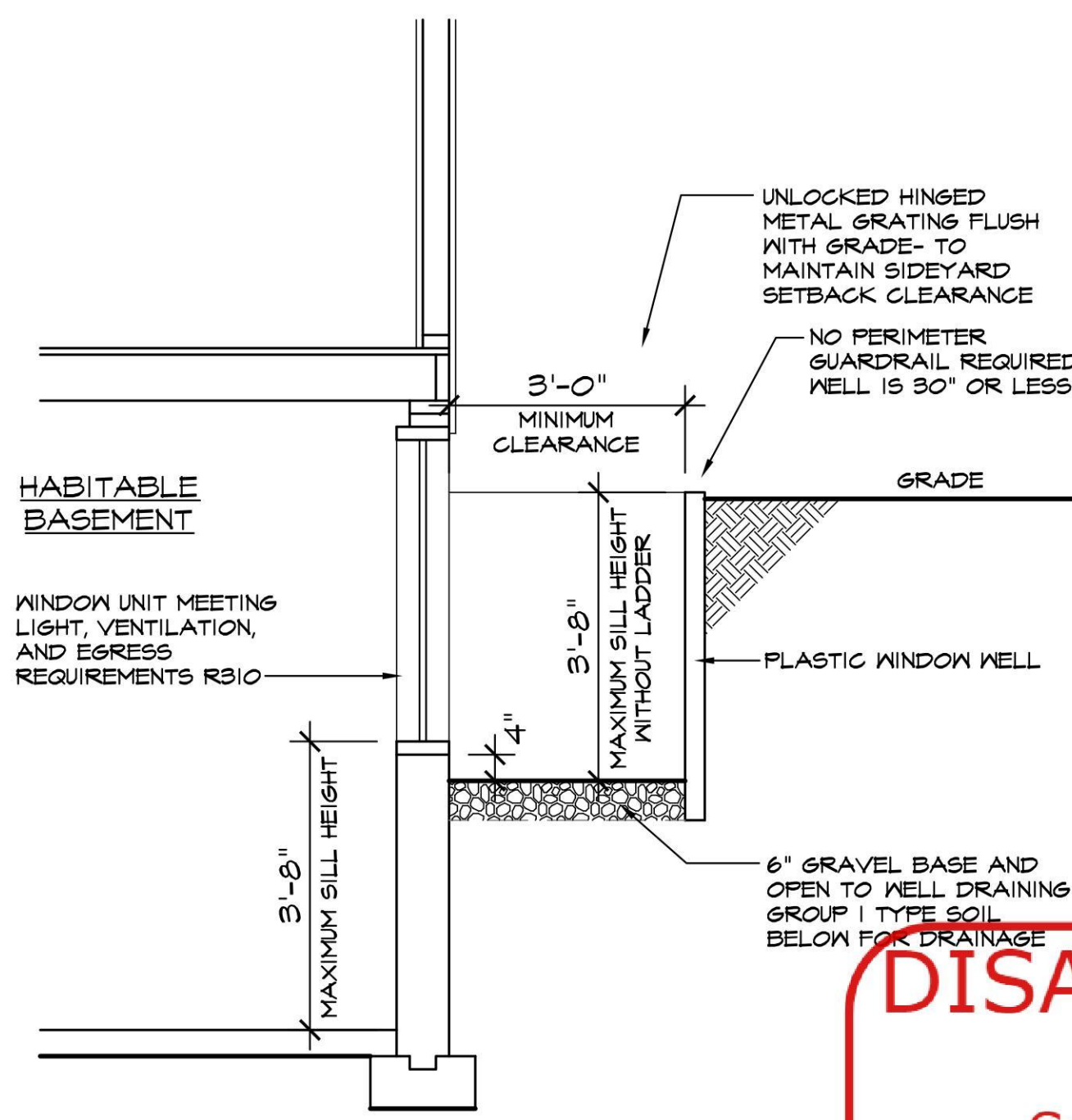
- HARDWIRED SMOKE DETECTOR
  - CARBON MONOXIDE DETECTOR, WITHIN 10' FROM BEDROOMS
  - HARDWIRED HEAT DETECTOR
- CONTRACTOR AND ELECTRICIAN TO REVIEW EXACT REQUIREMENTS WITH OWNER AND COMPLY WITH ELECTRICAL CODE
- SMOKE ALARMS- MUST BE INSTALLED ON ALL JOBS AS REQUIRED FOR NEW DWELLINGS (REFER TO GENERAL NOTE 22 & 23)**

**WALL LEGEND**

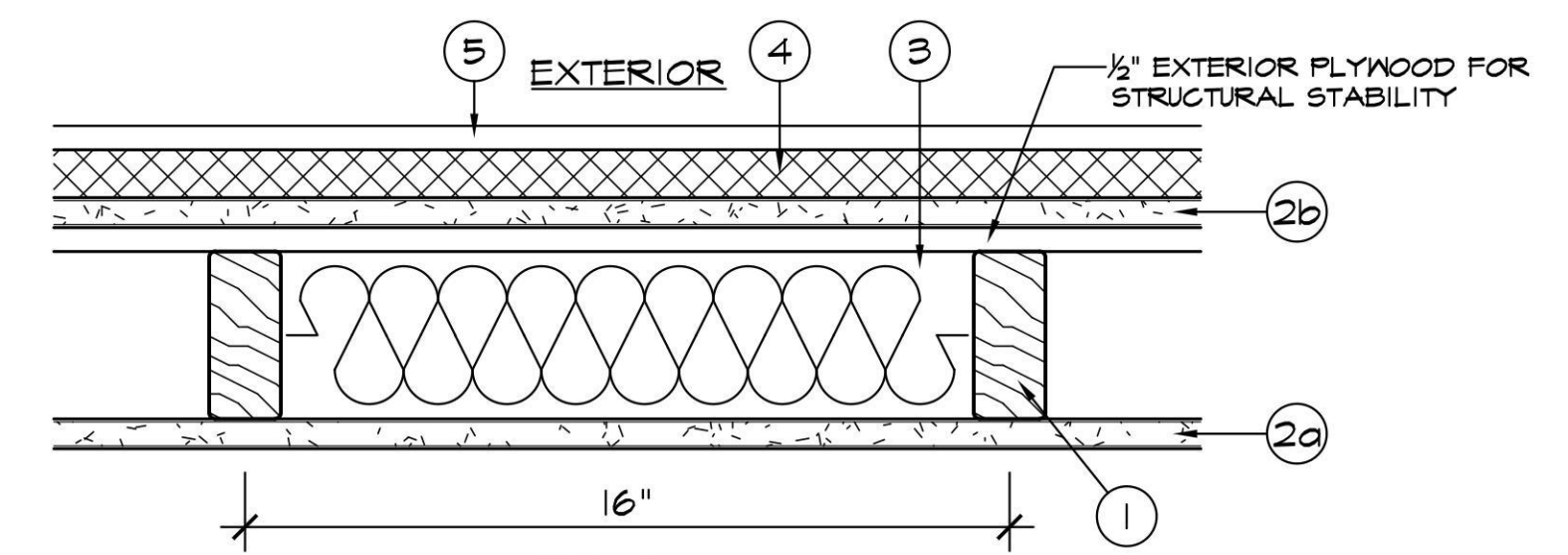
- - - - - EXISTING TO BE REMOVED
- - - - - EXISTING TO REMAIN
- ▨ NEW FRAME WALL
- ▨ NEW POURED CONCRETE
- ▨ NEW 1 HOUR FIRE RATED

