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Town of North Hempstead



Board of Zoning Appeals

210 Plandome Road Manhasset, NY 11030 (516) 869-7667 Fax (516) 869-7812

CALENDAR FOR NOVEMBER 20, 2024

RESIDENTIAL CALENDAR

APPEAL #21628 – Jeong Bae; 33 Short Dr., Manhasset; Section 3, Block 63, Lot 231; Zoned: Residence-A

Variance § 70-30.C to legalize a one-story portico too close to the street.

APPEAL #21629 – Kara Becker; 85 Ivy Way, Port Washington; Section 5, Block 72, Lot 244; Zoned: Residence-A

Variance § 70-202.1.C to construct retaining walls that are too tall.

APPEAL #21613 – Elham Gilardi; 42 Snapdragon Ln., Roslyn Heights; Section 7, Block 226, Lot 9; Zoned: Residence-AA

Variances § 70-21.A, 70-22.3.A, 70-22.3.B, 70-22.7, 70-102.C(1) & 70-102.C(2) to construct a new home that would be too close to the side property line and with total side yards that are too small, violates the sky exposure plane (both sides), is taller than the horizontal distance between the side property line and the home, with an eave height that is too high; and to legalize pool equipment located in a side yard and too close to a side property line; and to legalize pool barrier fencing extending beyond the rear building line.

APPEAL #21630 - Nasir Iqbal; 191 Executive Drive, Manhasset Hills; Section 8, Block 280, Lot 18; Zoned: Residence-A

Variance from 70-30.B to construct a new dwelling that is too close to the street.

APPEAL #21631 - Leroy Barroca; 71 Percheron Lane, Roslyn Heights; Section 9, Block 538, Lot 15; Zoned: Residence-AA

Variances from §§70-22.3(A), 70-22.6 and 70-101.A to legalize a new dwelling that is within the sky plane, having too much front yard paving and a chimney that is too close to the side property line.

APPEAL #21632 - Cecil C. Southern III; 135 Atlantic Avenue, Garden City Park; Section 33, Block 143, Lot 526; Zoned: Residence-C

Variance from §70-51.A to construct additions that are too close to the side property line.

COMMERCIAL CALENDAR

APPEAL #21616 - 114 Main Street Owner, LLC (The Beacon); 114 Main Street, Port Washington; Section 5, Block 80, Lot 29; Zoned: Business B/Residence-C

Appeal for determination for consideration under §70-225.E to extend the business use of the property into the residential zone, or in the alternative, variance from §70-44, and conditional use §70-126.A and variance from §70-103.A(1) to construct interior alterations to convert a former movie theater to a dinner theater space (a conditional use in the Business-B District, and a use that is not permitted in the Residence-C District), with not enough parking on site.



5. Grade stamps shall appear on all lumber. B. Flitch Beams: 1. Flitch beams shall have a minimum fb = 15000, E=11.4 with ' bolt pattern detail). C. Joist Hangers: shall be Simpson, Kant-Sag, or equivalent. D. Bolts in Wood Framing: 1. All bolts in wood framing shall be standard machine bolts with washers. 2. Steel plate washer sizes shall be as follows: a. 1/2" and 5/8" Diam. bolts - 2-1/4" sg. x 5/16" b. 3/4" Dia. bolts-2-5/8" sq. x 5/16". 3. Each bolt hole in wood shall be drilled 1/16" larger than diame 2. Washers shall be placed under the head of lag bolts bearing of depth of members being bolted together. F. Altering Structural Members: undisturbed soil or soil compacted to 95 % dry density having a load carrying capacity as specified in Note 12, 1. No structural member shall be omitted, notched, cut, blocked

| 1. The concrete properties shall be | as follows: | | |
|-------------------------------------|---------------------|---------------------|-----------------------------|
| Item | Min. Comp. Strength | Min. Aggregate size | Slump |
| | @ 28 Days (PSI) | | |
| Footings | 3,500 | 1/2"-1" | 4"±1" |
| Slab-on-Grade | 2,500 | 1/2"-1" | 4"±1/2" |
| Walls | 3,500 | 1/2"-1" | 4"±1/2" |
| Garage Slabs & exterior slabs | 3,500 | 1/2"-1" | 4"±1" w/ 5% air entrainm |

5. Slab-on-grade shall be 4" thick reinforced with 6 x 6 W1.4 x V vapor barrier on 4" crushed stone.

6. Slab-on-grade at porches shall be 4" thick unless otherwise 7. Install anchor straps as per mfg. recommendations: 12" from Minimum embedment for anchors shall be as specified by manu 8. Beam pockets shall be formed into concrete walls to provide a for all beams.

DIVISION 6 - WOOD

A. Lumber Grade: 1. All lumber shall be, unless otherwise noted, No. 2 grade. Hem Grading shall comply with PS 20-70 " American Softwood Lu

Association standards. a. Extreme fiber bending stress:

- Size Repetitive Member
- 2 x 12 1005 PSI 2 x 10 1105 PSI
- 2 x 8 1210 PSI
- 2 x 6 1310 PSI
- b. Horizontal Shear: Fv = 75 PSI
- c. Compression perpendicular to grain: FcL = 405 PSI d. Compression parallel to grain: Fc = 875 PSI

e. Modulus of elasticity: E = 1,600,000 PSI

f. Moisture content: 19 % maximum.

2. Other species may be used provided substituted species shall 3. Moisture content: All lumber 4" and deeper shall have moistu desired but not necessary. Lumber may be kiln dried, however minimum amount of checking, comparable with air dried stock. 4. All exterior lumber and lumber in contact with masonry or conaccordance with AF&PA standards and stamped "Ground Contac

6. Store all lumber above grade and protect from exposure to we

bottom edge unless otherwise noted. There shall be a bolt top a

 All purlins, joists and beams not framed over supporting mem 2. Joist hangers shall be prime quality steel which conforms to A

4. For sill anchors, see typical details on architectural drawings.

Architect. Do not alter sizes of members noted without approv G. Built-up Beams:

. Built-up beams or joists formed by a multiple of 2 x members a. Members 9-1/4" and less in depth: glue and internail w/2 rows b. Members greater than 9-1/4" in depth or multiple 3 x members 24" o.c. staggered.

-I. Cutting of Beams, Joist and Rafters:

. Cutting of wood beams, joists and rafters shall be limited to cu the member and shall not be located in the middle of 1/3 of the exceed 1/4 the depth of the member. Holes bored or out into io of the joists and the diameter of the hole shall not exceed 1/3 th and rafters of 4 inches or greater nominal thickness shall not be I. Pipes in Stud bearing Nails or Shear Nails: 1. Notches or bored holes to stude of bearing walls or partition

J. Bridging and Blocking: . There shall be not less than one line of bridging in every eigh

bridging shall consist of not less than one by three inch lumber bracing of equal rigidity. Midspan bridging is not required for atti exceed twelve inches nominal. Block solid at all bearing support provided. Block all stud walls at maximum intervals of eight fee Provide 2 x firestops at mid-point vertically of stud wall. Bridging instructions.

K. Lintel Schedule:

1. Unless otherwise shown, provide 1 lintel with 6" minimum bea 2. Lintel Schedule:

Size of Member Up to 4'-0" 3 1/2 x 3 1/2 x 1/2 or 2-2x6

- 4'-1" to 5'-0" 4 x 3 1/2 x 5/16 or 2-2x8 5'-1" to 6'-0" 5 x 3 1/2 x 5/16 or 2-2x10
- 6'-1" to 8'-0" 6 x 3 1/2 x 3/8 or 2-2x12
- .. Plywood
- 1. All plywood shall be Doug fir or equal. It shall be manufacture U.S. Product Standard PS 1-83 for Construction and Industrial
- 2. Each plywood sheet shall bear the "APA" trademark.

3. All end joints shall be staggered and shall butt along the cent 4. The face grain of the plywood shall be laid at right angles to 5. Nails shall be placed 3/8" minimum from the edge of the shee members shall be 1 1/2" for 8d nails and 1 3/8" for 10d nails.

M. Corner Bracing:

1. Unless otherwise noted, brace exterior corners of building with plywood sheet of thickness to match that of sheathing, or with m manufacturer's instructions (16 Ga. compression tension), or w/s 2. Lap plates at all corners.

N. Na<u>iling:</u> 1. All nailing shall comply with nailing schedules in WFCM, IBC, all state and local building codes, or maufacturer's recommendation

O. Fire Stopping: 1. Fire stopping shall be provided to cut off all concealed draft o nominal lumber or 2 thicknesses of 1" nominal lumber with broke Alignment:

1. All rafters and joists framing from opposite sides shall lap at le min. (3) 10d face nails. 2. When framing end to end joists shall be secured together by

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THIS DRAWING, PREPARE



#21613

| <pre>er lines of framing members. he joists and trusses and parallel to the studs. ets. The minimum nail penetration into framing th 1 x 4 diagonals, let into studs, or with 4 x 8 hetal strap devices installed in accordance with structural grade thermo-ply. BOCA and CABO (as applicable), latest edition and titons. penings (both vertical and horizontal) with 2" en lap joints or other approved material. east six (3) inches and be nailed together with metal straps. REVISIONS D FOR THE SPECIFIC D FOR THE SPECIFIC</pre> | |
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| ter lines of framing members. the joists and trusses and parallel to the studs. ets. The minimum nail penetration into framing th 1 x 4 diagonals, let into studs, or with 4 x 8 netal strap devices installed in accordance with 'structural grade thermo-ply. a BOCA and CABO (as applicable), latest edition and ations. upenings (both vertical and horizontal) with 2" en lap joints or other approved material. east six (3) inches and be nailed together with metal straps. REVISIONS | All work shall be in full accordance with all current codes and regulations of governing agencies. All work shall be done in a neat and workmanlike manner and so as to not needlessly hamper that portion of the work performed by others. Plumbing subcontractor to review structural and mechanical drawings and notify the Architect of any plumbing, HVAC, structural and design intent conflicts prior to construction. <u>DIVISION 16 - ELECTRICAL</u> All work shall be in full accordance with all current codes and shall comply with the requirements of the serving power and telephone companies. All work shall be done in a neat and workmanlike manner and so as to not needlessly hamper that portion of the work performed by others. Installation: All equipment installed outdoor and exposed to weather shall be weatherproof. Bottom of receptacles and switches shall be located 5" above counter top unless otherwise noted on drawings. Receptacles shall be installed vertically at 12" above finish floor and 12'.0" o.c. horizontally. All receptacles within 6'-0" horizontally of a sink lavatory or tub shall be wired to a ground fault interrupted circuit. Wall switches to be 48" above floor. All smoke detectors to be wired in a manner such that the activation of one by means of metal hangers.will activat all. |
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| eu anu graueu in accoruance with Plywood | 1. All work shall be in full accordance with all current codes and regulations of governing agencies. |
| red and graded in accordance with | performed by others. B. Plumbing |
| | mechanical and structural and design intent conflicts prior to construction. 3. All work shall be done in a neat and workmanlike manner and so as to not needlessly hamper that portion of the work |
| | All work shall be in full accordance with all current codes and regulations of the governing agencies. Mechanical subcontractor to submit shop drawings indicating duct layouts, condenser location, duct sizes, etc. to Architect prior to installation. Mechanical subcontractor to review structural sop drawings and notify the Architect of anv |
| aring for each 4" of wall thickness. | DIVISION 15 - MECHANICAL A. Heating Ventilation and Air Conditioning: 1. All work shall be in full accordance with all surrent codes and constantions of the surveying energies. |
| a wan minimum or 2 x sona material with tight joints. g as required by floor truss manufacturer's printed | according to the UL Design specified on the drawings when units are designed under BOCA standards as indicated on the drawings when units are designed under BOCA standards as indicated on the drawings. |
| tic or roof framing where joist depth does not rts where adequate lateral support is not otherwise at with minimum of 2 x solid material with tight is into | applicable). 5. Provide moisture resistant drywall cement board at tubs and showers as shown on details in architectural drawings. 6. Fire-resistive construction: Garage ceilings and walls when adjacent to a dwelling unit shall be of reted construction. |
| It feet of span in floor, attic and roof framing. The double nailed at each end or of equivalent metal | perpendicular to the traming members. All edges ot gypsum wallboard shall be in moderate contact except in concealed spaces where fire resistive construction is not required. 4. The sizes and spacing of fasteners shall comply with BOCA. CABO and state and local codes and ordinances (as |
| s shall not be more than 1/3 the depth of the stud. | accordance with manufacturer's instructions. 3. All edges and ends of gypsum wallboard shall occur on the framing members except those edges which are percendicular to the framing members. All edges of gypsum wallboard shall be in medorate contact except in concerted |
| e depth of the joist. The tension side of beams, joists notched, except at ends of members. | codes and ordinances (as applicable). 2. Gypsum wallboard shall not be installed until weather protection for the installation is provided. Storage should be in |
| euts and bored holes not deeper than 1/6 the depth of span. Notch depth of the ends at the member shall not he closer than 2 inches to the tip or bottom | DIVISION 9 - FINISHES A. General 1. All gypsum wallboard shall be installed in accordance with the provisions of the BOCA_CABO and state and local |
| | Giazing in doors and fixed giazed panels immediately adjacent to doors or within 18" of the floor, which may be subjet to frequent and recurrent accidental human impact shall be tempered as per IBC, BOCA and CABO and state and local codes and ordinances. |
| shall be interconnected as follows: /s 16D nails at 12" o.c. staggered. /s through bolt with 1/2" diameter machine bolts at | window from each bedroom area shall have a net clear opening area of 5.7 Sq. Ft. (grade floor 5.0 Sq. Ft.) with a ne clear height of 24", a net clear opening width of 20", and a sill height of 44" or less above the floor for egress purpose Glazing in doors and fixed glazed panels immediately adjacent to doors or within 18" of the floor, which may be sub- |
| I of Architect. | All windows shall have insulating glass, or single glass with storm windows or equal. Sizes indicated on plans are nominal only. Builder to consult with window manufacturer to determine exact sizes, rough opening, etc. At least one |
| on wood. Length of lag bolts shall be minimum 2/3 | snall be permitted for opening protection in one- and two-story buildings. Panels shall be precut to cover the glazed openings with attachment hardware provided. Attachments shall be provided in accordance with Table R3O2.2.1.2 c shall be designed to resist the components and cladding loads determined in accordance with the provisions of the Building Code of New York State |
| eter of bolt. | partially enclosed building in accordance with the Building Code of New York State. Glazed opening protection for wind-borne debris shall meet the requirements of the Large Missile Test of ASTM E 1996 and of ASTM E 1886 <u>Exception:</u> Wood structural panels with a minimum thickness of 7/16 inch (11.1 mm) and a maximum span of 8 feet (2438 mm) |
| | <u>DIVISION 8 - DOORS AND WINDOWS</u> <u>A. General</u> 1. Windows in buildings located in wind-borne debris regions (120 mph wind zone or with-in one mile of the ocean, b and sound) shall have glazed openings protected from wind-borne debris or the building shall be designed as a |
| n standard malleable iron washers or steel plate | plans for locations and details. |
| nbers shall be supported ASTM-A525, min. 22 gauge. Products acceptable | C. Attic Ventilation: 1. Enclosed attic truss spaces and enclosed roof rafters shall have cross ventilation for separate space with screened ventilating openings protected against the entrance of moisture and rain in accordance with the WFCM, BCNYS BOCA and CABO code, latest (as applicable) edition and all state and local codes and ordinances. See details on architectural |
| 1/2" bolts located not closer than 2" from the top and and bottom 2" from each end (see typical flitch plate | roof surfaces. 4. Eave flashing shall consist of two layers of 15# a.s.f. cemented together in addition to required nailing from the edge of the eave up the roof to overlay a point 24 inches inside the interior wall line of the building. |
| eather. | Cover all exposed plywood at building corners with waterproof building paper. 3. Step flash at all roof to wall conditions. Flash and caulk wood beams and other projections through exterior walls or |
| ncrete shall be pressure preservative treated in act 0.40 lbs/cubic foot". | All flashing, counter flashing, and coping when of metal shall be of not less than no. 26 U.S. gauge corrosion-resistant metal. Flash all exterior openings and all building corners with approved material to extend at least 4" behind well covering |
| ure content not greater than 19 %, air dried lumber is drying process must be slow and regulated to cause a | extending over top of shake and onto sheathing. 3. Eave Flashing: See note B-4, below. <u>B. Flashing:</u> |
| II meet or exceed requirements noted above | unless otherwise noted. Install according to manufacturer's instructions. 2. Cedar Shakes: #2 grade red-label cedar shakes (18" 1 x .45"T) over one layer 30# a.s.f. underlayment. Install with 4 1/2" weather exposure. Apply an 18" wide strip of 30# a.s.f. over each course of shakes, 9" from bottom edge of shake |
| | |
| | manufacturer recommendation. DIVISION 7 - THERMAL AND MOISTURE PROTECTION |
| | centered directly over and below bearing wall studs with a tolerance of no more than 1" unless substantiated by Architecting calculations. c. Bearing stud walls must be sheathed with a minimum 1/2" gypsum board fastened according to drywall |
| mber Standard " and applicable Western Wood Prod | a. Partitions must be constructed of minimum 2 x 4 studs spaced 16" o.c. of type lumber specified. b. If a double top plate of less than 2-2 x 6's or 3-2 x 4's is used, floor joists shall be |
| n Fir with the following minimum structural values. | Architect for approval prior to construction. e. Lap top plates at corners and intersections. 2. Bearing Walls supporting one floor or more: |
| a continuous level flat solid bearing surface | c. Splices shall occur only directly over studs. d. Structural variations are allowed if substantiated by Architecting calculations. Stamped by professional Architect licensed to practice in the jurisdiction where construction is taking place. One set of calculations to be provided to |
| n corners and intervals of not more that 4'-0". ufacturer. | a. Provide solid blocking at 4'-0" o.c. between the joist and first interior parallel joist. b. Splices of the top and bottom portion of double top plates must be staggered a minimum of 4'-0". |
| noted. | <u>Q. Partitions:</u> 1. General: |

RESUBMITTED TO BLDG. DEPT. (7-22-24)

SCALE : AS NOTED

DATE :



| | TABLE FASTENIN | R602.3(1) G SCHEDULE (COORDIN) | ATE WITH STRUCTURAL | SHEETS S-1 | TABLE 00 AND S-200) FASTENING SCHE | R602.3 (1) EDULE (CONTINUED) | | | | | ATIC A | | 1.2(1) IC DESIC | | | | |
|---|--|--|---|-------------------|---|--|--|--|---|--|---|---|-------------------------|--|--|---|--|
| ITEM | DESCRIPTION OF BUILDING ELEMENTS | NUMBER & TYPE OF FASTENER | SPACING & LOCATION | ITEM | DESCRIPTION OF BUILDING ELEMENTS | NUMBER & TYPE OF FASTENER | SPACING & LOCATION | GROUND SNOW SPEED TOPOGRA LOAD (MPH) EFFEC | | AL WIND WI | ND-BORNE BRIS ZONE | SEISMIC S DESIGN CATEGORY WEATHER | NG FROST I | LINE TERMITE | INTER UNDERLAY ESIGN MENT | FLOOD HAZARDS | AIR MEAN EEZING ANNUAL INDEX TEMP |
| | ROOFI | FRAMING | _ | | FL | LOOR | | 20 140 NO | | | | | 3'-0' | | 15 VES | | 1500 40 |
| 1 | BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE | 4-8D BOX (21/2" × 0.113") OR 3-8D COMMON (21/2" × 0.131"); OR 3-10D BOX (3" × 0.128");OR 3-3" × 0.131" NAU S | TOE NAIL | 21 | JOIST TO SILL, TOP PLATE OR GIRDER | 4-8D BOX (21/2" × 0.113"); OR 3-8D COMMON (21/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAUS | | | | R301.2.1 | 1.2 | SEER301.2.2) | PAR | RT.TABLE R80 | 2.11 RAFTE | | |
| 2 | CEILING JOISTS TO TOP PLATE | 4-8D BOX (21/2" × 0.113"); OR3-8D COMMON (21/2" × 0.131"); OR 3-10D BOX (3" × 0.128");OR | PER JOIST, TOE NAIL | 22 | RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO) | 8D BOX (21/2" × 0.113") 8D COMMON (21/2" × 0.131"); OR | 4" O.C. TOE NAIL | SCHEDULE FO | DEBRIS F DR WOOL | PROTEC D STRU FASTENI | CTURA | G | | (POUNDS PE | R CONNEC | TION) ^{a,b,c,d} EXPO |) (ASD) d,e,f,g,h)SURE B |
| 3 | CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS | 3-3" × 0.131" NAILS 4-10D BOX (3" × 0.128"); OR 3-16D COMMON (31/2" × 0.162"); OR | FACE NAIL | 23 | 1" × 6" SUBFLOOR OR LESS TO EACH JOIST | 10D BOX (3" × 0.128"); OR 3" × 0.131" NAILS 3-8D BOX (21/2" × 0.113"); OR | 6" O.C. TOE NAIL | FASTENER TYPE | PANEL SI <u> <</u> 4 FOG | PAN 4 OT <u><</u> PAI | FOOT NEL SPAN 6 FOOT | 6 FOOT < PANEL SPAN <u><</u> 8 FOOT | | RAFTER OR TRUSS SPACING | ROOF SPAN (FEET) | ULTIMATE D SPEED V _{UL} 14 ROOF |)ESIGN WIND _T (MPH) 140 F PITCH |
| | [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)] | 4-3" × 0.131" NAILS | | | | 2-8D COMMON (21/2" × 0.131"); OR 3-10D BOX(3" × 0.128");OR 2 STAPLES, 1" CROWN, 16 GA., 13/4" LONG | FACE NAIL | NO.8 WD SCREW W 2" EMBED LENGTH | 16' | " | 10" | 8" | | | 12 | <5:12 122 157 | ≥ 5:12 113 146 |
| 4 | [SEE SECTIONS R802.3.1 AND R802.3.2 AND TABLE R802.5.1(9)] | TABLE R802.5.1(9) | FACE NAIL | | FL | LOOR | | W/ 2" EMBED LENGT | тн 16' | " | 12" | 9" | ODE | | 24 | 192 | 178 |
| 5 | COLLAR TIE TO RAFTER, FACE NAIL OR 11/4" × 20 GA. RIDGE STRAP TO RAFTER | 4-10D BOX (3" × 0.128"); OR 3-10D COMMON (3" × 0.148"); OR 4-3" × 0.131" NAILS | FACE NAIL EACH RAFTER | 24 | 2" SUBFLOOR TO JOIST OR GIRDER | 3-16D BOX (31/2" × 0.135"); OR 2-16D COMMON (31/2" × 0.162") | BLIND AND FACE NAIL | $\frac{1}{4}$ " LAG-SCREW W/ 2" EMBED LENGTH | 16' | " | 16" | 16" | ИПАL С | 12" O.C. | 28 32 36 | 216 240 264 | 200 222 244 |
| 6 | RAFTER OR ROOF TRUSS TO PLATE | 3-16D BOX NAILS (31/2" × 0.135"); OR | 2 TOE NAILS ON ONE | - 25 | 2" PLANKS (PLANK & BEAM—FLOOR & ROOF) | 3-16D BOX (31/2" × 0.135"); OR 2-16D COMMON (31/2" × 0.162") | AT EACH BEARING, FACE NAIL | FOR SI: 1 INCH = 25.4 mm, 1 FC 1 MILE PER HOUR = 0.447 | OOT = 304.8 mm, 1 7 m/s. | 1 POUND = 4.448 M | Ν, | | IDEN | | 42 | 300 | 278 |
| | | 3-10D COMMON NAILS (3" × 0.148"); OR 4-10D BOX (3" × 0.128"); OR4-3" × 0.131" NAILS OPPOSITE SIDE OF | SIDE AND T TOE NAIL ON EACH RAFTER OR TRUSS ⁱ | 26 | B AND OR RIM JOIST TO JOIST | 3-16D COMMON (31/2" × 0.162") 4-10 BOX (3" × 0.128"), OR 4-3" × 0.131" NAILS; OR 4-3" × 14 GA. STAPLES, 7/16" CROWN | END NAIL | A. THIS TABLE IS BASED ON B. FASTENERS SHALL BE ION FASTENERS SHALL BE LOU C. ANCHORS SHALL PENETR NOT LESS THAN 2'INTO TI FROM THE EDGE OF CO D. PANELS ATTACHED TO M | 180 MPH WIND SPE STALLED AT OPPOSI OCATED NOT LESS TH RATE THROUGH THU THE BUILDING FRAM ONCRETE BLOCK OF MASONRY OR MASC | EEDS AND A 33-FC ING ENDS OF THE 'HAN 1" FROM EDG IE EXTERIOR WALL ME. FASTENERS SH. IR CONCRETE. 'ONRY/STUCCOSH | DOT MEAN ROC WOOD STRUCTU GE OF THE PANE COVERING WIT IALL BE LOCATED | r Height. Ural Panel. 1. H ANEMBEDMENT LENGTH OF D NOT LESS THAN 2-1/2" ED USING VIBRATION-RESISTANT | STATE RES | | 48 12 18 | 336 162 209 | 311 150 194 |
| 7 | ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM | 4-16D (31/2" × 0.135"); OR 3-10D COMMON (31/2" × 0.148"); OR 4-10D BOX (3" × 0.128"); OR4-3" × 0.131" NAILS 3-16D BOX 31/2" × 0.135"); OR 2-16D COMMON (31/2" × 0.162"); OR | TOE NAIL | 27 | BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS | 20D COMMON (4" × 0.192"); OR | NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. | ANCHORS HAVING AN I M DIS | TABL INIMUM | E R301. UNIFO D LIVE | OF NOT LESS TH .5 RMLY LOADS | an 1500 pounds. | EW YORK | 16" O.C. | 24 28 32 36 | 255 287 319 351 | 237 266 295 325 |
| | w | 3-10D BOX (3" × 0.128"); OR3-3" × 0.131" NAILS | END NAIL | - | | 10D BOX (3" × 0.128"); OR3" × 0.131" NAILS | 24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES | /I) | N POUNDS P | PER SQUARI | E FOOT) | LIVE LOAD | 2020 NE | | 42 48 | 399 447 | 370 414 |
| 8 | STUD TO STUD (NOT AT BRACED WALL PANELS) | 16D COMMON (31/2" × 0.162") 10D BOX (3" × 0.128"); OR 3" × 0.131" NAILS | 24" O.C. FACE NAIL 16" O.C. FACE NAIL | AT | | 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS | FACE NAIL AT ENDS AND | | STORAGE | | | 10 20 30 | FROM 2 | | 12 18 24 | 244 314 284 | 226 292 |
| 9 | STUD TO STUD AND ABUTTING STUDS AT INTERSECTING | 16D BOX (31/2" × 0.135"); OR | 12" O.C. FACE NAIL | 28 | | A-16D BOX (31/2" × 0 135")· OR | FACHSPIICE | EXTERIOR BALCO | DNIES & DECK | KS | | 40 | KEN | 24" 00 | 24 28 | 432 | 400 |
| 10 | BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER) | 16D COMMON (31/2" × 0.162") 16D COMMON (31/2" × 0.162") | 16" O.C. FACE NAIL 16" O.C. EACH EDGE | | | 3-16D COMMON (31/2" × 0.162"); OR 4-10D BOX (3" × 0.128"); OR 4-3" × 0.131" NAILS | AT EACH JOIST OR RAFTER, FACE NAIL | FIRE ESCAPES GUARDRAILS AND |) HANDRAILS | | | 40 200 | BLE TAN | 24 0.0. | 32 36 | 480 528 | 444 488 |
| | | 16D BOX (31/2" × 0.135") | FACE NAIL 12" O.C. EACH EDGE | 29 | BRIDGING TO JOIST | 2-10D (3" × 0.128") | EACH END, TOE NAIL | GUARDRAILS IN-FI | | NENTS | | 50 | TA | | 42 48 | 600 672 | 622 |
| 11 | CONTINUOUS HEADER TO STUD | 5-8D BOX (21/2" × 0.113"); OR4-8D COMMON (21/2" × 0.131"); OR 4-10D BOX (3" × 0.128") | TOE NAIL | ITEM | DESCRIPTION OF BUILDING ELEMENTS ^{A,B,C} | NUMBER & TYPE OF FASTENER | SPACING & LOCATION EDGES INTERMEDIATE | ROOMS OTHER TH SLEEPING ROOMS | HAN SLEEPING | g rooms | | 40 30 40 | | | 12 18 24 | 198 257 317 | 186 242 298 |
| 12 | TOP PLATE TO TOP PLATE | 16D COMMON (31/2" × 0.162") 10D BOX (3" × 0.128"); OR | 16" O.C. FACE NAIL | | | | (INCHES) ^h SUPPORTS ^{c, e} (INCHES) | | • | TABLE | R301.7 | | | 12″ O.C. | 28 | 358 398 | 335 |
| 13 | DOUBLE TOP PLATE SPLICE FOR SDCS A-D2 WITH SEISMIC BRACEL WALL LINE SPACING < 25' | 3" × 0.131" NAILS D 8-16D COMMON (31/2" × 0.162"); OR 12-16D BOX (31/2" × 0.135"); OR 12-10D BOX (3" × 0.128"); OR | 12" O.C. FACE NAIL FACE NAIL ON EACH (MINIMUM 24" LAP SPLICE LENGTH EACH | WOOD S WALL SH | STRUCTURAL PANELS, SUBFLOOR, ROOF AND INT EATHING TO FRAMING [SEE TABLE R602.3(3) FO WALL | ERIOR WALL SHEATHING TO FRAMING A R WOOD STRUCTURAL PANEL EXTERIO FRAMING] | AND PARTICLEBOARD OR WALL SHEATHING TO | DRK STATI | | | EFLECT L MEM | TION OF BERS | | | 36 42 48 | 438 499 560 | 411 468 524 |
| | DOUBLE TOP PLATE SPLICE SDCS D0, D1, OR D2; AND BRACED WALL LINE SPACING > 25' | 12-3" × 0.131" NAILS 12-16D (31/2" × 0.135") | SIDE OF END JOINT) | 30 | 3/8" – 1/2" | 6D COMMON (2" × 0.113") NAIL (SUBFLOOR, WAL 8D COMMON (21/2" × 0.131") NAIL (ROOF) | 6 12F | A RAFTERS HAV | VING SLOPES | GREATER | 2 | | | | 12 18 | 263 342 | 247 322 |
| 14 | BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING | 16D COMMON (31/2" × 0.162") | 16" O.C. FACE NAIL | 31 | 19/32" – 1" | 8D COMMON NAIL (21/2" × 0.131") | 6 12F | | TO RAFTERS | | | | _ | | 24 28 | 422 476 | 396 446 |
| | | 3" × 0.131" NAILS | | 32 | 11/8 - 11/4 | 8D (21/2" × 0.131") DEFORMED NAIL | 6 12 | | D PLASTERED | ARTITIONS | | H/180 | _ | 16" O.C. | 32 | 529 | 496 |
| 15 | BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) | 3-16D BOX (31/2" × 0.135"); OR 2-16D COMMON (31/2" × 0.162"); OR | 3 EA/ 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL | _ | OTHER WAL | L SHEATHING ^G | | | TH FLEXIBLE F | FINISHES | | L/240 | | | 36 42 | 583 664 | 547 622 |
| 16 | TOP OR BOTTOM PLATE TO STUD | 4-3" × 0.131" NAILS 4-8D BOX (21/2" × 0.113"); OR 3-16D BOX (31/2" × 0.135"); OR | 4 EACH 16" O.C. FACE NAIL | 33 | 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING | 11/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 11/4" LONG | 3 6 | | STRUCTURAL | MEMBERS PLASTER OR | | L/240 | | | 48 | 745 396 | <u>697</u> 372 |
| | | 4-8D COMMON (21/2" × 0.131"); OR <u>4-10D BOX(3" × 0.128"); OR4-3" × 0.131" NAILS</u> 3-16D BOX (31/2" × 0.135"); OR | TOE NAIL | 34 | 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING | 13/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 11/4" LONG | 3 6 | STOCCO THE EXTERIOR WA | ALLS - WIND HES |) LOADS W | VITH | H/240 | _ | | 18 24 28 | 514 634 716 | 484 596 670 |
| | | 2-16D COMMON (31/2" × 0.162"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS | END NAIL | 35 | 1/2" GYPSUM SHEATHING ^D | 11/2" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED,11/2" LONG; 11/4" SCREWS, | | W EXTERIOR WA | ALLS - WIND SHES |) LOADS W | VITH | H/120 | | 24" O.C. | 32 36 | 796 876 | 746 |
| 17 | TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS | 3-10D BOX (3" × 0.128"); OR 2-16D COMMON (31/2" × 0.162"); OR 3-3" × 0.131" NAILS | FACE NAIL | 36 | 5/8" GYPSUM SHEATHING ^D | 13/4" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 15/8" LONG; 15/8" SCREWS, | | LINTELS SUPPO | PORTING MAS | SONRY VENER | ER | L/600 | | | 42 48 | 998 1120 | 936 1048 |
| 18 | 1" BRACE TO EACH STUD AND PLATE | 3-8D BOX (21/2" × 0.113"); OR 2-8D COMMON (21/2" × 0.131"); OR 2-10D BOX (3" × 0.128"); OR | FACE NAIL | 1 | Wood structural panels, combinat | ION SUBFLOOR UNDERLAYMENT TO FRA | 7 7 AMING | C A THE WIND LOAD S A THE WIND LOAD S LOADS FOR THE PUR | igth, H = span heig Shall be permitte Rpose of the det | GHT ED TO BE TAKEN A TERMINING DEFLEC | as 0.7 times the Tion limits here | e component and cladding en | For SI: 1 1 | inch = 25.4 mm, 1 foo 1 pound = 0.454 kg, 1 j | = 304.8 mm, 1 n bound per square | ile per hour = 0. foot = 47.9 N/r |).447 m/s, ′m2, 1 plf = 14.6 N∕ |
| | | 2 STAPLES 13/4" | | 37 | 3/4" AND LESS | 6D DEFORMED (2" × 0.120") NAIL; OR | <u> </u> | | ᠕ᢕᢕᠾ᠂᠈᠇ | יא חו וד וו | | | a. Th | he uplift connection f | orces are based | on a maximum | 33-foot mean ror |
| 19 | 1" × 6" SHEATHING TO EACH BEARING | 3-8D BOX (21/2" × 0.113"); OR 2-8D COMMON (21/2" × 0.131"); OR 2-10D BOX (3" × 0.128"); OR 2 STAPLES, 1" CROWN, 16 GA., 13/4" LONG | FACE NAIL | 38 | 7/8" - 1" | 8D COMMON (21/2" × 0.131") NAIL 8D COMMON (21/2" × 0.131") NAIL; OR 8D DEFORMED (21/2" × 0.120") NAIL | 6 12 | THICKNESS 8 FEET (24 | 0000 311 0F \s7#16;' 138 mm). P | ;" (11.1mm) PANELS SH | AND A HALL BE | MAXIMUM SPAN C PRECUT TO COV | /F b. Th /ER a: | he uplift connection f ussembly dead load o | orces include an 15 psf. | allowance for r | roof and ceiling |
| 20 | 1" × 8" AND WIDER SHEATHING TO EACH BEARING | 3-8D BOX (21/2" × 0.113"); OR 3-8D COMMON (21/2" × 0.131"); OR | | 39 | 11/8" – 11/4" | 10D COMMON (3" × 0.148") NAIL; OR 8D DEFORMED (21/2" × 0.120") NAIL | 6 12 | THE GLAZE PROVIDE. A ACCORDA | ED OPENIN ATTACHME ANCE WITH | NGS WITH ENTS SHA H TABLE | H ATTAC NLL BE P R301212 | CHMENT HARDWAR ROVIDED IN 2 OR SHALL BE | E c. Th o' | he tabulated uplift cc overhang of 24 inches | nnection forces | are limited to a |) maximum roof |
| | | 3-10D BOX (3 × 0.128); OR 3 STAPLES, 1" CROWN, 16 GA., 13/4"LONG WIDER THAN 1" × 8" 4-8D BOX (21/2" × 0.113"); OR 2 8D COMMON (21/2" × 0.121"); OR | FACE NAIL | | | | | DESIGNED LOADS DE PROVISIONS | TO RESIST TERMINED S OF | T THE CC | ORDANC | NTS AND CLADDIN CE WITH THE | IG d. Th b' e. Fo | he tabulated uplift cc y 0.75 for connection -or buildings with hip rc | nnection forces s not located wi ofs with 5:12 and | shall be permitte hin 8 feet of bu greater pitch, t | ed to be multiplied uilding corners. |
| | | 3-10D BOX (3" × 0.128"); OR 4 STAPLES, 1" CROWN, 16 GA., 13/4" LONG | | | | | | THE BUILDIN PANELS AR DESIGNATE | <u>NG CODE</u> RE TO BE ED TO | <u>OF NEW</u> STORED | <u>v york</u> On site | <u>STATE.</u> AND NUMERICALI | co re _Y fo | onnection forces shall eduction shall not be orces. | be permitted to combined with a | be multiplied b ny other reduction | y 0.70. This ion in tabulated |
| ⊢or SI: 1 inch per hour a. Nails ar | = 25.4 mm, 1 toot = 304.8 mm, 1 mile = 0.447 m/s; 1 ksi = 6.895 MPa. are 48 inches or grea = smooth-common, box or deformed | all supports where spans ater. | walls; and 4 inches on wall framing. Il conform to ASTM C | | | | | THEIR COR | RESPONDI | ING WIND | ows. | | f. Fo fc al | or wall-to-wall and wo orce shall be permitte xbove. | ni-to-toundation d to be reduced | connections, the by 60 plf for e | uplitt connection ach full wall |
| shanks used fo shall ho | except where otherwise stated. Nails or framing and sheathing connections ve minimum average bending yield as shown: 80 ki for shark diameter or stated. Nails be applied be app | or 4-foot by 9-foot ed vertically. Not included in this back states of forteners of | alled in accordance Ird sheathing shall 08. on floor sheathing | | TABLE R402.2 | | | | | | | | g. Li bi | near interpolation bet >e permitted. | ween tabulated | coof spans and | wind speeds shall |
| of 0.192 shank o not larg | 2 inch (20d common nail), 90 ksi for liameters larger than 0.142 inch but ger than 0.177 inch, and 100 ksi for f. Where the ultimate c | on Table R602.3(2). design wind speed is 130 panel edges applies to supported by framing r blocking and at floor p | o panel edges members and required perimeters only. | TYPE OR | | SPECIFIED COMPRESSIVE STRENGTH ^a (F'c) WEATHERING POTENTIAL ^b | FOR SI: 1 POUND PER SQUARE II A. At 28 days psi. | ICH = 6,895 kPa | <u>BUII</u> BUII | I <u>LDING PL</u> ILDING PI | <u>LAN REV</u> LANS FX | ' <u>IEW NOTE</u> 'AMINER SHALI RF | TVIEW THF | E ENCLOSED DC | CUMENT FOI | in pounds per | linear foot. |
| shank o b. Staples | iameters ot 0.142 inch or less. mph or less, nails for structural panel roof are 16 agge wire and have a wall framing shall be s | attaching wood Spacing of fasteners of sheathing to gable end spaced 6 inches on supported by framing r | on root sheathing o panel edges members and reauired | | NEGLIGIBL | E MODERATE SEVERE | B. See table 301.2(1) for wea C. Concrete in these location | thering potential. s that may be subject to | PLA RES | an subm Sidential | IITTAL RE CODE | QUIREMENTS OF OF THE STATE OF | THE LOC NEW YOR | CAL TOWN AS SF | PECIFIED IN T | HE BUILDING | G AND / OR COMPLIANCE |