**LIGHT AND VENTILATION CALCULATIONS**

FLOOR	SPACE	FLOOR AREA-SQ FT	2% NATURAL LIGHT		4% VENTILATION	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED
1	KIT/ DR/ LR	653	52.2	61.5	26.1	66.6
2	MAST BED RM	247	19.8	41.2	9.9	22.8
2	SITTING RM	264	21.1	31.6	10.6	26.1
2	BED RM 1	198	11.0	20.6	5.5	11.4
2	BED RM 2	127	10.2	20.6	5.1	11.4



**WINDOW WELL DETAIL**  
1/2"=1'-0"



**1 HOUR RATED BEARING WALL**  
UL DESIGN NO. U364

- ALL BUILDING COMPONENTS MUST BEAR THE UL CLASSIFICATION MARK
- ① WOOD STUDS- 2x4 @16"oc
  - ② GYPSUM BOARD- 5/8" TYPE 'X' 4' WIDE BEARING THE UL CLASSIFICATION MARKING FOR FIRE RESISTANCE APPLIED VERTICALLY, ATTACHED TO STUDS WITH 6d CEMENT COATED NAILS OR 1-1/2" LONG NO. 6 BUSHHEAD DRYWALL SCREWS SPACED 1'oc AT THE EDGES AND IN THE FIELDS. VERTICAL JOINTS LOCATED OVER STUDS. JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. NAILS COVERED WITH JOINT COMPOUND
  - ③ GYPSUM BOARD- 5/8" DENS-GLASS GOLD FIRE/RATED SHEATHING BY GEORGIA-PACIFIC OR EQUAL. 4' WIDE BEARING THE UL CLASSIFICATION MARKING FOR FIRE RESISTANCE APPLIED VERTICALLY, ATTACHED TO STUDS WITH 6d CEMENT COATED NAILS OR 1-1/2" LONG NO. 6 BUSHHEAD DRYWALL SCREWS SPACED 1'oc AT THE EDGES AND IN THE FIELDS. VERTICAL JOINTS LOCATED OVER STUDS. JOINTS COVERED WITH GLASS MESH TAPE AND JOINT COMPOUND. NAILS COVERED WITH ACRYLIC LATER GULK
  - ④ BATT INSULATION- R-15, MINIMUM 3-1/2" GLASS FIBER PLACED TO FILL CAVITY OF WALL
  - ⑤ 1/2" RIGID POLYSTYRENE INSULATION PLACED TO STUDS WITH 2-1/2" LONG GALVANIZED ROOFING NAILS
  - ⑥ EXTERIOR FINISH- VINYL SIDING HAVING A FLAME SPREAD VALUE OF 20 OR LESS OR SYNTHETIC STUCCO SYSTEMS WITH SELF-FLURRING METAL LATH OR ADHESIVE BASE COAT, THICKNESS FROM 3/4" TO 1"

**DISAPPROVED**  
Carlos Reyes  
09/23/2024



**GRAY ARCHITECTURAL SERVICES, P.C.**  
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grayarchserv@verizon.net grayarchserv.com  
Chris Gray 27536 Registered through 8-31-2026



SOUTHERN RESIDENCE  
135 ATLANTIC AVE  
NEW HYDE PARK, NY 11040  
PROPOSED SECOND STORY  
AND 2 STORY ADDITION

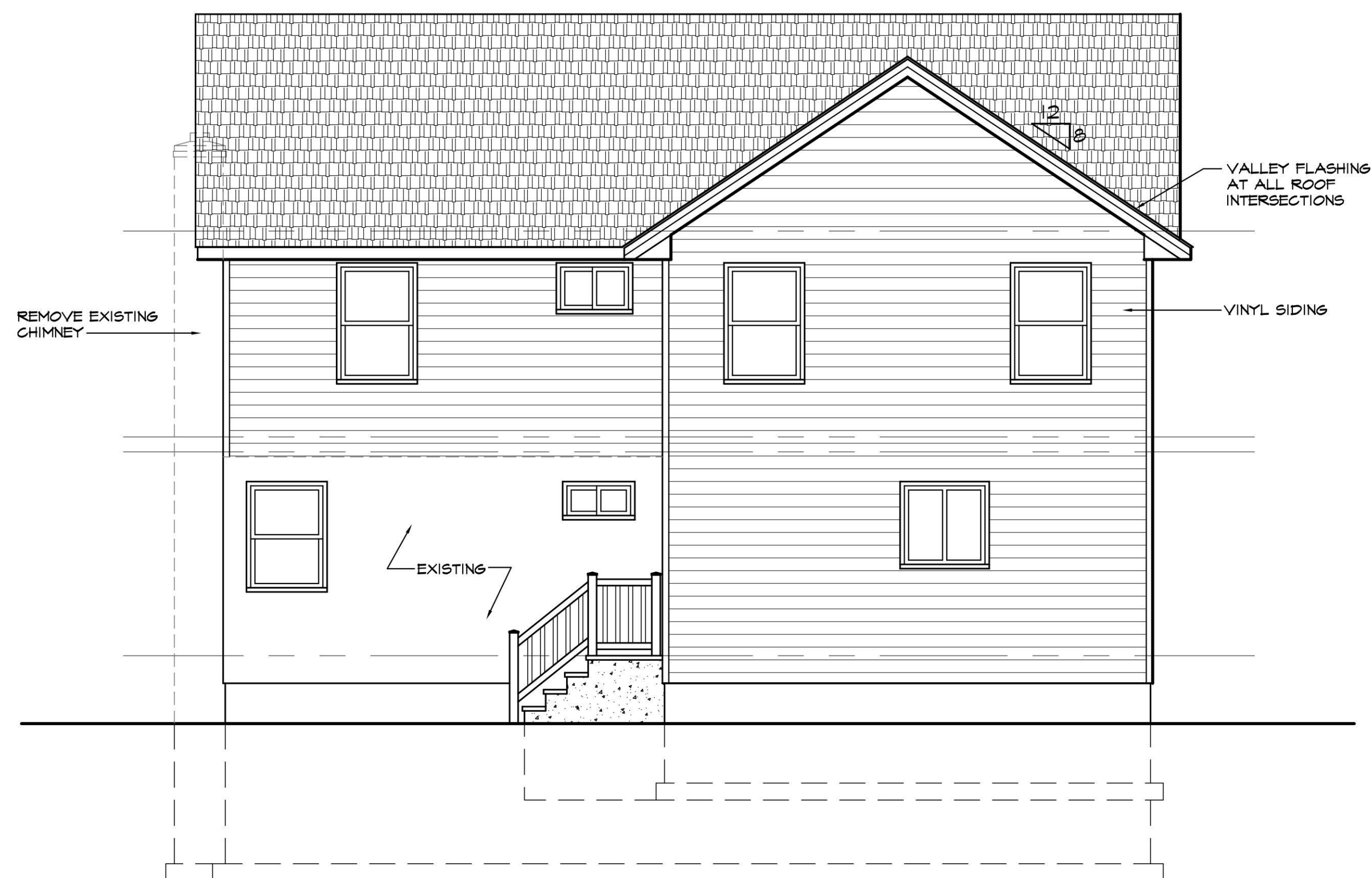
DATE 8-5-24 DRAW BY CA  
**A3**  
OF 5



LEFT SIDE ELEVATION  
1/4"=1'-0"



FRONT ELEVATION  
1/4"=1'-0"



REAR ELEVATION  
1/4"=1'-0"



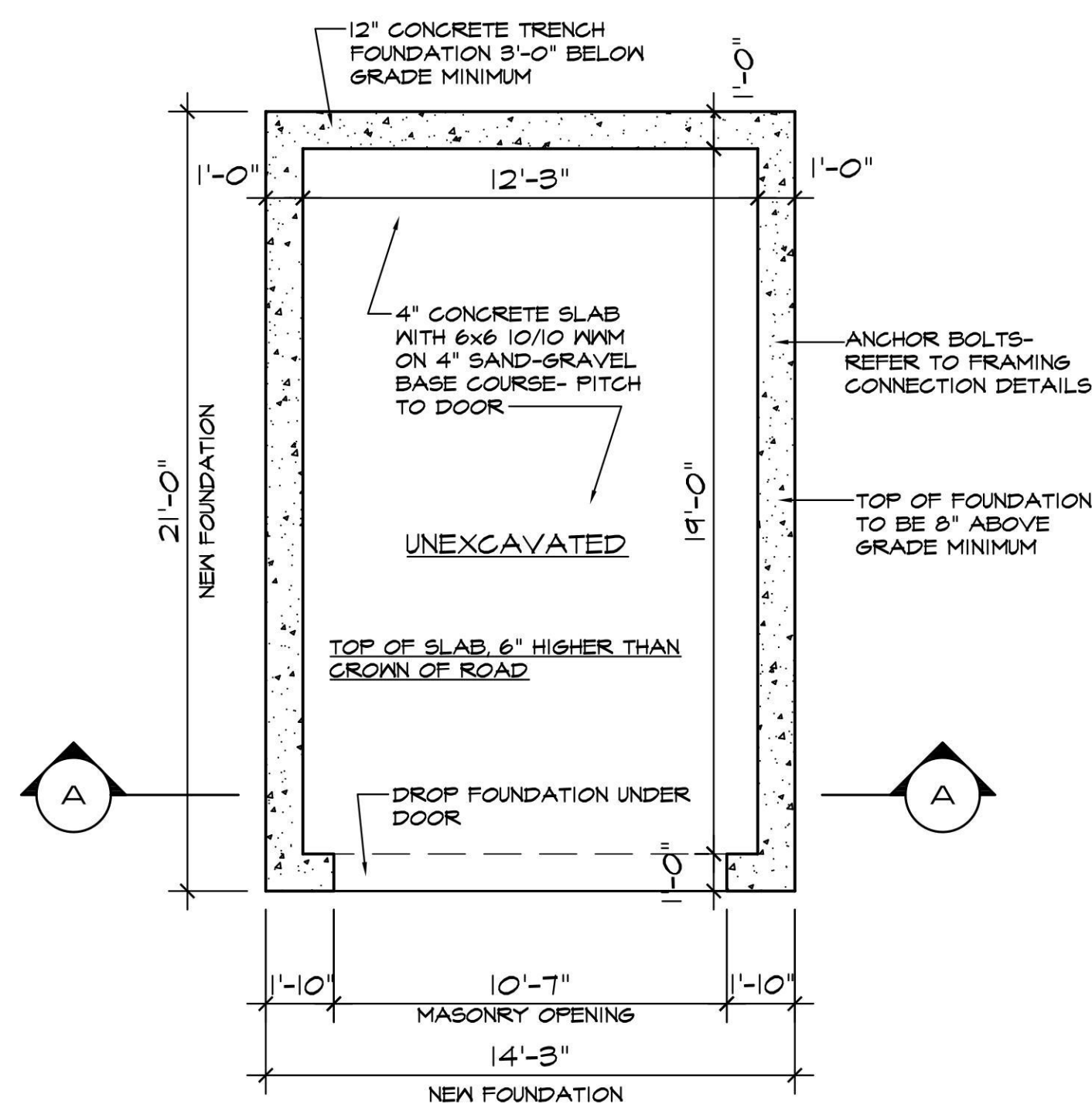
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SOUTHERN RESIDENCE  
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NEW HYDE PARK, NY 11040  
TOWN OF NORTH HEMPSTEAD  
PROPOSED SECOND STORY  
AND 2 STORY ADDITION