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6

- wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges,

"IT IS A VIOLATION OF THE N.Y.S. EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THIS ALTERATION."

SITE LOCATION :

SHAMASH RESIDENCE 42 SNAPDRAGON LANE ROSLYN HEIGHTS, NY



DRAWING TITLE :

supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.

BUILDING CODE SCHEDULE



BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT

BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT

BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND

OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER

PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE

WEATHER, AND GARAGE FLOOR SLABS

EXPOSED TO THE WEATHER

GARAGE FLOOR SLABS

25 South Service Road, Suite 200 Jericho, N.Y. 11753 PHONE: 516_354_5609 FAX: 516_776_9591 E-MAIL: esusa@esarchitectpc.com website: esarchitectpc.com

2,500

2,500

3,000 ^d

3,000 ^{d,e}

2,500

2,500

2,500

2,500

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footnote d.

2,500 ^c

2,500 ^c

3,000 ^d

3,500 ^{d,e}

THE DOCUMENTS IS:

Concrete in these locations that may be subject to freezing and thawing during construction shall be air-entrained concrete in accordance with

D. Concrete shall be air entrained. total air content (percent by volume of concrete) shall not be less than 5 percent or more than 7 percent. See section r402.2 for minimum cement content. F. For garage floors with steel-troweled finish, reduction of the total air content (percent by volume of concrete) to not less than 3% is permitted if the specified compressive strength of the concrete is increased to not less than 4,000 psi.

- ACCURATE, - CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION, - CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE.

WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED

AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN

| | Revisions : \triangle submitted to BLDG. Dept. For | PROJECT NO. : | Sheet No. : |
|------------------------------------|---|---------------------|-------------|
| MENT OF SERVICE, JSA, ARCHITECT | | DRAWN BY : JB | |
| R REPRODUCTION IIBITED WITHOUT | A A A A | SCALE : AS NOTED | |
| | $ \land _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _ $ | DATE : | |









FIRST FLOOR PLAN







 $\frac{26,824.2673}{224.01}$ = 119.75 = EXISTING AVERAGE GRADE @ EXISTING HOUSE



SITE LOCATION :

SHAMASH RESIDENCE **42 SNAPDRAGON LANE** ROSLYN HEIGHTS, NY



DRAWING TITLE :

SITE PLAN DIAGRAMS NOTES, AND LEGENDS ∎ E milio ∎ Susa Architect

25 South Service Road, Suite 200 Jericho, N.Y. 11753 PHONE: 516_354_5609 FAX: 516_776_9591 E-MAIL: esusa@esarchitectpc.com website: esarchitectpc.com

THE WRITTEN CONSENT OF THE ARCHITECT.









DATE :

NORTH



ROSLYN HEIGHTS, NY



NOTES, AND LEGENDS



<u>NOTE:</u>

CONTRAC CIRCULAR DIAMETER NOT GREA HANDRAIL PERIMETE MM) AND with a ma 2-1/4 INCH PERIMETE SHALL PR AREA *O*N RECESS S INCH (19 M TALLEST DEPTH OF INCH (22 PROFILE. FOR AT L IS NOT LE TALLEST WIDTH OF BE 1-1/4 IN INCHES (70 RADIUS OF

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Architect

PHONE: 516 354 5609 FAX: 516_776_9591 E-MAIL: esusa@esarchitectpc.com website: esarchitectpc.com

| | | WALL LEGEND |
|---|--|--|
| | | EXISTING WALL TO REMAIN |
| | | 2x4 WOOD STUDS @ 16" o.c. (COORDINATE FINISHES W/ SECTIONS) |
| | | 2x6 WOOD STUDS @ 16" O.C. (TYPICAL OF PLUMBING WALLS) |
| DTE. | | |
| DUBLE ALL FLOOR JOISTS DER PARALLEL WALLS | | ELECTRICAL LEGEND |
| | | 20 CFM EXHAUST FAN. VENT TO EXTERIOR |
| OVIDE SOLID WOOD OCKING DOWN TO THE | S.D./CM + | MOKE/CARBON MONOXIDE DETECTOR w/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL) |
| AM AND HEADER POSTS | ()S.D. 5 | MOKE DETECTOR W/ BATTERY-BACKUP CONNECT TO HOUSE WIRING (TYPICAL) |
| <u>TE:</u> OVIDE ARC FAULT CIRCUIT ERRUPTER OUTLETS IN ALL DROOMS | R314.4 RCN1 INTERCONNE EXCEPTION: WIRING IS NO | <u>(5</u> WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED, THE UNITS SHALL BE CTED. WHERE WORK IS BEING PERFORMED IN AN EXISTING SPACE WHERE ACCESS FOR OT PRACTICAL, BATTERY OPERATED UNITS MAY BE INSTALLED WITHOUT WIRING. |
| IR TO INSURE ALL HANDRAILS ROSS SECTION SHALL HAVE IF AT LEAST I-1/4 INCHES (32 ER THAN 2 INCHES (51 MM). IF INOT CIRCULAR IT SHALL HA DIMENSION OF AT LEAST 4 IN T GREATER THAN 6-1/4 INCHE MUM CROSS SECTION OF DIM IS (57 MM). HANDRAILS WITH A GREATER THAN 6-1/4 INCHES VIDE A GRASPABLE FINGER I OTH SIDES OF THE PROFILE. | WITH A AN OUTSIDE MM) AND THE VE A ICHES (102 ES (160 MM) 1ENSION OF A (160 MM) RECESS THE FINGER E OF 3/4 | G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCY WHICH IS FOUND BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY G.C. TO BE FAMILIAR WITH COMPLETE PROJECT AND SET OF DRAWINGS AND THEIR INTENT BEFORE PROCEEDING WITH THE WORK. WHERE ELECTRICAL OR PLUMBING LINES ARE TO BE ABANDONED, REMOVE ALL SUCH WORK. CAP OFF LINES LEGALLY AT FINAL INACCESSIBLE PENETRATIONS. ALL NEW PLUMBING AND ELECTRICAL |

 STRUCTURAL FLOOR MEMBERS SHALL
 SRR303.1 HABITABLE ROOMS. ALL HABITABLE ROOMS SHALL BE

 I BE CUT, BORED, OR NOTCHED IN
 PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8

 NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN SECTION R502.8 OF THE RESIDENTIAL CODE OF N.Y.S.

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NOTE:

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<u>NOTE:</u>

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(AS PER THE RESIDENTIAL CODE OF N.Y.S.) GENERAL REQUIREMENTS-CONCEALED SPACES WITHIN WALL, CORNICE CONSTRUCTION, AND AROUND CHIMNEY, PIPE AND DUCT OPENINGS IN SUCH CONSTRUCTION, SHALL BE FIRE-STOPPED TO PREVENT THE PASSAGE OF FLAME, SMOKE, FUMES, AND HOT GASES.

LOCATION:-

VENTILATED.