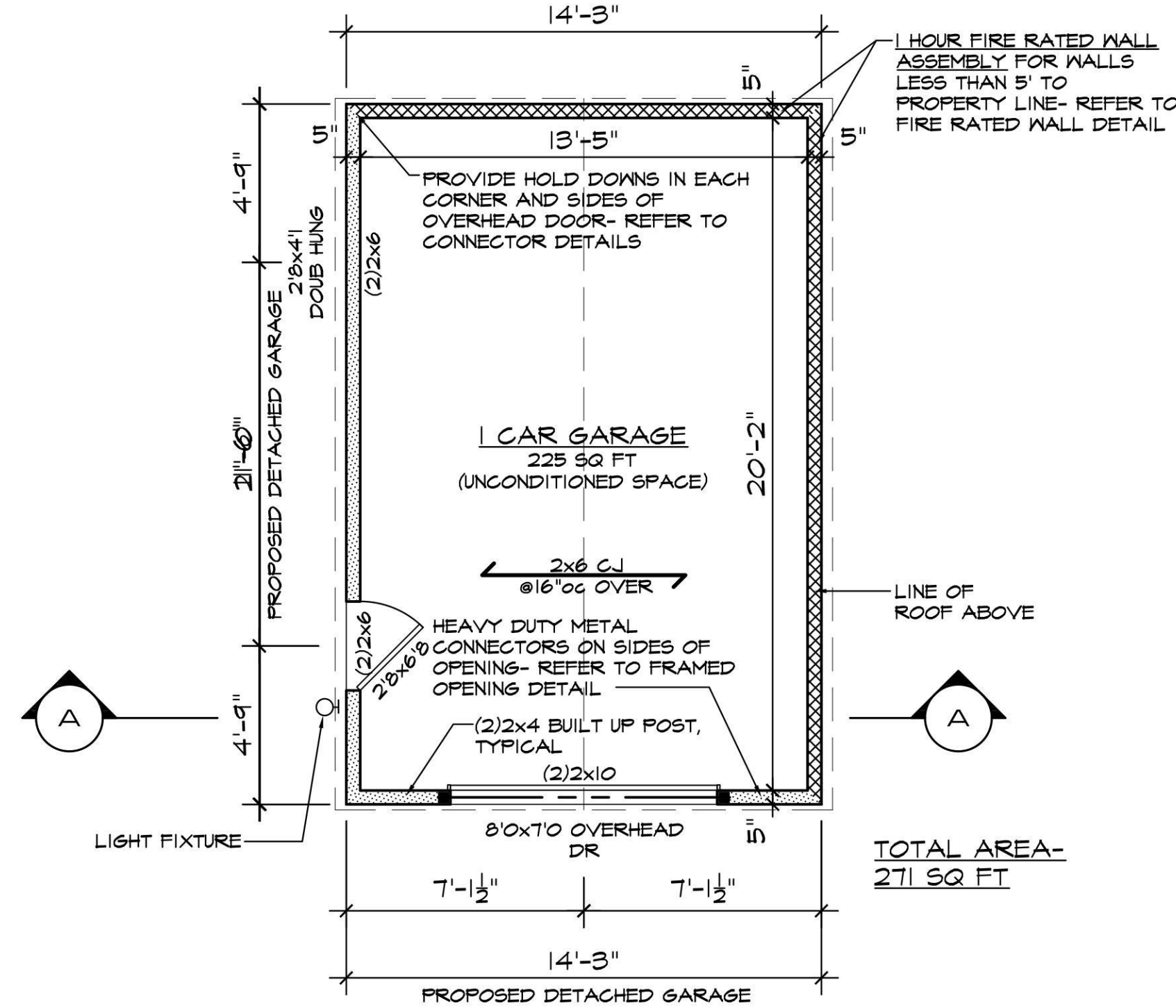
DATE 8-5-24 DRAW BY CA  
A4 OF 5

**DISAPPROVED**  
Carlos Reyes  
09/23/2024



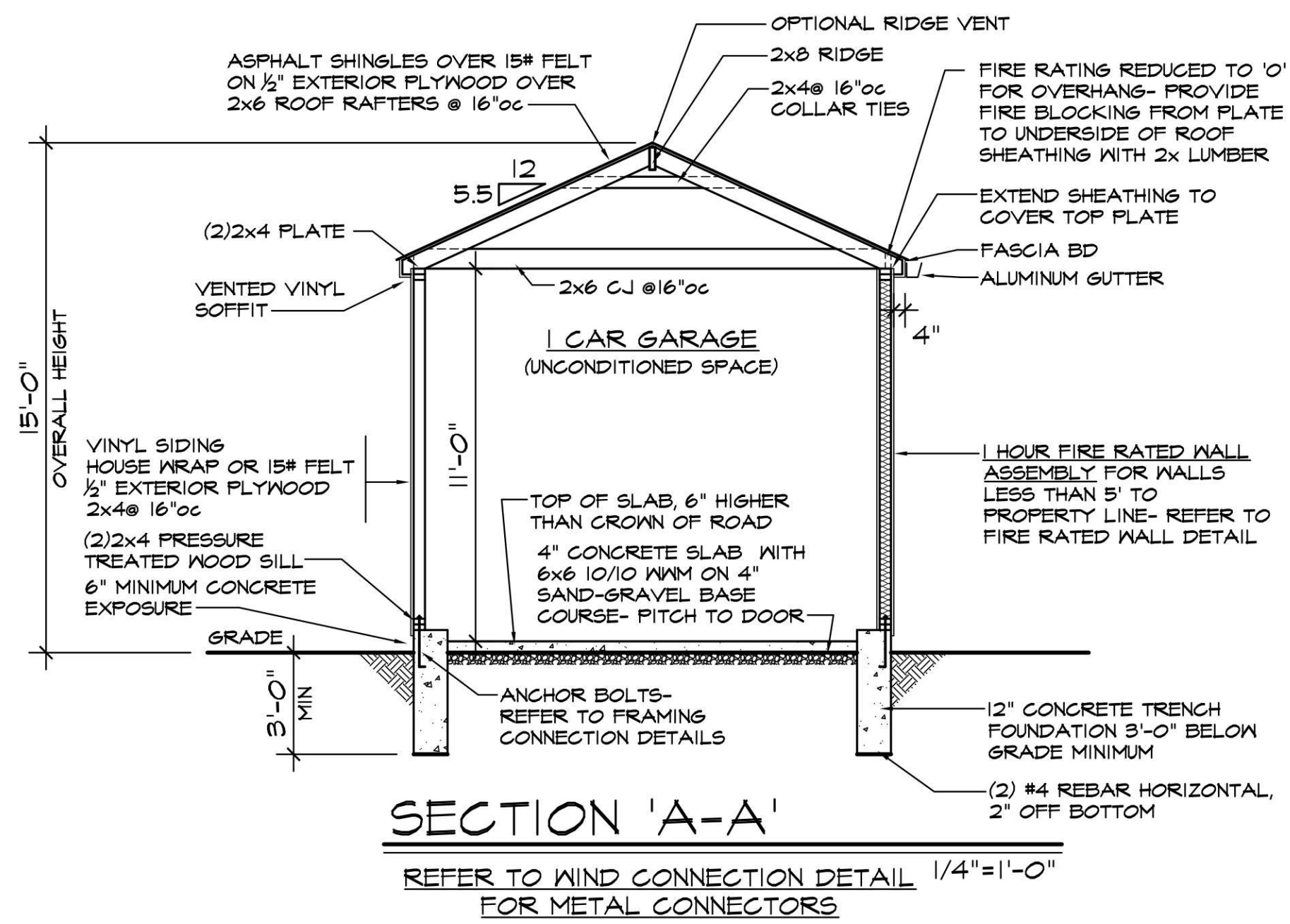
FOUNDATION PLAN

1/4" = 1'-0"



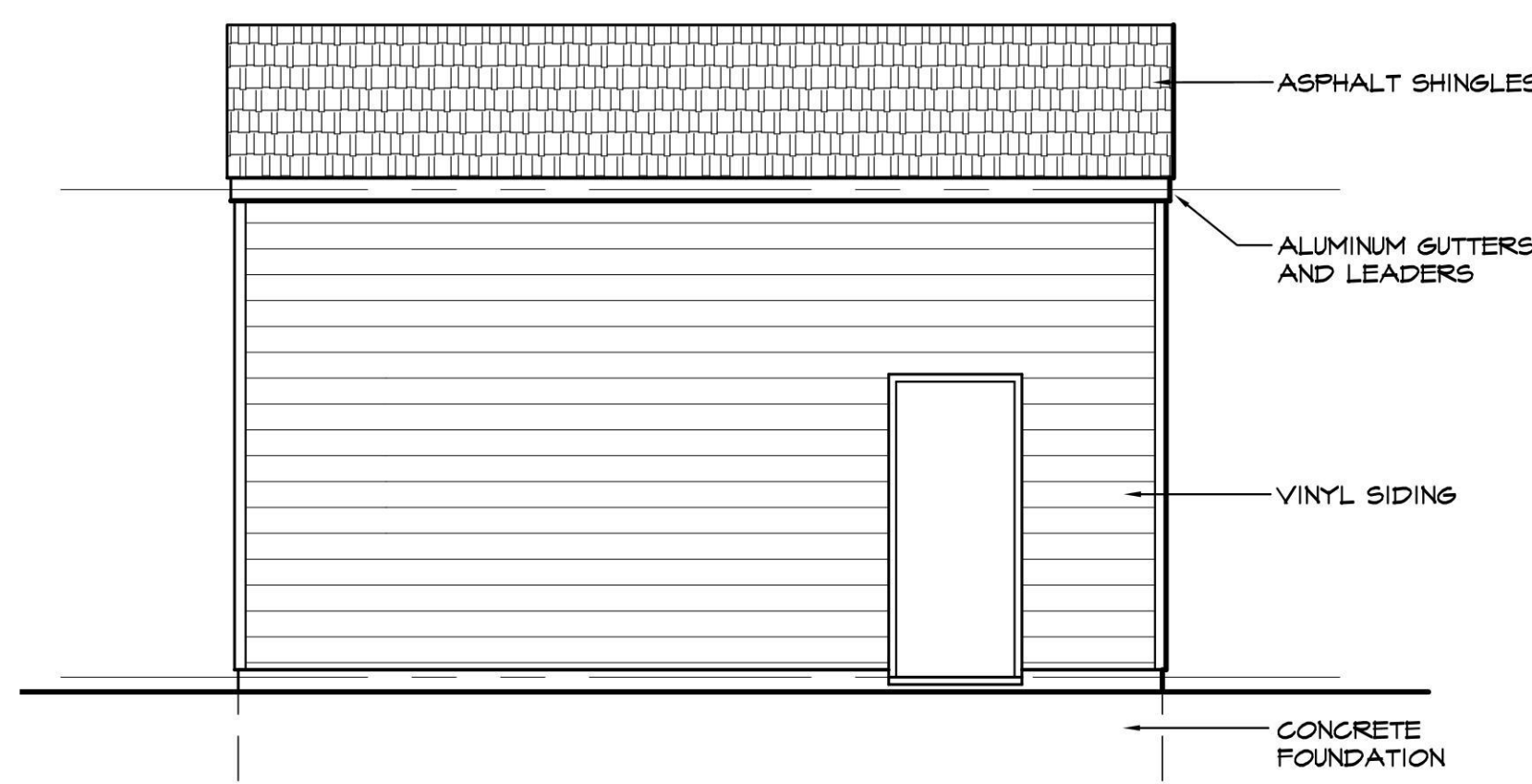
FLOOR PLAN

1/4" = 1'-0"



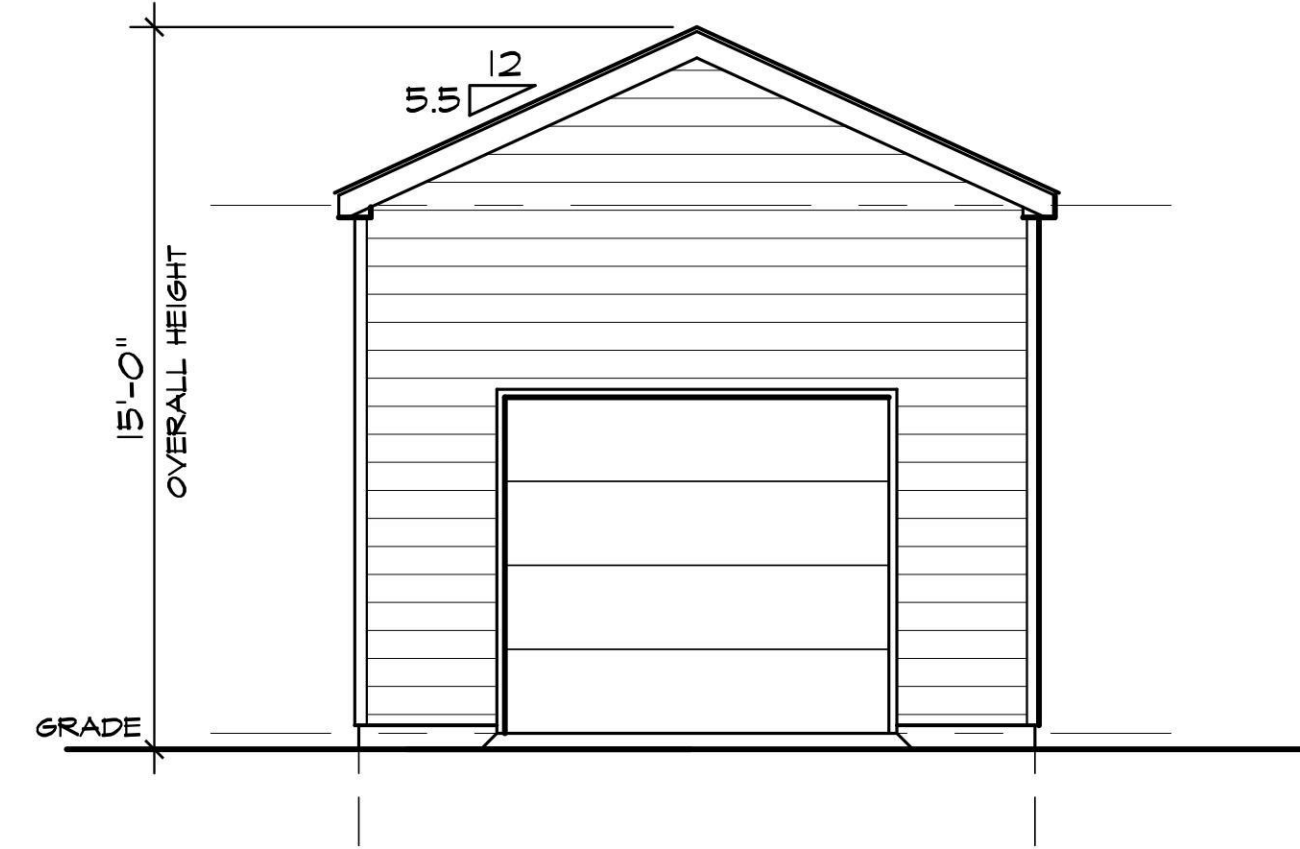
SECTION 'A-A'