EXCEPTIONS:

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PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION

WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE

. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS

SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER

IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15

CUBIC FEET PER MINUTE (CFM) (7.08 L/S) PER OCCUPANT COMPUTED ON

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CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES (6.46 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762

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FAX: 516_776_9591 E-MAIL: esusa@esarchitectpc.com website: esarchitectpc.com

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| | | WALL LEGEND |
|---|--|--|
| | | EXISTING WALL TO REMAIN |
| | | 2x4 WOOD STUDS @ 16" o.c. (COORDINATE FINISHES W/ SECTIONS) |
| | | 2x6 WOOD STUDS @ 16" O.C. (TYPICAL OF PLUMBING WALLS) |
| NOTE: | | IO" THICK POURED CONCRETE FOUNDATION WALL W/ #5 REINFORCING BARS @ 30" o.c. VERTICALLY W/ (I) #5 REINFORCING BARS @ TOP OF WALL, ON 22" WIDE X IO" DEEP CONTINUOUS POURED CONCRETE FOOTING WITH CONTINUOUS 2"X4" KEYWAY AND (3) CONTINUOUS #5 REINFORCING BARS IN FOOTING (3" COVER MIN.) |
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SHAMASH RESIDENCE **42 SNAPDRAGON LANE** ROSLYN HEIGHTS, NY



SECOND FLOOR PLAN



<u>NOTE:</u>

CONTRAC CIRCULAR DIAMETER NOT GREA HANDRAIL PERIMETE MM) AND WITH A MA 2-1/4 INCH PERIMETE SHALL PR AREA *O*N RECESS S INCH (19 M TALLEST DEPTH OF INCH (22 M PROFILE. FOR AT L IS NOT LES TALLEST WIDTH OF BE 1-1/4 INC INCHES (70 RADIUS OF

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Architect

Jericho, N.Y. 11753

PHONE: 516_354_5609

FAX: 516_776_9591

website: esarchitectpc.com

| | | WALL LEGEND |
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Jericho, N.Y. 11753 PHONE: 516_354_5609 FAX: 516_776_9591 E-MAIL: esusa@esarchitectpc.com website: esarchitectpc.com

| <u>MILY</u> 20M | OUTDOOR LIVING & EATING AREA | |
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■ Emilio ■ Susa ■ Architect

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25 South Service Road, Suite 200 Jericho, N.Y. 11753 PHONE: 516_354_5609 FAX: 516_776_9591 E-MAIL: esusa@esarchitectpc.com website: esarchitectpc.com PROJECT INDICATED, IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF EMILIO SUSA, ARCHITECT INFRINGEMENT OR ANY USE OF THIS PROJECT IS PROHIBITED. ANY ALTERATION, OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.





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DISAPPROVED

Michael Maracic 05/13/2024









GENERAL NOTES/ 2020 RESIDENTIAL CODE OF NYS I- TO THE BEST OF CHRIS GRAY'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, SUCH PLANS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE 2018 WOOD FRAME CONSTRUCTION MANUAL, NFPA 70 STANDARD, NATIONAL ELECTRIC CODE, AND LOCAL ZONING CODE 2- THESE CONSTRUCTION DOCUMENTS ARE PREPARED FOR THE PROJECT ADDRESS LISTED ON THE DRAWINGS AND

ARE NOT TO BE USED AT A DIFFERENT LOCATION WITHOUT WRITTEN CONSENT OF THE ARCHITECT. UNAUTHORIZED USE WILL ALSO BE SUBJECT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990 3- NO WORK IS TO COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE BUILDING DEPARTMENT. ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR OWNER NOT OBTAINING BUILDING PERMIT OR ADDITIONAL WORK COMPLETED WITHOUT THE KNOWLEDGE OF THE BUILDING DEPARTMENT AFTER CERTIFICATE OF OCCUPANCY ISSUANCE 4- CONTRACTOR TO VERIFY EXISTING CONDITIONS AT JOB SITE BEFORE COMMENCING WITH THE WORK OR ORDERING MATERIALS AND TO REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING FORWARD. 5- DRAWINGS ARE NOT TO BE SCALED, USE DIMENSIONS ONLY. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALED DRAWINGS, DIMENSIONS NOTED ARE MEASURED FROM FINISHED SURFACES, PROVIDE EXACT DIMENSION CLEAR SHOWN WHEN "HOLD" IS INDICATED. 6- THE CONTRACTOR SHALL NOT MAKE DEVIATIONS FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. ARCHITECT SHALL NOT BE REQUIRED TO APPROVE UNAUTHORIZED STRUCTURAL AND OR SPATIAL

CHANGES DURING OR POST CONSTRUCTION. 7- IT IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY TO PROVIDE BUILDING INSPECTIONS AT PROGRESSIVE STAGES OF CONSTRUCTION. IT SHALL BE CONSTRUED THAT ONCE THE FINAL INSPECTION IS COMPLETED, THE PROJECT IS IN COMPLETE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PREPARED BY THE ARCHITECT 8- IF THE WORD CERTIFY IS USED IN ANY OF ITS FORMS HEREIN AND/OR ON ACCOMPANYING DOCUMENTS RELATING TO THIS PROJECT CREATED BY THE ARCHITECT, IT IS AN EXPRESSION OF PROFESSIONAL OPINION ONLY AND SHALL NOT BE CONSTRUED OR UNDERSTOOD TO BE A STATEMENT OF FACT, A WARRANTY, OR A GUARANTEE OF ANY KIND, EXPRESSED OR IMPLIED. 9- SHOP DRAWINGS MUST CONFORM TO THE ARCHITECTURAL DRAWINGS AND BE APPROVED BY ARCHITECT FOR

COMPLIANCE WITH DESIGN INTENT. 10- PROPOSED WORK IS BASED ON SURVEY PREPARED BY LICENSED SURVEYOR AND SUPPLIED BY OWNER. ARCHITECT IS NOT RESPONSIBLE FOR SURVEY ERRORS. OWNER OR CONTRACTOR IS TO HIRE SURVEYOR TO STAKE OUT WORK IF NECESSARY

II- THE CONSTRUCTION OF BUILDINGS AND STRUCTURES SHALL RESULT IN A SYSTEM THAT PROVIDES A COMPLETE LOAD PATH CAPABLE OF TRANSFERRING ALL LOADS FROM THEIR POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO THE FOUNDATION. CONTRACTOR TO INSPECT THE EXISTING FRAMING FOR STRUCTURAL INTEGRITY. 12- R303.1 HABITABLE ROOM LIGHT AND VENTILATION- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED

13- R305.1 MINIMUM CEILING HEIGHT- HABITABLE SPACE, HALLWAYS, AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-O". BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6'-8". FOR ROOMS WITH SLOPED CEILING, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-O" AND NOT LESS THAN 50% OF THE REQUIRED FOOR AREA SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-O". THE CEILING HEIGHT ABOVE BATHROOM AND TOILET FIXTURES SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" ABOVE AND AREA NOT LESS THAN 30"X 30" AT THE SHOWERHEAD. BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS IN BASEMENT CONTAINING HABITABLE SPACE SHALL BE PERMITTED TO PROJECT TO WITHIN 6'-4" OF THE FINISHED FLOOR. 14- R308.1 GLAZING IDENTIFICATION- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AND THAT IS VISIBLE IN THE FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED, OR BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED. A LABEL SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION.

15- R310.1 EMERGENCY ESCAPE AND RESCUE OPENINGS- BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY MINIMUM NET CLEAR OPENING AREA OF 5.7 SQ FT, GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR

OPENING OF 5 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. 16- R311.7.5 STAIR TREADS AND RISERS- THE MAXIMUM RISER HEIGHT SHALL BE 8/4" AND THE MINIMUM TREAD DEPTH SHALL BE 9". THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.

17- R311.7.2 HEADROOM- THE HEADROOM IN STAIRWAYS SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF STAIRWAY. 18- R311.7.8 HANDRAILS- HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS.

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISHED SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT. FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" BETWEEN THE WALL AND HANDRAILS.

19- R311.7.8.5 HANDRAIL GRIP SIZE- TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4" AND NOT GREATER THAN 61/4" AND A CROSS SECTION OF NOT MORE THAN 21/4". 20-R312.1 GUARDS REQUIRED- SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT

SCREENING SHALL NOT BE CONSIDERED AS A GUARD. REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES, OR LANDINGS SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR LINE CONNECTING THE NOSINGS.

GUARDS ON OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS. 21- R312.1.3 GUARD OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. THE TRIANGULAR

OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW THE PASSAGE OF A SPHERE 6" IN DIAMETER 22- R314.1 SMOKE ALARMS- SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING

BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN I FULL STORY BELOW THE UPPER LEVEL WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL

ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. SMOKE ALARMS AND HEAT DETECTION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION 23- R315.1 CARBON MONOXIDE ALARMS- SHALL BE IN ACCORDANCE WITH SECTION 915 OF THE FIRE CODE OF NYS.

CARBON MONOXIDE PROTECTION SHALL BE INSTALLED IN RESIDENTIAL BUILDINGS THAT CONTAIN A FUEL BURNING APPLIANCE. EXCEPTIONS, IN SLEEPING AREAS WHERE A FUEL BURNING IS LOCATED IN AN ATTACHED BATHROOM, UTILITY RM, CLOSET, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN A CENTRAL OR OTHERWISE APPROVED LOCATION IN THE SLEEPING AREA. IN DWELLING UNITS WHERE A FUEL BURNING APPLIANCE IS LOCATED IN A KITCHEN, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE THE SLEEPING AREAS AND WITHIN 10' OF THE ENTRANCE OF SLEEPING AREAS. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHEN PRIMARY

POWER IS INTERRUPTED, SHALL RECEIVED POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THAT REQUIRED FOR OVER CURRENT PROTECTION. EXCEPTIONS, CARBON MONOXIDE ALARMS POWERED BY A 10 YEAR BATTERY SHALL BE AN ACCEPTABLE ALTERATIVE IN RESIDENTIAL BUILDINGS.

24- R401.4 SOIL TESTS- IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIVE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, A SOIL TEST SHALL BE PERFORMED TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE MADE BY AN APPROVED AGENCY USING AN APPROVED METHOD. HIRED BY OWNER OR GENERAL CONTRACTOR.

25- R402.2 CONCRETE- POURED CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI MINIMUM AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER, AND GARAGE FLOOR SLABS SHALL BE 3,500 PSI. CONTROLLED STONE OR GRAVEL CONCRETE, AIR ENTRAINED WHERE EXPOSED. POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED VIRGIN SOIL WITH A MINIMUM OF 3,000 PSF BEARING CAPACITY AT A DEPTH BELOW THE FROST LINE WITHIN THE GROUND.

26- CONCRETE MASONRY UNITS SHALL BE OF NORMAL WEIGHT CONCRETE. ALL WALLS SHALL BE BONDED WITH HORIZONTAL GALVANIZED REINFORCEMENT AT EVERY OTHER COURSE VERTICALLY. 27- R405.1 FOUNDATION DRAINAGE- DRAINS SHALL BE PROVIDED AROUND ALL FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE. DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, OR PERFORATED PIPE SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM

28-R406. FOUNDATION DAMPROOFING- FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED

29- R602.8 FIREBLOCKING- SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE 30-R703.4 FLASHING- APPROVED CORROSION RESISTIVE FLASHING SHALL BE APPLIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL

FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH 31- RIOO4.I FACTORY BUILT FIREPLACES- SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 12" 32- RIOOS.I FACTORY BUILT CHIMNEYS- SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED AND TERMINATED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. CHIMNEYS FOR USE WITH FACTORY BUILT FIREPLACES SHALL COMPLY WITH THE REQUIREMENTS OF UL 127.

33- RIOOG.2 EXTERIOR AIR INTAKE- SHALL BE CAPABLE OF SUPPLYING ALL COMBUSTION AIR FROM THE EXTERIOR OF THE DWELLING OR FROM SPACES WITHIN THE DWELLING VENTILATED WITH OUTDOOR AIR SUCH AS CRAWL OR ATTIC SPACES. THE EXTERIOR AIR INTAKE SHALL NOT BE LOCATED WITHIN GARAGE OR BASEMENT OF THE DWELLING. THE EXTERIOR AIR INTAKE SHALL BE COVERED WITH A CORROSION- RESISTANT SCREEN OF lapha" MESH. 34- MI305.1.3 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE

SPACE NOT LESS THAN 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE NOT LESS THAN OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. 35- MI505.4.4 LOCAL EXHAUST RATES- TOILET ROOMS AND BATHROOMS, 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS TO EXTERIOR OPEN AIR. KITCHENS, 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS TO EXTERIOR OPEN AIR. 36-PLUMBING AND HEATING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE OF NEW YORK

STATE BY A LICENSED PLUMBER 37- ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND NEW YORK STATE RESIDENTIAL CODE BY A LICENSED ELECTRICIAN

38-ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED INTO THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST ADDITION OF THE 'AMERICAN SOCIETY FOR TESTING AND MATERIALS' (ASTM) SPECIFICATIONS WHERE APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES. ALL MATERIALS USED IN CONNECTION WITH THIS PROJECT MUST BE NEW UNLESS SPECIFIED OTHERWISE 39- STRUCTURAL LUMBER CALCULATIONS ARE BASED ON HEM FIR NO. 2 WITH A FIBER STRESS OF 850 PSI AND A MODULUS OF ELASTICITY OF 1,300 KSI. LUMBER TO BE CLEAN WITH NO SPLITS, CHECKS, AND SHAKES. 40-LAMINATED VENEER LUMBER CALCULATIONS ARE BASED ON A FIBER STRESS OF 2,600 PSI AND A MODULUS OF ELASTICITY OF 1,900 KSI. REFER TO MANUFACTURERS MANUALS FOR MULTIPLE MEMBER CONNECTIONS AND PROPER USE. 41- STRUCTURAL STEEL CALCULATIONS ARE BASED ON A36 STEEL WITH A FIBER STRESS OF 21.6 KSI AND A MODULUS OF ELASTICITY OF 29,000 KSI.