REFER TO WIND CONNECTION DETAIL FOR METAL CONNECTORS



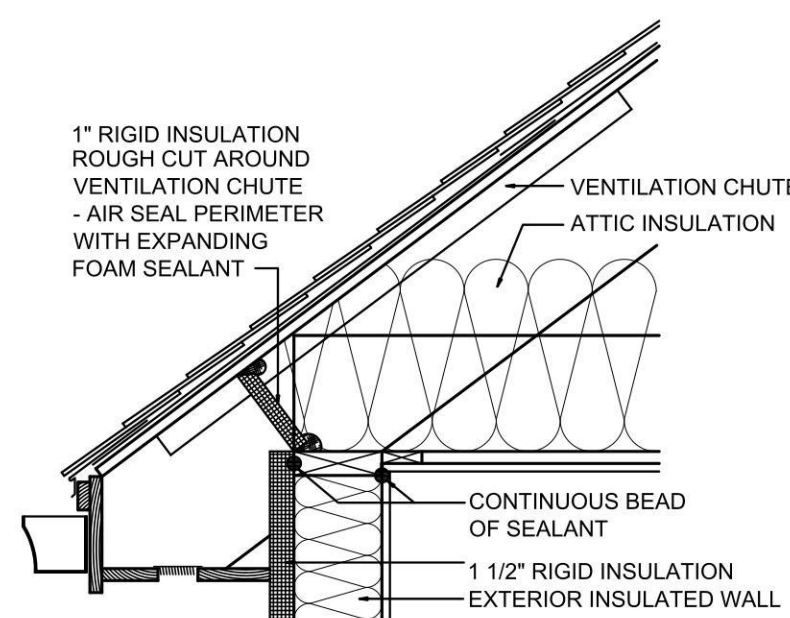
LEFT SIDE ELEVATION

1/4" = 1'-0"



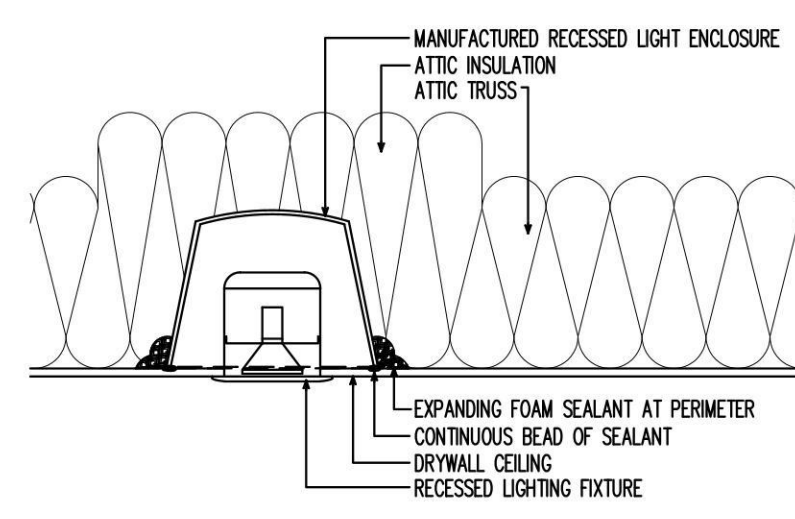
FRONT ELEVATION

1/4" = 1'-0"



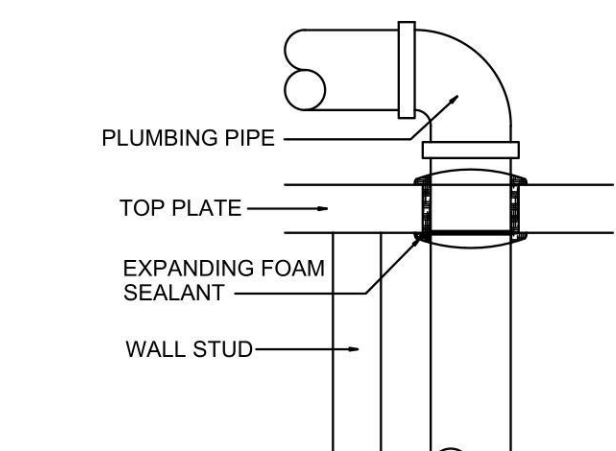
AIR SEAL AT TOP PLATE PIPE PENETRATION

1" = 1'-0"



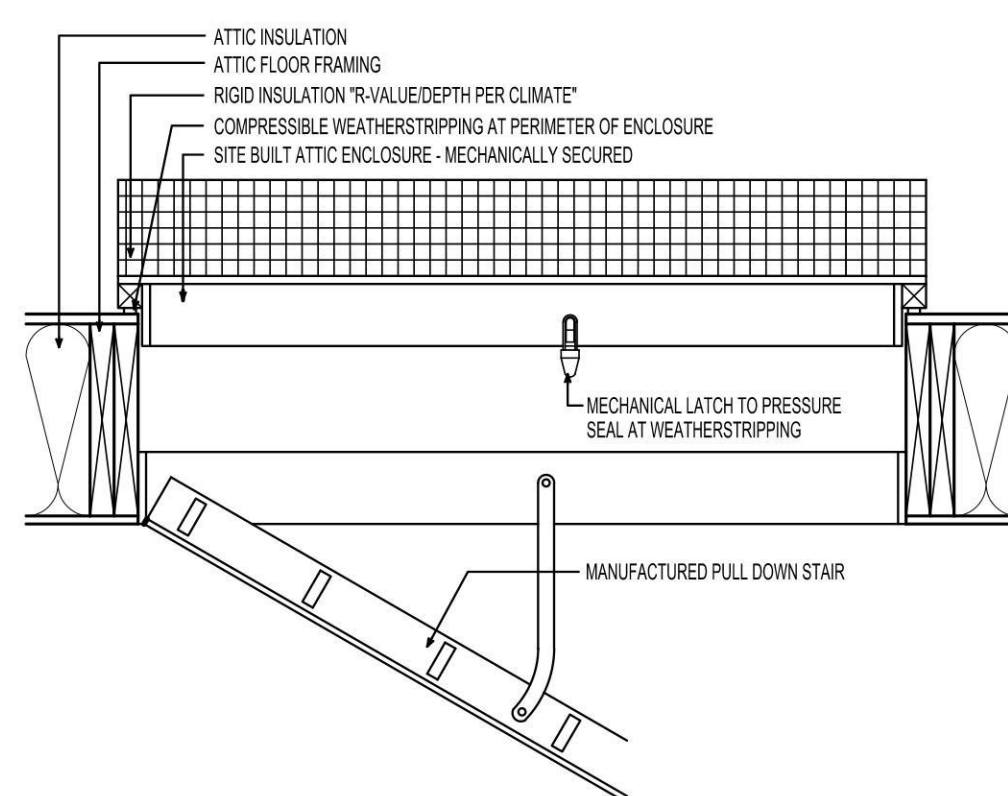
AIR SEALING AT RECESSED LIGHTING IN ATTIC

1" = 1'-0"



AIR SEAL AT TOP PLATE PIPE PENETRATION

1" = 1'-0"

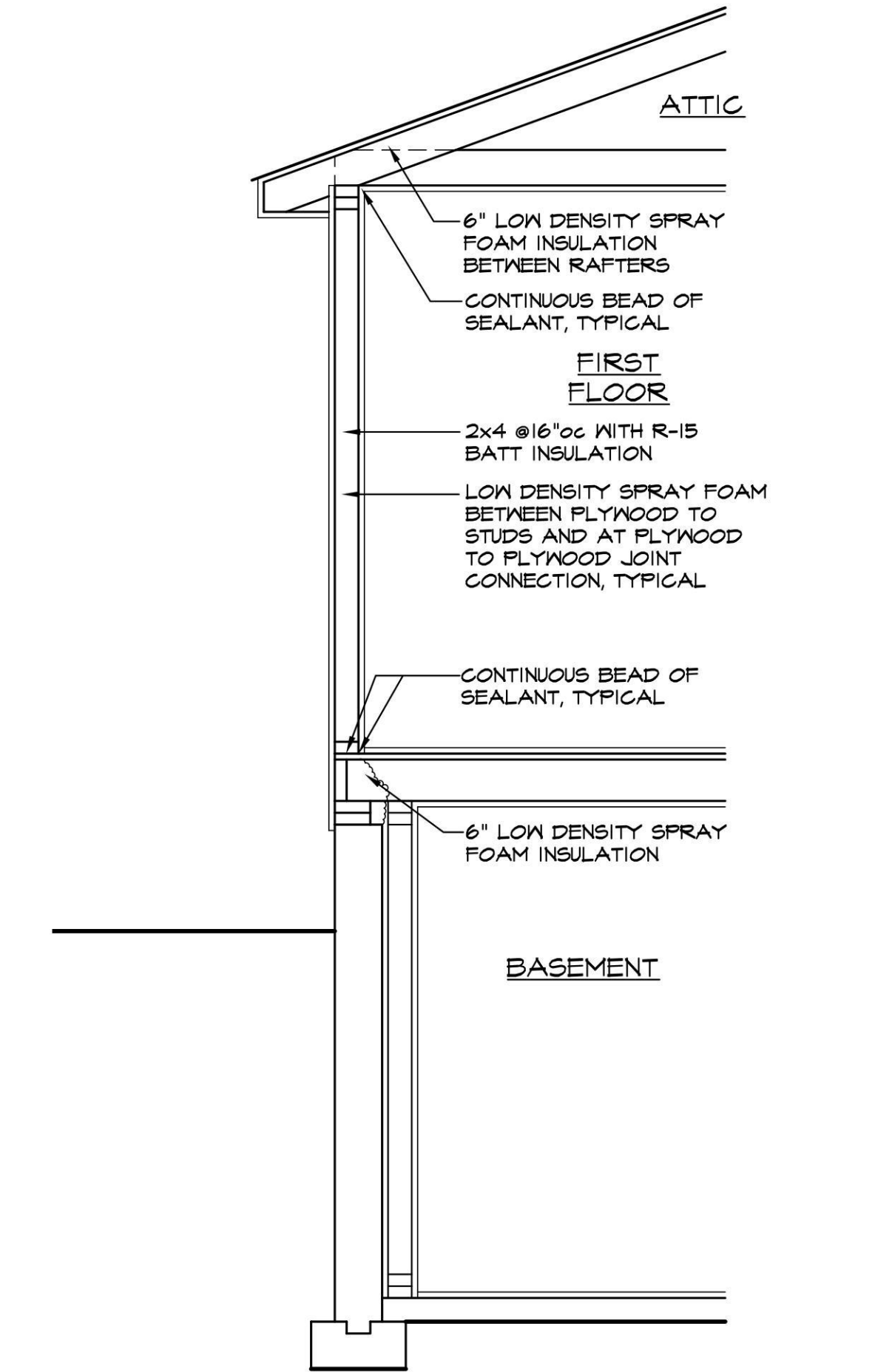


AIR SEALING AT ATTIC PULL-DOWN ATTIC STAIR

1" = 1'-0"