> **REVISED PLANS 9-10-24** APPLICATION NO. RBP24-000695

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| CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS WHICH HAVE JURISDICTION AND BEST STANDARDS OF CONSTRUCTION PRACTICE. | \$ 70-202.1C RI |
|---|---|
| THE INSTALLATION OF ALL MATERIALS AND PRODUCTS SHALL MEET ALL LOCAL FIRE DEPARTMENT'S REQUIREMENTS AND REGULATIONS, PROOF OF WHICH SHALL BE FURNISHED TO THE FIRE MARSHALL PRIOR TO THE INSTALLATION OF SUCH MATERIALS AND PRODUCTS. | OF A RESIDENTIAL ZONING DIS OF A RESIDENTIAL ZONING DIS MAY EXCEED FIVE FEET IN HEI NO RETAINING WALL MAY EXCE |
| ALL WORK TO CONFORM TO THE 2020 NEW YORK STATE RESIDENTIAL | HEIGHT SHALL BE MEASURED F ON THE ADJOINING GRADE. TH |
| CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS AND NSPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE AND ANY NECESSARY FEES ASSOCIATED WITH SUCH FILINGS. | PROHIBIT APPLICATIONS FOR A WALLS IN PARALLEL STEP DES |
| CONTRACTOR TO TAKE PRECAUTIONARY MEASURES TO PROTECT PREMISES FROM DIRT OR DAMAGE, INCLUDING EXISTING PLANT LIFE WHERE POSSIBLE. | REQUIRED: RETAINING WALLS W DISTRICTS MAY EXCEED FIVE F PROPOSED: A RETAINING WALL |
| CONTRACTOR TO PROVIDE FOR REINSTATING ANY EXISTING ELEMENTS NTERRUPTED, COVERED OR REMOVED BY HIS WORK WHETHER NDICATED ON DRAWINGS OR NOT. | EXCEED 5FT.: 8.75FT. HIGH AL SIDE PROPERTY LINE, 7.9FT. T PROPERTY PROPERTY LINE. |
| CONTRACTOR SHALL DISCONNECT, CAP AND REROUTE ANY EXISTING WATER, SANITARY OR UTILITY LINES IN AREA OF NEW FOUNDATION AND SHALL USE HAND EXCAVATION IN AREAS OF SUSPECTED JNDERGROUND UTILITIES AND SERVICES. IF ANY LINES ARE BROKEN OR DAMAGED, THE CONTRACTOR WILL REPAIR AND REPLACE SAME AT HIS OWN EXPENSE AND ARRANGE FOR PROPER INSPECTION OF HIS WORK. | |
| WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THESE DRAWINGS ARE NOT TO BE SCALED. | |
| ARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. IT IS THE INTENTION OF THE DRAWINGS TO PROVIDE A COMPLETE JOB IN ALL RESPECTS AND NO EXTRAS SHALL 3E ALLOWED FOR MATERIALS AND/OR LABOR REQUIRED TO COMPLETE THE WORK AS INDICATED NOR SHALL THE ENGINEER BE HELD RESPONSIBLE FOR ANY SUCH COSTS. | |
| IF THERE ARE ANY QUESTIONS REGARDING DISCREPANCIES OR MATERIALS, PRACTICES, NOTES AND QUANTITIES OF MATERIALS CONTACT THE ENGINEER IMMEDIATELY. | |
| THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THESE PLANS WITH THOSE AT THE SITE. ANY DISCREPANCIES MUST 3E BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PROVIDED DIMENSIONS ARE SUBJECT TO ACTUAL FIELD CONDITIONS AND NO CREDITS OR EXTRAS WILL BE ALLOWED FOR DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS NOT REPORTED ONCE HE HAS STARTED WORK, EXCEPT FOR HIDDEN JOB CONDITIONS WHERE APPLICABLE. | |
| CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGES, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICE. | $\frac{\text{PLOT PLAN}}{\text{SCALE: 1"=10'-0"}}$ |
| THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP ON THE JOB FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION. | LEGEND |
| ALL MATERIALS STORED OR BROUGHT TO THE SITE SHALL BE NEATLY PILED AND PROTECTED AGAINST ALL ELEMENTS, THE OWNER AND ENGINEER HAVE THE RIGHT TO REJECT ANY SUCH MATERIAL THEY DEEM DAMAGED, AND REPLACED AT THE CONTRACTORS COST WITHIN GOOD CONSTRUCTION PRACTICE. | FLOW SLOPE & DIRECTION OF DRAINAGE EXISTING CONTOUR 82 PROPOSED CONTOUR |
| SITE PLAN DATA IS AS INDICATED ON SURVEY PROVIDED BY OWNER AND SHALL PREVAIL. SITE PLAN BY ENGINEER IS MERELY SCHEMATIC. | $74.50 \rightarrow$ EXISTING SPOT ELEVATION 74.50 \rightarrow PROPOSED ELEVATION |
| NEW CONSTRUCTION IS TO BE STAKED OUT AND ALL REQUIRED SETBACKS ARE TO BE FIELD CHECKED AND APPROVED BY A LICENSED | TW TOP OF WALL BW BOTTOM OF WALL |
| SURVEYOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ENTIRE PREMISES, INSIDE AND OUT, SHALL BE CLEANED OF ALL DEBRIS AND EXCESS MATERIALS, TO THE SATISFACTION OF THE OWNER, | DRY WELL / DRAINAGE PIPING |
| DELIVER PROJECT FINISHED IN A CLEAN LIVABLE MANNER. | CONCRETE STONE |
| ALL WORK SHALL COMPLY WITH NYS REQUIREMENTS FOR LEAD PAINT TESTING AND DISCLOSURE. | |
| SCOPE OF WORK: PROPOSED MASONRY OUTDOOR KITCHEN W/ GAS BBQ | REAR YARD CO |
| PROPOSED SPORTS COURT W/ BASKETBALL HOOP (1) PROPOSED DRY WELL | $\frac{\text{REAR YARD AREA} = 6.670 \text{ S.F.}}{\text{ITEM:}}$ |
| (1) MAINTAIN EXISTING DRY WELL REPLACEMENT OF REAR MAS. RETAINING WALL MAINTAIN EXISTING REAR CONCRETE PATIO | EXISTING RAISED STONE PATIO WITH R/O EXISTING STONE STEPS WITH O.H. EXISTING BRICK GARAGE MAINTAIN CONCRETE PATIO |
| | PROPOSED RETAINING WALL PROPOSED OUTDOOR KITCHEN |
| SHEET INDEX | PROPOSED SPORTS COURT W/ HOOP & NET |
|)-1 GENERAL NOTES & PLOT PLAN)-2 CONCRETE NOTES, GENERAL NOTES, DRY WELL DETAILS OUTDOOR KITCHEN | INTAL IMPERVIOUS AREA (MAX. 40%) |
| DETAILS, PAVER DETAIL, RETAINING WALL SPECIFICATIONS & DETAILS | |
| SPORTS COURT FOUNDATION PLAN & DETAILS | |
| | THE INSTALLATION OF ALL MATERIALS AND PRODUCTS SHALL MEET ALL LOOK FIRE DEPARTMENTS REQUIREMENTS AND REQULATIONS. TO THE INSTALLATION OF SUCH MATERIALS AND PRODUCTS. ALL WORK TO CONFORM TO THE 2020 NEW YORK STATE RESIDENTIAL SULL WORK STALL ARRANGE FOR ALL NECSSSARY PENITS AND NESPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE AND ANY VECESSARY FEES ASSOCIATED WITH SUCH FILINOS. SONTRACTOR TO TAKE PRECAUTIONARY MEASURES TO PROTECT REMIESS FROM DIRT OR DAMAGE, INCLUDING EXISTING ELEMENTS INTERCIPTED, COVERED OR REINSTATING ANY EXISTING ALER POSSIBLE. 201TRACTOR SHALL BISCONCOL BY HIS WORK WHETHER DIDICATED ON DRAWINGS OR NOT. 301TRACTOR SHALL BISCONCOL BY HIS WORK WHETHER INDERATING AND EXISTING IN AREAS OF SUSPECTION INDERACOUND UTILITIES AND SERVICES. IF ANY LINES ANE BROKEN BY BANAGED FRANDE EXOLATION IN AREAS OF SUSPECTION INDERACOUND UTILITIES AND SERVICES. IF ANY LINES ANE BROKEN BY BANAGED FOR MATERIALS AND OR PROPER INSPECTION OF HIS DARAGED AND AREAS AND OR LARDER AND REPLACES ANE AT IS OWN EXPENSE AND AREAWEF FOR PROPER INSPECTION OF HIS DARAGED, AND REASHING AND OR SHALL HAVE PRECEDENCE OVER SMALLER SOLE DARAWINGS. IT IS THE INTENTION OF THE DRAWINGS TO INDERACTOR SHALL HAVE PRECEDENCE OVER SMALLER SOLE DRAWINGS. INT IS THE INTENTION OF THE DRAWINGS NO HESE FLANS MEAN AND OR SHALL HAVE PRECEDENCE OVER SMALLER SALLEND FOR MATERIALS AND OR MORE REQUIRED FOR AND DIMENSIONS ON HESE FLANS MEAN AND OR SHALL HAVE PRECEDENCE OR HELD SOLED DRAWINGS. INT HOUSE AND DISCREPANCES OR ATTERNALS, FRACTICES, STANLARDALL YERFY ALL CONDITIONS AND DIMENSIONS ON HESE FLANS MEAN ENDINED AND DESCREPANCES AND DISCREPANCES AND SALLE ALOWER DIMENSIONS |



GOALRILLA

All-Weather Nylon Basketball Net

SKU: B2602W

\$12.95 * * * * * 4.9 (10)

 HIGH-QUALITY WOVEN NYLON — Heavy-duty, UV-resistant nylon basketball rim net

 REPLACEMENT BASKETBALL NET – Replace your worn out or damaged basketball net

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GOALRILLA 'ALL-WEATHER NYLON BASKETBALL NET' SPECIFICATIONS

SCALE: NOT TO SCALE

INSTALLATION TIMELINE

- 1. Prior to anchor system and goal assembly, call utility services for location of underground utility lines before you dig. 2. Vertical main post assembly is a two part process. PART 1 PART 2
 - four adults) (Below)

PROPOSED SPORTS COURT FOUNDATION PLAN SCALE: 1/4"=1'-0"

12' TALL 'SOCKETED STOP THAT BALL' BALL STO SCALE: NOT TO SCALE

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SOCKETED STOP THAT BALL™ - BALL STOP NET & POSTS [12FT HIGH] - 50FT

50ft semi-permanent Stop That Ball™ system with removable ground sockets. Used for a wide range of sports, the durable ball stop net is ideal for backyards & clubs. SKU: NT45010

| | DRAWING: |
|--------------------------------------|---|
| Net Length : 50ft | BASKETBALL HOO SPECIFICATIONS SYSTEM SPECIFICA SPORTS CON FOUNDATION P DETAILS |
| | PROJECT: PROPOSE REAR YARD MA RENOVATIO |
| | DRAWING No. |
| OP NET & POSTS SYSTEM SPECIFICATIONS | OD- |

PRIVATE RESIDENCE

191 EXECUTIVE DRIVE

NEW HYDE PARK, NY 11040

PROPOSED 2-STORY SINGLE FAMILY RESIDENCE, RAISED PATIO, CELLAR ENTRY

| | DRAWING INDEX | | | | | |
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| T-1 | COVER SHEET, GENERAL NOTES | | | | | |
| GN-1 | GENERAL CONSTRUCTION NOTES | | | | | |
| Z-1 | PLOT PLAN, ZONING, AREA DIAGRAMS | | | | | |
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| A-1 | PROPOSED FOUNDATION PLANS, NOTES | | | | | |
| A-2 | PROPOSED FLOOR PLANS, NOTES | | | | | |
| A-3 | PROPOSED FLOOR PLANS, ROOF PLAN, NOTES | | | | | |
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| A-6 | PROPOSED BUILDING SECTION, DETAILS, NOTES | | | | | |

| CODE INFORMATION | | | | | | |
|--|------------------|-----------|--|--|--|--|
| THESE CONSTRUCTION DOCUMENTS WERE PREPARED USING THE RESIDENTIAL CODE OF NEW YORK (2020 EDITION) IN CONJUNCTION W/ <u>THE PRESCRIPTIVE DESIGN OF THE WOOD FRAME CONSTRUCTION</u> MANUAL FOR ONE & TWO FAMILY DWELLINGS & ASCE <u>1</u> | | | | | | |
| THESE ENERGY CONSERVATION CALCULATIONS WERE PREPARED USING THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (2020 EDITION) | | | | | | |
| MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS : TABLE 301.5 | | | | | | |
| USE | LIVE LOAD | DEAD LOAD | | | | |
| EXTERIOR BALCONIES | 60 psf | 10 psf | | | | |
| DECKS | 40 psf | 10 psf | | | | |
| PASSENGER VEHICLE GARAGES | 50 psf | PER PLAN | | | | |
| ATTICS WITHOUT STORAGE | 1ø psf | 10 psf | | | | |
| ATTICS WITH STORAGE | 20 psf | 10 psf | | | | |
| RMS OTHER THAN SLEEPING RMS | 40 psf | 10 psf | | | | |
| SLEEPING ROOMS | 30 psf | 10 psf | | | | |
| STAIRS | 40 psf | 10 psf | | | | |
| GUARDRAILS AND HANDRAILS | 200 psf | 10 psf | | | | |
| ROOFS: LIVE = GROUND SNOW LOAD ADJUSTMENTS AS PER ASCE 7 | 20 psf 30 psf | 10 pef | | | | |

DIVISION 1 - GENERAL REQUIREMENTS

WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: A. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS

B. BUILDING CODE AS SPECIFIED ON THE ARCHITECTURAL DRAWINGS. C. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS. D. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODICALLY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH

MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS. 2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS, 3. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, NEVER SCALE DIRECTLY FROM DRAWINGS, CONTRACTOR SHOULD CONSULT ARCHITECT IN CASE OF QUESTION. 4. THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN.

5. DISCREPANCIES: THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS + WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS HE SHALL PROMPTLY NOTIFY THE ARCHITECT, IN WRITING, BEFORE PROCEEDING WITH THE WORK OR HE SHALL BE RESPONSIBLE FOR THE SAME AND ANY INDIRECT RESULTS OF HIS ACTION. 6. OMISSIONS: ARCHITECTURAL DRAWINGS AND SPECIFICATIONS SHALL BE

CONSIDERED AS PART OF THE CONDITIONS FOR THE WORK. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS OR AGREEMENTS AS WELL AS CURRENT ACCEPTABLE BUILDING PRACTICES SHALL GOVERN, AND THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED. 7. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.

8. ANY AND ALL DRAWINGS AND SPECIFICATIONS FOR SITEWORK, PLUMBING SUPPLY OR WASTE, ELECTRICAL CIRCUITRY, AND HEATING, VENTILATING, FABRICATED TRUSSES, AND AIR CONDITIONING SYSTEMS ARE NOT A PART OF THE PROFESSIONAL SERVICES PROVIDED TO THE CLIENT BY THE ARCHITECT UNLESS INCLUDED UNDER THEIR AGREEMENT, ANY DISCREPANCIES WITH THESE DOCUMENTS BY ANY OF THE ABOVE LISTED SERVICES AS SHOWN IN DOCUMENTS PREPARED BY OTHERS SHOULD BE INDICATED IN WRITING TO THE ARCHITECT IMMEDIATELY. 9. PRIOR TO APPLICATION FOR BUILDING PERMITS, THE CONTRACTOR WILL FURNISH

THE ARCHITECT WITH TWO SETS OF SHOP DRAWINGS OF ALL PREFABRICATED COMPONENTS, ONE SET TO BE RETAINED BY ARCHITECT, THE OTHER SET TO BE RETURNED TO CONTRACTOR AFTER REVIEW. ITEMS REQUIRING SHOP DRAWINGS INCLUDE BUT ARE NOT LIMITED TO ROOF TRUSSES, FLOOR TRUSSES, STAIRS, CABINETS, VANITIES, ETC. SHOULD THE DESIGN OR CONFIGURATIONS OF ANY PREFABRICATED COMPONENT BE MODIFIED DURING CONSTRUCTION FROM PREVIOUSLY APPROVED SHOP DRAWINGS, THE ARCHITECT SHALL BE FURNISHED, PRIOR TO FABRICATION, WITH REVISED SHOP DRAWINGS INCORPORATING THE REVISION. IF THE ARCHITECT IS NOT PROVIDED WITH THE ABOVE INFORMATION, THE CLIENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLEGS THE ARCHITECT FROM ANY CLAIM OR SUITE WHATSOEVER, INCLUDING BUT NOT LIMITED TO, ALL PAYMENTS, EXPENSES OR COSTS INCLUDED, ARISING OR ALLEGED TO HAVE ARISEN FROM PREFABRICATED ITEMS.

10. THE CONDITIONS AND ASSUMPTIONS STATED IN THESE SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR FOR CONFORMANCE TO LOCAL CODES AND CONDITIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THESE SPECIFICATIONS AND LOCAL CODES OR CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF THE DISCREPANCY AND SPECIAL ENGINEERING REQUIREMENTS SHALL BE APPLIED TO INSURE THE BUILDING'S STRUCTURAL INTEGRITY

11. THESE REQUIREMENTS MAY BE SUPERSEDED BY MORE STRINGENT INFORMATION CONTAINED WITHIN THE DRAWINGS. THE MORE STRINGENT SHALL BE FOLLOWED. 12. SOIL CONDITIONS SHALL CONFORM TO OR EXCEED THE FOLLOWING CONDITIONS: BEARING CAPACITY: MIN. 2000 PSF. FIELD VERIFIED UNDER ALL FOOTINGS AND REINFORCED SLABS, WATER TABLE: MIN. 2'-O" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS, FOOTINGS, FOUNDATIONS, WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT AND OTHER ORGANIC MATERIALS. 13. BOTTOM OF FOOTINGS SHALL EXTEND BELOW FROST LINE OF THE LOCALITY AND MINIMUM 3'-O" BELOW EXISTING GRADE TO UNDISTURBED SOIL OR SOIL COMPACTED TO 35% DRY DENSITY HAVING A LOAD CARRYING CAPACITY AS SPECIFIED IN NOTE 12, AS VERIFIED BY A SOILS ENGINEER LICENSED IN THE LOCALITY WHERE PROJECT IS BEING BUILT.