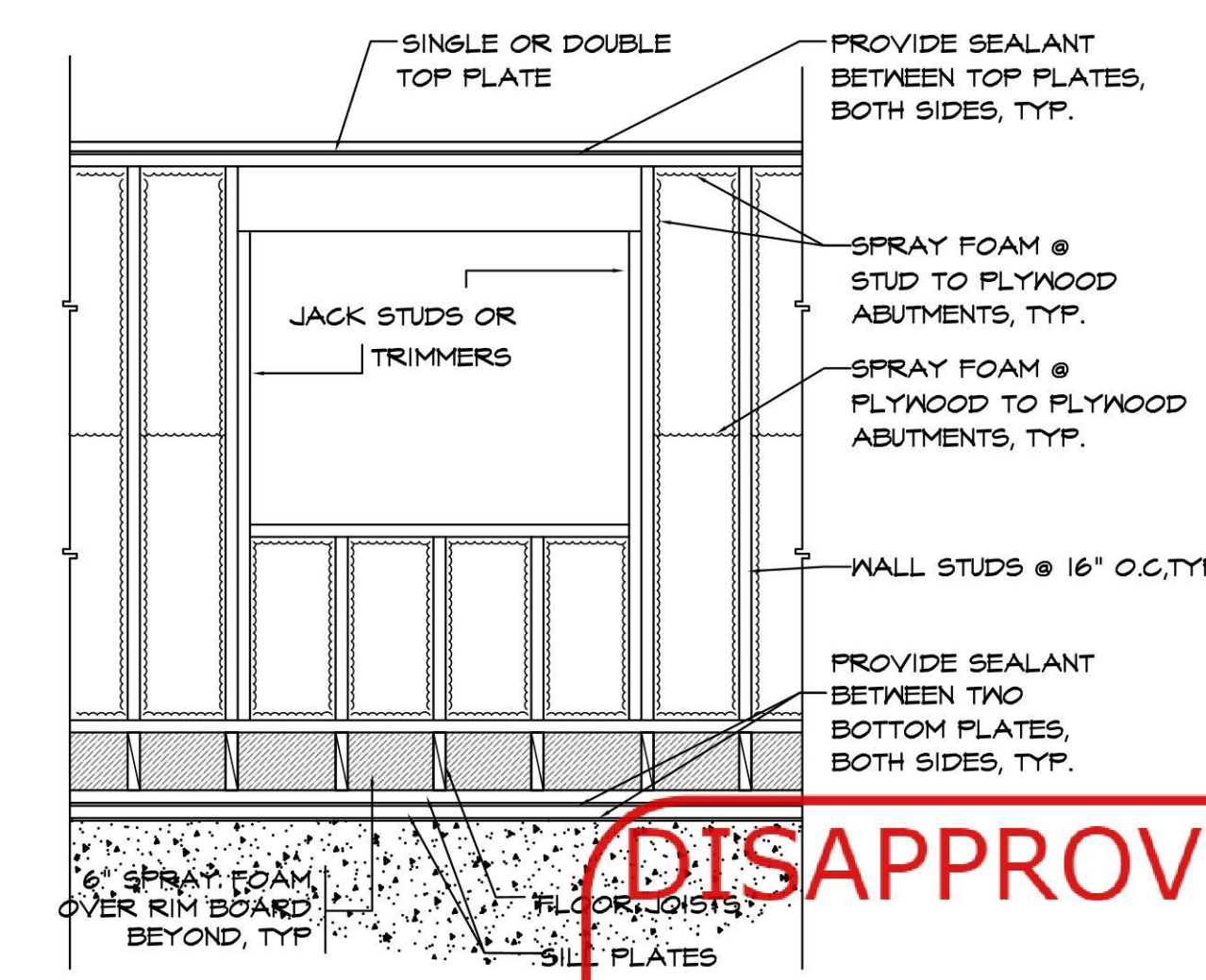
AIR BARRIER & INSULATION INSTALLATION TABLE R402.4.1

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHOULD BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-5 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS & DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
GRAVEL SPACE WALLS	EXPOSED EARTH IN UNVENTED GRAVEL SPACES SHALL BE COVERED WITH CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE GRAVELSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS AND FLEE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND PIPING AND PLUMBING IN EXTERIOR WALLS OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND PIPING.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING & PIPING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND PIPING AND PLUMBING IN EXTERIOR WALLS OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND PIPING.
SHOWERS/TUBS ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	



AIR SEALING DETAILS

NOT TO SCALE

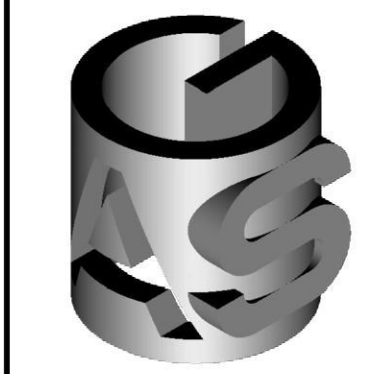


AIR SEAL DETAIL

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09/23/2024  
NOT TO SCALE

ENERGY CODE COMPLIANCE REQUIREMENTS:

- 1- APPLY 1/2" THICK HIGH DENSITY (HD) SPRAY FOAM INSULATION UNDER TOP PLATES IN-BETWEEN EXTERIOR WALL STUDS. INSPECTION WILL BE PERFORMED.
- 2- APPLY CAULK ADHESIVE OR SEALANT TO SEAL GAP BETWEEN 2 TOP PLATES AND BASE PLATE PRIOR TO INSTALLATION OF EXTERIOR PLYWOOD, GYP. BOARD, AND INSULATION. INSPECTION WILL BE PERFORMED.
- 3- ALL DUCT SEAMS TO BE SEALED VIA MASTIC COMPOUND, OR JOINT COMPOUND, INSPECTION WILL BE PERFORMED.
- 4- PROVIDE AUTOMATIC AIR DAMPERS AT ALL EXHAUST VENTS LEADING TO OUTSIDE. ALL A/C DUCTS TO BE INSPECTED FOR AIR LEAKAGE; AIR TIGHT SEAL REQUIRED THROUGHOUT DWELLING.
- 5- ALL DUCTS, INCLUDING RETURN AIR DUCTS TO BE INSULATED VIA R5 @ ATTIC LEVEL & R6 @ CELLAR LEVEL.
- 6- ALL DUCT OPENINGS UNDER AC REGISTERS TO RECEIVE DUCT TAPE ALONG PERIMETER.
- 7- ALL HOT WATER PIPES TO BE INSULATED WITH R3 INSULATION AT BASEMENT AND ATTIC LEVEL, WHEN OUTSIDE OF BUILDING ENVELOPE.
- 8- AT LEAST ONE BATH FAN MUST BE ENERGY STAR RATED (HARD PIPED TO EXTERIOR) AND HOOKED UP TO A PROGRAMMABLE TIME- OWNER TO DESIGNATE ONE BATHROOM (LOCAL EXHAUST) FAN TO SATISFY MB02.3 WHOLE HOUSE MECHANICAL VENTILATION.
- 9- ALL EXTERIOR HOT AND COLD WATER PIPING TO BE INSULATED VIA 1/2" THICK CLOSED CELL FOAM PIPE INSULATION, TYP.
- 10- PROVIDE FLASH AND BATT INSULATION BETWEEN EXTERIOR STUD BAYS. SEE TYP. WALL SECTION FOR BATT INSULATION RATINGS.



**GRAY ARCHITECTURAL SERVICES, P.C.**  
2401 CAPRI PL. N. BELLMORE, N.Y. 11710  
PHONE 516 679-4722 FAX 516 679-2698  
grayarchserv@verizon.net grayarchserv.com  
Chris Gray 27536 Registered through 8-31-2026



SOUTHERN RESIDENCE  
135 ATLANTIC AVE  
NEW HYDE PARK, NY 11040  
TOWN OF NORTH HEMPSTEAD  
PROPOSED SECOND STORY  
AND 2 STORY ADDITION

DATE 8-5-24  
DRAW BY CA  
A5  
OF 5