ALL FOUNDATION WALL BACKFILL UNDER SLABS WHERE DISTANCE FROM EDGE OF WALL TO EDGE OF UNDISTURBED SOIL EXCEEDS 16", BUT LESS THAN 4'-O", SHALL CONSIST OF CLEAN, POROUS, SOIL COMPACTED IN 6" LAYERS TO 35 % DRY DENSITY OR PROVIDE #4 REBAR AT 2'-O" O.C., 1'-O" BEYOND EDGE OF UNDISTURBED SOIL AND 1'-O" INTO FOUNDATION WALL, 1/2

15. FREE DRAINING GRANULAR BACKFILL (SM OR BETTER) SHALL BE USED AGAINST FOUNDATION WALLS CONSISTENT WITH THE ARCHITECTURAL PLANS AND RELATED DETAILS. EQUIVALENT FLUID PRESSURE OF BACKFILL NOT TO EXCEED 40PCF (POUNDS PER CUBIC FOOT). IF BACKFILL PRESSURES EXCEED 40PCF, THEN WALLS MUST BE DESIGNED FOR ACTUAL PRESSURES BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE LOCALITY WHERE PROJECT IS BEING BUILT. 17. UNBALANCED FILL NOT TO EXCEED 1'-O" UNLESS OTHERWISE NOTED AND SUBSTANTIATED BY ENGINEERING CALCULATIONS, BACKFILL SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS-ON-GRADE AND FRAMED FLOORS ARE IN PLACE AND HAVE REACHED THEIR DESIGN STRENGTH, PROPER PRECAUTIONS SHALL BE TAKEN TO BRACE FOUNDATION WALLS WHEN BACKFILLING, WHERE BACKFILL IS REQUIRED ON BOTH SIDES, BACKFILL BOTH SIDES SIMULTANEOUSLY.

DIVISION 3 - CONCRETE

A. GENERAL: CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI-318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. 2. ALL REINFORCEMENT, ANCHOR BOLTS, PIPE SLEEVES AND OTHER INSERTS SHALL BE POSITIVELY SECURED IN PLACE AND LOCATED ACCORDING TO THE APPROPRIATE ARCHITECTURAL DRAWINGS AND DETAILS.

B. REINFORCING STEEL:

REINFORCING STEEL SHALL BE INTERMEDIATE GRADE NEW BILLET DEFORMED BARS GRADE 60 CONFORMING TO ASTM \$ 615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, SEE ARCHITECTURAL DRAWINGS FOR SIZES AND LOCATIONS

2. DETAILING, FABRICATING AND PLACING OF REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI-318-99

CODE REQUIREMENTS FOR STRUCTURAL CONCRETE 3. ALL REINFORCING BARS WHICH INTERCEPT PERPENDICULAR ELEMENTS SHALL TERMINATE IN HOOKS, PLACED TWO (2) INCHES CLEAR FROM OUTER FACE OF ELEMENT.

4. THE CONTRACTOR SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO EACH CONCRETE POUR NO CONCRETE SHALL BE POURED INTO FOOTINGS CONTAINING STANDING WATER OR MUD. FOOTINGS SHALL BE DEWATERED PRIOR TO PLACEMENT OF CONCRETE. NO CONCRETE SHALL BE PLACED UNTIL ALL REINFORCING HAS BEEN INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE BUILDING OFFICIAL OR COUNTY APPROVED LICENSED INSPECTOR 5. MINIMUM PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

A. FOOTINGS: 3" B. BEAMS AND COLUMNS: 2"

C. SLAB: 3/4" (WIRE MESH TO BE PLACED AT MID-DEPTH OF SLAB) D. WALLS - 1 1/4" AT INTERIOR FACE: 3" AT EXTERIOR FACE

C. FOUNDATION: 1. FOOTING DEPTHS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS. FOOTINGS SHALL BEAR A MINIMUM OF 1"-O" INTO ORIGINAL UNDISTURBED SOIL AND A MINIMUM SIX (3) INCHES AND BE NAILED TOGETHER WITH MIN. (3) 100 FACE NAILS. ((SEE OF 3'-0" BELOW FINISHED GRADE, WHERE REQUIRED, STEP FOOTINGS TO RATIO OF 2 ATTACHED NAILING SCHEDULE FOR SUPERCEDING REQUIREMENTS) HORIZONTAL TO I VERTICAL

2. WHERE CONDITIONS DEVELOP REQUIRING CHANGES IN EXCAVATIONS, SUCH CHANGES SHALL BE MADE AS DIRECTED BY THE ENGINEER. 3. ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL

OR COUNTY APPROVED INSPECTOR PRIOR TO THE PLACING OF ANY CONCRETE. SAME SHALL BE GIVEN FORTY-EIGHT (48) HOURS NOTICE FOR THIS OBSERVATION. 4. SOIL INVESTIGATION AND REPORT: ALL EARTH WORK, COMPACTION AND SUPERVISIONS SHALL BE DONE ACCORDING TO THE RECOMMENDATIONS OF THE SOIL INVESTIGATION REPORT PREPARED BY A LICENSED GEOTECHNICAL ENGINEER CONCRETE SLAB AND FOOTING CALCULATIONS ARE BASED ON A 2,000 PSF VALUE. IF ON-SITE TEST BORING INDICATE LESSER VALUES, NOTIFY ENGINEER, IN WRITING, SO THAT NECESSARY STRUCTURAL MODIFICATIONS CAN BE MADE.

5. SLAB-ON-GRADE SHALL BE 4" THICK REINFORCED WITH 6 × 6 WI.4 × WI.4 WWF AND SHALL BE PLACED ON 6 MIL. YAPOR BARRIER ON 4" CRUSHED STONE. 6. SLAB-ON-GRADE AT PORCHES SHALL BE 4" THICK UNLESS OTHERWISE NOTED. 7. INSTALL ANCHOR STRAPS AS PER MEG. RECOMMENDATIONS: 12" FROM CORNERS AND INTERVALS AS PER PLANS. MINIMUM EMBEDMENT FOR ANCHORS SHALL BE AS SPECIFIED BY MANUFACTURER.

8, BEAM POCKETS SHALL BE FORMED INTO CONCRETE WALLS TO PROVIDE A CONTINUOUS LEVEL FLAT SOLID BEARING SURFACE FOR ALL BEAMS.

#21630

DIVISION 6 - WOOD

A. LUMBER GRADE: SOFTWOOD LUMBER STANDARD

A, PARTITIONS MUST BE CONSTRUCTED OF MINIMUM 2 × 4 STUDS SPACED 16" O.C. GRADING SHALL COMPLY WITH DOC PS 20-70 AND APPLICABLE WESTERN WOOD OF TYPE LUMBER SPECIFIED. PRODUCTS ASSOCIATION STANDARDS. B, IF A DOUBLE TOP PLATE OF LESS THAN 2-2 X 6'S OR 3-2 X 4'S IS USED, FLOOR 1. ALL LUMBER SHALL BE, UNLESS OTHERWISE NOTED, NO. 2 GRADE. DOUGLAS JOISTS SHALL BE CENTERED DIRECTLY OVER AND BELOW BEARING WALL STUDS FIR-LARCH WITH THE FOLLOWING MINIMUM STRUCTURAL VALUES. with a tolerance of no more than 1" unless substantiated by Engineering

AMERICAN

FB 875 PS

A. EXTREME FIBER BENDING STRESS: 2 × & WIDER B. HORIZONTAL SHEAR: FY = 95 PSI C. COMPRESSION PERPENDICULAR TO GRAIN: FCL = 625 PSI

D. COMPRESSION PARALLEL TO GRAIN: FC = 1300 PSI

E. MODULUS OF ELASTICITY: E = 1600,000 PSI

F. MOISTURE CONTENT: 19% MAXIMUM. FIBERGLASS SHINGLES: THIRTY (30) YEAR SELF SEALING SHINGLES OVER I LAYER 2. OTHER SPECIES MAY BE USED PROVIDED SUBSTITUTED SPECIES SHALL MEET OR OF 30* ASPHALT SATURATED FELT UNDERLAYMENT UNLESS OTHERWISE NOTED. EXCEED REQUIREMENTS NOTED ABOVE. INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. 3. MOISTURE CONTENT: ALL LUMBER 4" AND DEEPER SHALL HAVE MOISTURE 2. CEDAR SHAKES: "2 GRADE RED-LABEL CEDAR SHAKES (18" 1 × 45"T) OVER ONE LAYER 30* A.S.F. UNDERLAYMENT, INSTALL WITH 4 1/2" WEATHER EXPOSURE, APPLY AN 18" WIDE STRIP OF 30" A.S.F. OVER EACH COURSE OF SHAKES, 3" FROM BOTTOM EDGE OF SHAKE EXTENDING OVER TOP OF SHAKE AND ONTO SHEATHING. WITH AIR DRIED STOCK.

CONTENT NOT GREATER THAN 19%, AIR DRIED LUMBER 15 DESIRED BUT NOT NECESSARY. LUMBER MAY BE KILN DRIED, HOWEVER DRYING PROCESS MUST BE SLOW AND REGULATED TO CAUSE A MINIMUM AMOUNT OF CHECKING, COMPARABLE 3. EAVE FLASHING: SEE NOTE B-4, BELOW.

4. ALL EXTERIOR LUMBER AND LUMBER IN CONTACT WITH MASONRY OR CONCRETE B. FLASHING: SHALL BE PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH AFEPA 1. ALL FLASHING, COUNTER FLASHING, AND COPING WHEN OF METAL SHALL BE OF STANDARDS AND STAMPED "GROUND CONTACT 0.40 LBS/CUBIC FOOT". NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL. 5. GRADE STAMPS SHALL APPEAR ON ALL LUMBER. 2. FLASH ALL EXTERIOR OPENINGS AND ALL BUILDING CORNERS WITH APPROVED MATERIAL TO EXTEND AT LEAST 4" BEHIND WALL COVERING. COVER ALL EXPOSED PLYWOOD AT BUILDING CORNERS WITH WATERPROOF BUILDING PAPER B. FLITCH BEAMS: 3. STEP FLASH AT ALL ROOF TO WALL CONDITIONS. FLASH AND CAULK WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS OR ROOF SURFACES.

6. STORE ALL LUMBER ABOVE GRADE AND PROTECT FROM EXPOSURE TO WEATHER

1. FLITCH BEAMS SHALL HAVE A MINIMUM FB = 15000, E=11.4 WITH 1/2" BOLTS LOCATED NOT CLOSER THAN 2" FROM THE TOP AND BOTTOM EDGE UNLESS

OTHERWISE NOTED. THERE SHALL BE A BOLT TOP AND BOTTOM 2" FROM EACH END SEE TYPICAL FLITCH PLATE BOLT PATTERN DETAIL). C. JOIST HANGERS:

, ALL PURLING, JOISTS AND BEAMS NOT FRAMED OVER SUPPORTING MEMBERS SHALL BE SUPPORTED.

I. ENCLOSED ATTIC TRUSS SPACES AND ENCLOSED ROOF RAFTERS SHALL HAVE 2. JOIST HANGERS SHALL BE PRIME QUALITY STEEL WHICH CONFORMS TO CROSS VENTILATION FOR SEPARATE SPACE WITH SCREENED VENTILATING ASTM-A525, MIN. 22 GAUGE. PRODUCTS ACCEPTABLE SHALL BE SIMPSON, KANT-SAG OPENINGS PROTECTED AGAINST THE ENTRANCE OF MOISTURE AND RAIN IN OR EQUIVALENT. ACCORDANCE WITH THE WECM, AND NYS AND LOCAL CODES AND ORDINANCES. D. BOLTS IN WOOD FRAMING: SEE DETAILS ON ARCHITECTURAL PLANS FOR LOCATIONS AND DETAILS.

ALL BOLTS IN WOOD FRAMING SHALL BE STANDARD MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS OR STEEL PLATE WASHERS. 2. STEEL PLATE WASHER SIZES SHALL BE AS FOLLOWS:

A. 1/2" AND 5/8" DIAM. BOLTS - 2-1/4" SQ. X 5/16"

B. 3/4" DIA. BOLTS-2-5/8" SQ. × 5/16". 3. EACH BOLT HOLE IN WOOD SHALL BE DRILLED 1/16" LARGER THAN DIAMETER O

BOLT. 4. FOR SILL ANCHORS, SEE TYPICAL DETAILS ON ARCHITECTURAL DRAWINGS.

E. LAG BOLTS: SHALL BE OF STRUCTURAL GRADE STEEL.

2, WASHERS SHALL BE PLACED UNDER THE HEAD OF LAG BOLTS BEARING ON WOOD, LENGTH OF LAG BOLTS SHALL BE MINIMUM 2/3 DEPTH OF MEMBERS BEING BOLTED TOGETHER

F. ALTERING STRUCTURAL MEMBERS: 1. NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT, BLOCKED OUT OR RELOCATED WITHOUT PRIOR APPROVAL BY THE ENGINEER DO NOT ALTER SIZES OF MEMBERS NOTED WITHOUT APPROVAL OF ENGINEER.

G. BUILT-UP BEAMS: , BUILT-UP BEAMS OR JOISTS FORMED BY A MULTIPLE OF 2 X MEMBERS SHALL BE INTERCONNECTED AS FOLLOWS:

A. MEMBERS 9-1/4" AND LESS IN DEPTH: GLUE AND INTERNAIL W/2 ROWS 16D NAILS AT 12" O.C. STAGGERED. B. MEMBERS GREATER THAN 9-1/4" IN DEPTH OR MULTIPLE 3 X MEMBERS

THROUGH BOLT WITH 1/2" DIAMETER MACHINE BOLTS AT 24" O.C. STAGGERED. +. CUTTING OF BEAMS, JOIST AND RAFTERS

CUTTING OF WOOD BEAMS, JOISTS AND RAFTERS SHALL BE LIMITED TO CUTS AND BORED HOLES NOT DEEPER THAN 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE OF 1/3 OF THE SPAN. NOTCH DEPTH OF THE ENDS AT THE MEMBER SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. HOLES BORED OR OUT INTO JOIST SHALL NOT BE CLOSER THAN 2 INCHES TO THE TIP OR BOTTOM OF THE JOISTS AND THE DIAMETER OF THE HOLE SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST. THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF 4 INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.

, ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PIPES IN STUD BEARING NAILS OR SHEAR NAILS: PROVISIONS OF THE RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL CODES NOTCHES OR BORED HOLES TO STUDS OF BEARING WALLS OR PARTITIONS SHALL NOT BE MORE THAN 1/3 THE DEPTH OF THE STUD. AND ORDINANCES (AS APPLICABLE), 2. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION

J. BRIDGING AND BLOCKING: 1. THERE SHALL BE NOT LESS THAN ONE LINE OF BRIDGING IN EVERY EIGHT FEET OF FOR THE INSTALLATION IS PROVIDED. STORAGE SHOULD BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. SPAN IN FLOOR, ATTIC AND ROOF FRAMING. THE BRIDGING SHALL CONSIST OF NOT 3. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING LESS THAN ONE BY THREE INCH LUMBER DOUBLE NAILED AT EACH END OR OF MEMBERS EXCEPT THOSE EDGES WHICH ARE PERPENDICULAR TO THE FRAMING EQUIVALENT METAL BRACING OF EQUAL RIGIDITY, MIDSPAN BRIDGING IS NOT

REQUIRED FOR ATTIC OR ROOF FRAMING WHERE JOIST DEPTH DOES NOT EXCEED EXCEPT IN CONCEALED SPACES WHERE FIRE RESISTIVE CONSTRUCTION IS NOT TWELVE INCHES NOMINAL, BLOCK SOLID AT ALL BEARING SUPPORTS WHERE ADEQUATE LATERAL SUPPORT IS NOT OTHERWISE PROVIDED, BLOCK ALL STUD REQUIRED. 4. THE SIZES AND SPACING OF FASTENERS SHALL COMPLY WITH THE RESIDENTIAL WALLS AT MAXIMUM INTERVALS OF EIGHT FEET WITH MINIMUM OF 2 X SOLID CODE OF NYS AND LOCAL CODES AND ORDINANCES (AS APPLICABLE). MATERIAL WITH TIGHT JOINTS. PROVIDE 2 X FIRESTOPS AT MID-POINT VERTICALLY 5. PROVIDE MOISTURE RESISTANT DRYWALL CEMENT BOARD AT TUBS AND OF STUD WALL, BRIDGING AS REQUIRED BY FLOOR TRUGG MANUFACTURER'S SHOWERS AS SHOWN ON DETAILS IN ARCHITECTURAL DRAWINGS. PRINTED INSTRUCTIONS.

6. FIRE-RESISTIVE CONSTRUCTION: GARAGE CEILINGS AND WALLS WHEN ADJACENT K. LINTEL SCHEDULE: TO A DWELLING UNIT SHALL BE OF RATED CONSTRUCTION ACCORDING TO THE UL 1. UNLESS OTHERWISE SHOWN, PROVIDE 1 LINTEL WITH 6" MINIMUM BEARING FOR EACH DESIGN SPECIFIED ON THE DRAWINGS WHEN UNITS ARE DESIGNED UNDER NYS 4" OF WALL THICKNESS. STANDARDS AS INDICATED ON THE DRAWINGS, (5/8" TYPE X WALLS AND CEILINGS)

| LINTEL SCHEDU | |
|----------------|------------------------|
| SPAN | SIZE OF MEMBER |
| UP TO 4'-0" | (3)3/2"×1/2" OR (2)2×6 |
| 4'-1" TO 5'-Ø" | (4)3/2"×5/6" OR (2)2×8 |
| 5'-1" TO 6'-Ø" | (5)3½"×5%" OR (2)2×10 |
| 6'-1" TO 8'-Ø" | (6)3½"×3%" OR (2)2×12 |
| | |

L. PLYWOOD: 1. ALL PLYWOOD SHALL BE DOUG FIR OR EQUAL. IT SHALL BE MANUFACTURED AND GRADED IN ACCORDANCE WITH GUIDE FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD

2. EACH PLYWOOD SHEET SHALL BEAR THE "APA" TRADEMARK 3. ALL END JOINTS SHALL BE STAGGERED AND SHALL BUTT ALONG THE CENTER LINES OF FRAMING MEMBERS.

4. THE FACE GRAIN OF THE PLYWOOD SHALL BE LAID AT RIGHT ANGLES TO THE JOISTS AND TRUSSES AND PARALLEL TO THE STUDS. 5, NAILS SHALL BE PLACED 3/8" MINIMUM FROM THE EDGE OF THE SHEETS. THE

, ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CURRENT CODES AND REGULATIONS OF GOVERNING AGENCIES. MINIMUM NAIL PENETRATION INTO FRAMING MEMBERS SHALL BE 1 1/2" FOR 8D NAILS 2. ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS AND 13/8" FOR 10D NAILS. TO NOT NEEDLESSLY HAMPER THAT PORTION OF THE WORK PERFORMED BY 6. ALL FLOORS SHALL BE NAILED AS PER NAILING SCHEDULE.

M. CORNER BRACING: UNLESS OTHERWISE NOTED, BRACE EXTERIOR CORNERS OF BUILDING WITH 1 × 4 DIAGONALS, LET INTO STUDS, OR WITH 4 X & PLYWOOD SHEET OF THICKNESS TO

MATCH THAT OF SHEATHING, OR WITH METAL STRAP DEVICES INSTALLED IN ACCORDANCE NAILING SCHEDULE. N. NAILING:

1. ALL NAILING SHALL COMPLY WITH NAILING SCHEDULES IN WECH, (SEE ATTACHED 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE NATIONAL, SCHEDULE) AND ALL STATE AND LOCAL BUILDING CODES, OR MAUFACTURER'S STATE AND LOCAL CODES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE RECOMMENDATIONS. SERVING POWER AND TELEPHONE COMPANIES. O. FIRE STOPPING: 2. ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS , FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT TO NOT NEEDLESSLY HAMPER THAT PORTION OF THE WORK PERFORMED BY OTHERS.

OPENINGS (BOTH VERTICAL AND HORIZONTAL) WITH 2" NOMINAL LUMBER OR 2 THICKNESSES OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS OR OTHER APPROVED MATERIAL.

P. ALIGNMENT: ALL RAFTERS AND JOISTS FRAMING FROM OPPOSITE SIDES SHALL LAP AT LEAST B. BOTTOM OF RECEPTACLES AND SWITCHES SHALL BE LOCATED 5" ABOVE COUNTER TOP UNLESS OTHERWISE NOTED ON DRAWINGS. C, RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" ABOVE FINISH FLOOR 2. WHEN FRAMING END TO END JOISTS SHALL BE SECURED TOGETHER BY METAL AND 12'-0" O.C. HORIZONTALLY, ALL RECEPTACLES WITHIN 6'-0" HORIZONTALLY OF A SINK LAVATORY OR TUB SHALL BE WIRED TO A GROUND FAULT INTERRUPTED STRAPS. Q. PARTITIONS: CIRCUIT 1. GENERAL: D. WALL SWITCHES TO BE 48" ABOVE FLOOR.

A. PROVIDE SOLID BLOCKING AT 4'-O" O.C. BETWEEN THE JOIST AND FIRST E, ALL SMOKE DETECTORS TO BE LINE VOLTAGE AND WIRED IN A MANNER SUCH INTERIOR PARALLEL JOIST. THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL. EACH FLOOR LEVEL TO HAVE AT B. SPLICES OF THE TOP AND BOTTOM PORTION OF DOUBLE TOP PLATES MUST BE LEAST ONE SMOKE DETECTOR EACH BEDROOM TO HAVE ITS OWN SMOKE STAGGERED A MINIMUM OF 4'-0". DETECTOR IN ADDITION TO A SMOKE DETECTOR LOCATED IN A HALLWAY OUTSIDE THE BEDROOMS.

C. SPLICES SHALL OCCUR ONLY DIRECTLY OVER STUDS. D. STRUCTURAL VARIATIONS ARE ALLOWED IF SUBSTANTIATED BY ENGINEERING F. A LINE VOLTAGE CARBON MONOXIDE DETECTOR SHALL BE LOCATED AT EACH CALCULATIONS. STAMPED BY PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN LEVEL OF THE DWELLING, INCLUDING THE BASEMENT OR CELLAR. THE JURISDICTION WHERE CONSTRUCTION IS TAKING PLACE. ONE SET OF CALCULATIONS TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO

CONSTRUCTION

E. LAP TOP PLATES AT CORNERS AND INTERSECTIONS.

TOWN OF NORTH HEMPSTEAD

2. BEARING WALLS SUPPORTING ONE FLOOR OR MORE:

CALCULATIONS. C. BEARING STUD WALLS MUST BE SHEATHED WITH A MINIMUM 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURER RECOMMENDATION. DIVISION 1 - THERMAL AND MOISTURE PROTECTION <u>A. ROOFING:</u>

4. EAVE FLASHING SHALL CONSIST OF TWO LAYERS OF 15" A.S.F. CEMENTED TOGETHER IN ADDITION TO REQUIRED NAILING FROM THE EDGE OF THE EAVE UP THE ROOF TO OVERLAY A POINT 24 INCHES INSIDE THE INTERIOR WALL LINE OF THE BUILDING. C. ATTIC VENTILATION:

DIVISION 8 - DOORS AND WINDOWS

<u>A, GENERAL</u> 1. WINDOWS IN BUILDINGS LOCATED IN WIND-BORNE DEBRIS REGIONS (WITH-IN DISTANCES OF THE OCEAN, BAY AND SOUND) SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND-BORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, GLAZED OPENING PROTECTION FOR WIND-BORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTME 1996 AND OF ASTME 1886.

EXCEPTION: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH (11.1 MM) AND A MAXIMUM SPAN OF 8 FEET (2438 MM) SHALL BE PERMITTED FOR OPENING: PROTECTION IN ONE- AND TWO-STORY BUILDINGS, PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R3022.12 OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE RESIDENTIAL CODE OF NEW YORK STATE

2. ALL WINDOWS SHALL HAVE INSULATING GLASS, OR SINGLE GLASS WITH STORM WINDOWS OR EQUAL, SIZES INDICATED ON PLANS ARE NOMINAL ONLY, BUILDER TO CONSULT WITH WINDOW MANUFACTURER TO DETERMINE EXACT SIZES, ROUGH OPENING, ETC. AT LEAST ONE WINDOW FROM EACH BEDROOM AREA SHALL HAVE , NET CLEAR OPENING AREA OF 5.7 SQ. FT. (GRADE FLOOR 5.0 SQ. FT.) WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR OPENING WIDTH OF 20", AND A SILL HEIGHT OF 44" OR LESS ABOVE THE FLOOR FOR EGRESS PURPOSES. GLAZING IN DOORS AND FIXED GLAZED PANELS IMMEDIATELY ADJACENT TO DOORS OR WITHIN 18" OF THE FLOOR, WHICH MAY BE SUBJECT TO FREQUENT AND RECURRENT ACCIDENTAL HUMAN IMPACT SHALL BE TEMPERED AS PER RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL CODES AND ORDINANCES.

DIVISION 9 - FINISHES

<u>A, GENERAL</u>

MEMBERS, ALL EDGES OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT

DIVISION 15 - MECHANICAL

A. HEATING VENTILATION AND AIR CONDITIONING: 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CURRENT CODES AND REGULATIONS OF THE GOVERNING AGENCIES.

2. MECHANICAL SUBCONTRACTOR TO SUBMIT SHOP DRAWINGS INDICATING DUCT LAYOUTS, CONDENSER LOCATION, DUCT SIZES, ETC. TO ENGINEER PRIOR TO INSTALLATION. MECHANICAL SUBCONTRACTOR TO REVIEW STRUCTURAL SHOP

DRAWINGS AND NOTIFY THE ENGINEER OF ANY MECHANICAL AND STRUCTURAL AND DESIGN INTENT CONFLICTS PRIOR TO CONSTRUCTION. 3, ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS TO NOT NEEDLESSLY HAMPER THAT PORTION OF THE WORK PERFORMED BY OTHERS.

B. PLUMBING:

OTHERS. 3. PLUMBING SUBCONTRACTOR TO REVIEW STRUCTURAL AND MECHANICAL DRAWINGS AND NOTIFY THE ENGINEER OF ANY PLUMBING, HYAC, STRUCTURAL AND

DESIGN INTENT CONFLICTS PRIOR TO CONSTRUCTION.

<u> DIVISION 16 - ELECTRICAL</u>

3. INSTALLATION: A. ALL EQUIPMENT INSTALLED OUTDOOR AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF.

| APPLICATION | #: | | |
|-------------|------------|-------------|--------|
| DRAWN BY: | R.H. | CHECKED BY: | J.M. |
| PROJECT #: | 24006 | SHEET | NUMBER |
| DATE: | 06.14.2024 | Τ | |
| SCALE: | AS NOTED | L | - |

CONSTRUCTION NOTES

ALL REFERENCES STANDARDS AND CHAPTERS AS NOTED ARE PER THE 2020 NYSRC FOR ONE AND TWO FAMILY DWELLINGS.

- ALL ARCHITECTURAL PLANS AND CONSTRUCTION MEANS AND METHODS MUST BE REVIEWED AND INSPECTED BY A NEW YORK CODE ENFORCEMENT OFFICIAL PURSUANT TO TITLE 19 NYSRR PARTS 434 4
- 2. EACH REGIDENTIAL APPLICATION FOR A NEW STRUCTURE AND EACH ADDITION TO OR REHABILITATION TO AN EXISTING RESIDENTIAL STRUCTURE THAT UTILIZES TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION SHALL BE IDENTIFIED BY A SIGN IN ACCORDANCE WITH THE PROVISIONS OF TITLE 13 NYCRR (PART 1265), A SIGN MUST BE AFFIXED TO THE ELECTRONIC BOX, IF THERE IS ONE, ON THE EXTERIOR OF THE STRUCTURE. IF NO ELECTRONIC BOX EXISTS, THEN A CONSPICUOUS LOCATION ON THE STRUCTURE THAT IS APPROVED BY THE AUTHORITY HAVING JURISDICTION AND CAN BE SEEN BY FIRST RESPONDERS.
- ALL EXISTING CONDITIONS ARE ASSUMED AND SHALL BE VERIFIED IN THE FILED BY THE CONTRACTOR IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY TO MODIFY THE STRUCTURAL PLANS. IF CONTRACTOR PROCEEDS WITHOUT NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY ILLEGAL CONSTRUCTION. THE EXISTING FIRST FLOOR JOISTS ARE ASSUMED TO BE 2"X10" @ 16" O.C. AND ALL EXISTING EXTERIOR AND INTERIOR WALLS 45. LAUNDRY CLOSET FLOOR SHALL HAVE RUBBEROID WATERPROOF MEMBRANE BASE WITH 3/4" TH. (MIN.) ARE ASSUMED TO BE 2"X4" @ 16" O.C. WITH INTERMEDIATE BLOCKING AT ALL BEARING PARTITIONS WITH (2) 2"X4" WOOD PLATES. THE FOUNDATION WALL AND FOOTINGS ARE ASSUMED TO BE CONCRETE (APPROXIMATELY 8" THICK WITH "T" SHAPED 16"WX8" DEEP FOOTING (36" MINIMUM BELOW ADJACENT GRADE)
- 4. AJ6 ALTERATIONS LEVEL 2:
- AJ6013 COMPLIANCE ALL NEWLY CONSTRUCTED ELEMENTS, COMPONENTS, SYSTEMS AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THIS CODE.

EXCEPTIONS:

- SPACES CREATED IN BASEMENTS MAY HAVE A CEILING THAT PROJECTS TO WITHIN 6 FEET, 8 INCHES OF THE FINISHED FLOOR: GIRDERS AND DUCTS IN SUCH SPACE OR OTHER OBSTRUCTIONS MAY PROJECT TO WITHIN 6 FEET, 4 INCHES OF THE FINISHED FLOOR. EXISTING FINISHED CEILING HEIGHTS IN SPACES SHALL NOT BE REDUCED.
- 2. EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE PERMITTED TO REMAIN THEIR CURRENT CLEAR WIDTH AT, ABOVE, AND BELOW EXISTING HANDRAILS.
- 3. EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE PERMITTED TO MAINTAIN THEIR CURRENT RIGER HEIGHTS AND TREAD DEPTHS.
- 4. HEADROOM HEIGHT ON EXISTING STAIRS BEING ALTERED SHALL NOT BE REDUCED BELOW THE EXISTING 51. ALL EXTERIOR TRIM SHOWN AS 'AZEK' AND/OR 'FYPON' ARE GIVEN AS A GUIDE. ALL SHAPES SHALL STAIRWAY FINISHED HEADROOM. EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE PERMITTED TO MAINTAIN THE CURRENT FINISHED HEADROOM.
- 5. LANDINGS FOR EXISTING STAIRS NOT OTHERWISE BEING ALTERED SHALL BE
- PERMITTED TO MAINTAIN THEIR CURRENT WIDTHS, , TOILET, BATH AND SHOWER SPACES - FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1 AND IN ACCORDANCE WITH REQUIREMENTS OF P2705.1. BATHTUB AND SHOWER FLOOR AND WALLS ABOVE TUBS AND INSTALLED SHOWER HEADS AND IN SHOWER COMPONENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE AND SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET, 8 INCHES ABOVE AN AREA OF NOT LESS THAN 30 INCHES X 30 INCHES AT THE SHOWER HEAD. 6. EXTERIOR STAIRS SHALL BE FIELD MEASURED TO VERIFY THE NUMBER OF RISERS AND TREADS AS PER
- MAXIMUM RIGER = 8 1/4" AND MINIMUM TREAD = 9" + 1 1/4" (MINIMUM) NOGING. SMOKE/CARBON MONOXIDE DETECTOR ALARMS SHALL BE HARD WIRED W/ BATTERY BACKUP INTERCONNECTED AND INSTALLED AS REQUIRED AS PER SECTION R314 \$315 OF BUILDING CODE OF NEW YORK STATE", SMOKE ALARMS/CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BATTERY
- OPERATED WHERE PERMITTED IN ACCORDANCE WITH APPENDIX J. (SEE CODE COMPLIANCE NOTES FOR ADDITIONAL INFORMATION). 8. LEVEL AND REINFORCE ANY EXISTING FLOOR JOISTS THAT IS SLOPED AND NOT LEVEL. 9. THE CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTIONS AND SERVICE LOCATIONS (I.E. DOMESTIC
- WATER, GAS, ELECTRIC, STORM AND SANITARY DRAIN AND/OR UNDERGROUND TANKS AND WELLS) LOCATIONS BEFORE EXCAVATION. 10. THE CONTRACTOR SHALL CAREFULLY INSPECT THE POINT OF CONTACT AT FOUNDATION SUPPORTING
- COLUMNS AND POINT TRANSFERRING LOADS FOR CRACKS OR OTHER DEFICIENCIES, AND ADVISE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL INSPECT THE EXISTING WOOD FRAMING FOR ANY INSECT OR WATER DAMAGE
- THAT WOULD EFFECT THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE. NOTIFY THE ARCHITECT AND OWNER IF DAMAGE IS ENCOUNTERED. 12. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF THE EXISTING STRUCTURE AS
- REQUIRED DURING THE OPERATION OF WORK. PROVIDE SUFFICIENT SHORING OF EXISTING WALL REMOVALS BEFORE ANY ENLARGEMENT OF OPENINGS AND/OR WALL REMOVALS, DO NOT MOVE SHORING 8. PROVIDE SHELF IN THE FOUNDATION WALLS FOR MASONRY SHELVES AND METAL DECKING AS PER FURTHER FROM WALL REMOVAL THAN THE ACTUAL DEPTH OF THE JOIST SUPPORT.
- 13. THE CONTRACTOR SHALL VERIFY IF ANY WALLS TO BE REMOVED ARE BEARING PARTITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY IF CONDITIONS VARY. 14. SISTER NEW FLOOR JOISTS WHERE SHOWN ON PLAN, EXTEND JOISTS TO OVERLAP UNDER BEARING
- PARTITION AND BOLT JOISTS WITH (2) 3/4" DIAMETER GALY, BOLTS OR WITH (2) SIMPSON TIMBERLOCK STRUCTURAL WOOD SCREWS @ 16" O.C. AND STAGGERED.
- 15. FIREBLOCKING INSTALLATION AND CONSTRUCTION SHALL COMPLY AS PER R602.8. 16. DRAFTSTOPPING SHALL BE REQUIRED AT CONCEALED SPACE OF A FLOOR CEILING ASSEMBLY AS PER R502.13. DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET, DRAFTSTOPPING MATERIALS SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS WITH MATERIALS TO COMPLY WITH R-502.12.1.
- 17. NEW MAGONRY PATIO AND ALL WALKS SHALL BE SET ON SAND BASE. 18. PROVIDE METAL CONNECTORS TO THE EXISTING PORTION OF DWELLING TO REMAIN AS PER THE REQUIREMENTS OF THE NEW ADDITION.
- 19. ENGINEERED LUMBER SHALL BE AS FOLLOWS:
- A, LAMINATED WOOD BEAMS SHALL BE SIMILAR TO GEORGIA PACIFIC 'GP' 2,0ELVL, BUILT UP MEMBERS SHALL BE BOLTED WITH 2-3/4" DIAM. STEEL BOLTS AT 16" O.C. AT TOP AND BOTTOM (STAGGER BOLTS). B. FLOOR JOISTS SHALL BE WI 80 SERIES 11 7/8" DEPTH WOOD I-BEAMS @ 16" O.C. WITH 3 1/2" FLANGE WIDTH BY 'GEORGIA PACIFIC' OR EQUAL - (MAX. SPAN = 22'-8"), JOISTS SHALL EXTEND WHERE POSSIBLE OVER 13. PROVIDE 1/2" THICK EXPANSION JOINT PREMOLDED FILLER WITH JOINT SEALER WHERE SLAB MEETS BEARING WALL FOR MULTIPLE SPANS TO IMPROVE PERFORMANCE, ALL SPANS SHALL HAVE BLOCKING PANEL AND CROSS BRIDGING AT 8'-O" O.C.
- C. ALL JOISTS SHALL BEAR ON WOOD STUD OR BEARING PARTITIONS OR FLUSH TO BEAMS, PROVIDE TOP FLANGE JOIST HANGERS, D. PROVIDE BLOCKING PANELS FOR A MINIMUM 4'-O" AT EACH BUILDING CORNER, AT EXTERIOR END WALLS,
- AT CANTILEVER OVERHANGS AND AT BEARING WALLS, SEE MANUFACTURERS SPECIFICATIONS FOR ADDITIONAL LOCATIONS.
- E. PROVIDE FILLER BLOCK WHERE BUILT UP MEMBERS ARE SPECIFIED. F. WHERE JOISTS CANTILEVER INTERIOR BEARING WALLS, DOUBLE FLOOR JOISTS WITH LENGTH AS FOLLOWS
- (CANTILEVER + 2 × CANTILEVER. G. PROVIDE FILLER BLOCKING FOR FULL LENGTH, BEARING STIFFENERS AND BLOCKING PANELS.
- H. INSTALLATION AND CONSTRUCTION SHALL BE AS PER MANUFACTURERS SPECIFICATIONS AND DETAILS. 20. PROVIDE COPPER CRICKET, STEPPED FLASHING AND COUNTER FLASHING AS REQUIRED WHERE ROOF MEETS EXTERIOR WALLS.
- 21. ALL LEADERS AND DRAINS SHALL DRAINS TO 6" DIAMETER PLASTIC "SCHEDULE" 40" PLASTIC PIPE TO DRYWELLS. 22. CONSULT WITH OWNER FOR ALL ELECTRICAL OUTLETS, SWITCHES, CEILING FANS AND EXTERIOR LIGHTING.
- 23. CONSULT WITH OWNER FOR TYPE OF ARCHITECTURAL STYLE ASPHALT ROOF SHINGLES. 24. ALL FLITCH BEAMS SHALL BE AS PER FLOOR PLANS. PROVIDE (2) 5/8" DIAM. STEEL BOLTS AT TOP AND BOTTOM, 16" O.C. AND STAGGERED OR 'BETTER HEADER' AS PER NUMBER SHOWN. PROVIDE APPROVED
- TYPE SIMPSON GALV. JOISTS HANGERS A EACH SUPPORTING JOISTS, RAFTERS AND GIRDER CONNECTION. 25. UNEXCAVATED AREAS UNDER MASONRY PORCHES AND STEPS SHALL HAVE 4" THICK (MIN.) CONCRETE SLAB WITH #4 REBARS AT 6" O.C. (EACH WAY) OVER COMPACTED SOIL. PROVIDE BRICK PAVERS OVER AT PORCH AND STEPS.
- 26. FURR-OUT CEILINGS AS REQUIRED FOR SHEETROCK TO BE FLUSH WITH STEEL BEAM. 27. THE EXISTING ACCESS TO ATTIC SHALL REMAIN - EX. STAIR TO ATTIC FROM SECOND FLOOR.
- 28. PROVIDE ACCESS TO ATTIC WITH PULL DOWN STAIR (30"x20"), CONSULT WITH OWNER FOR LOCATION. FRAME OPENING AS PER MANUFACTURER SPECIFICATIONS, ACCESS SHALL COMPLY AS PER R807.1. 29. NEW STAIRS FROM FIRST FLOOR SHALL BE AS PER R311 AND AS FOLLOWS, ALL HANDRAILS AND GUARDS SHALL BE 36" HIGH AND CONFORM TO R311 # 312, MAINTAIN 6'-8" (MINIMUM) CLEAR HEADROOM AT ALL STAIRS AS PER R311.52. (VERIFY ALL DIMENSIONS IN THE FIELD)
- 30. ENCLOSED ACCESSIBLE SPACE UNDER STAIR STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH SHEETROCK FINISH. 31. ALL DOOR AND TRIMMED OPENINGS WITHIN BEARING WALLS SHALL HAVE DOUBLE WOOD HEADERS,
- 2-2"x10" MIN, UNLESS OTHERWISE NOTED,
- 32. ALL BEAMS AND BUILT-UP GIRDERS SHOULD BE FLUSH UNLESS OTHERWISE NOTED. 33. CONSULT WITH OWNER FOR EXACT SIZE AND LOCATION OF ATTIC FAN. PROVIDE ELECTRIC OUTLET.
- 34. INSULATE PERIMETER WALLS OF FIRST AND SECOND FLOOR CELLAR STAIRS AND UNDERSIDE OF STAIRS TO BE INSULATED WITH R-15 BATT INSULATION WHERE EXPOSED TO UNFINISHED CELLAR OR ATTIC SPACES
- 35. PROVIDE WINDOW WELLS FOR ANY WINDOWS OR CRAWL SPACE VENT OPENINGS LOCATED AT GRADE. WELLS SHALL EXTEND BELOW GRADE WITH 12 INCH (MIN.) GRAVEL AT BASE.
- 36. WHERE RAFTERS MEET FROM VARING ROOFS, INSTALL NEW WOOD SLEEPER (SEE ROOF PLAN FOR SIZE) AT VALLEY TO PROVIDE ADEQUATE SUPPORT, UNLESS NOTED OTHERWISE, SEE ROOF PLAN, 37. CONSULT WITH OWNER FOR TYPE OF FINISH FLOORING, ALL WOOD BASE, WINDOW, DOOR AND CROWN
- MOLDINGS. 38 WHERE EXISTING EXTERIOR WALLS ARE TO BE CONVERTED INTO INTERIOR WALLS, CAREFULLY REMOVE
- ALL EXISTING SIDING, BUILDING PAPER AND INSTALL N32 5/8" SHEETROCK FINISH, 39, ALL CRAWL SPACES SHALL HAVE A TWO-INCH THICK CONCRETE RAT SLAB OVER A 6 MIL VAPOR BARRIER PROVIDE VENTILATION WITH WELL AS REQUIRED, CONSULT WITH OWNER FOR LOCATION OF
- ACCESS TO CRAWL SPACE, VENTILATION AND ACCESS OPENING SHALL COMPLY AS PER SECTION R408. 40. PRECAST COLUMNS SHALL BE "HB4G", 12" 4 8" DIAMETER (LOAD BEARING), DORIC STYLE COLUMN WITH

- 42. CONSULT WITH OWNER INSTALLATION OF CENTRAL AIR CONDITIONING.
- LEVELING NON-SHRINK GROUT AND 1" AIR SPACE. 44. ALL CONCRETE FOOTINGS AT UNEXCAVATED AREAS SHALL BE STEPPED DOWN AS PER R403.1
- MORTAR, CERAMIC TILE FLOOR FINISH AND WATERPROOF GROUT PITCHED TO FLOOR DRAIN WITH TRAP PRIMER
- HOUR FIRERATED SELF-CLOSING METAL DOOR AND FRAME.
- 48. PROVIDE DAMPROOFING AT NEW FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSED INTERIOR
- NOTIEY FOR ADDITIONAL EXISTING FOUNDATIONS TO BE DAMPROOFED.
- AS REQUIRED.

FOUNDATION NOTES

- CONDITIONS VARY.
- SHOULD VERIFY ALL UTILITY SERVICE CONNECTIONS.
- 3. SEE FOUNDATION PLAN FOR LOCATION OF SHEARWALL HOLDOWNS.
- PER THE REQUIREMENTS OF R403.15.
- UNDISTURBED GROUND SURFACE AS PER 403.1.4.
- PLANS.
- WATER SERVICE AND SANITARY SEWER LOCATIONS.
- PORCH AND STEPS WHERE SHOWN ON DRAWINGS.
- THREE INCHES.
- FOUNDATION WALL.
- FOUNDATIONS MEET.

TUSCAN CAPITAL AND BASE, PROVIDE METAL CONNECTOR (11/4" WIDE x 20 GA, STEEL STRAP) NAILED TO WOOD HEADER AND RUN THROUGH INSIDE OF COLUMN TO WOOD GIRDER SUPPORT AT FLOOR W/ 6-80 COMMON NAILS OR ANCHORED INTO MASONRY FOUNDATION WITH 2 GALVANIZED EXPANSION BOLTS, WRAP OVER TOP OF BEAM AND NAIL W/ 6-8d COMMON NAILS IN EACH END.

41. FIREPLACE CONSTRUCTION, INSULATION AND INSPECTIONS SHALL COMPLY WITH THE PROVISIONS OF THE NEW YORK STATE CONSERVATION AND BUILDING CODES, GAS FIREPLACE UNITS SHALL BE UL RATED WITH DIRECT VENT EXHAUST OR ZERO CLEARANCE METAL FLUE WITH ANTI-DOWN DRAFT CAP AS PER MANUFACTURER SPECIFICATIONS, UNITS SHALL BE ANSI Z21.50 OR ANSI Z21.88 COMPLIANT IN

ACCORDANCE WITH G2434.1/G2435.1/MI8Ø12.5 DIRECT VENT TERMINATIONS OF THE NYS RESIDENTIAL CODE. CONSULT OWNER FOR MODEL NUMBER AND EXACT SIZE AND LOCATION, FIREBLOCK AS REQUIRED.

43. PROVIDE POCKET IN NEW FOUNDATION FOR STEEL BEAM, IF REQUIRED ALONG WITH STEEL PLATE,

(10-PERCENT SLOPE) TO MATCH THE ELEVATION OF THE CELLAR FOUNDATION, ALL EXTERIOR FOOTINGS SHALL BE PLACE AT LEAST 12 INCHES BELOW UNDISTURBED GROUND SURFACES.

46. FIRE RETARD ALL CEILING AND ALL WALLS AT BOILER WITH 5/8" TYPE "X" SHEETROCK. PROVIDE 3/4

47. PROVIDE 5/8" TYPE "X" SHEETROCK AT ALL GARAGE WALL AND CEILING SURFACES \$ 5/8" TYPE "X" SHEETROCK FINISH AT OPPOSITE WALL SURFACE (AT LIVING AREA), CONSTRUCTION SHALL COMPLY WITH SECTIONS R302.5 TRU R302.5.3, R702.3 & R805.1. EXTEND SHEETROCK ALONG FIRERATED WALL ADJACENT TO DWELLING TO UNDERSIDE OF JOISTS IF REQUIRED FOR (1-HOUR RATED ENCLOSURE).

SPACES AND FLOORS BELOW GRADE FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE WITH TROWELED OR SPRAYED-ON POLYMER ENHANCE ASPHALT LIQUID-APPLIED MEMBRANE (OR APPROVED EQUAL) TO COMPLY WITH THE REQUIREMENTS OF R46.1. A RUBBEROID MEMBRANE SHALL BE REQUIRED WHERE SOIL CONDITIONS INDICATE A HIGH WATER TABLE OR OTHER SEVER SOIL-WATER CONDITIONS ARE KNOWN TO EXIST TO COMPLY WITH THE REQUIREMENTS OF R4062 FOR FOUNDATION WATERPROOFING. ARCHITECT IMMEDIATELY SHOULD POOR SOIL CONDITIONS EXIST AND CONSULT WITH OWNER

49. EXTEND EXISTING MASONRY AND FIRE CLAY FLUE TO BOILER OR FURNACE AS SHOWN ON DRAWINGS AND AS PER SECTION RIDO3. PROVIDE CEMENT WASH, COPPER CRICKET, FLASHING AND COUNTER FLASHING

50. NEW GAS FIRED BOILER AND HOT WATER HEATER WITH INSTALLATION AS PER THE MANUFACTURER SPECIFICATIONS AND TO COMPLY WITH THE REQUIREMENTS FOR HEATING AS PER R303.10. MATCH THE EXISTING TRIM AND PROFILES. THE CONTRACTOR SHALL VERIFY ALL SIZES AND SHAPES AT LOCATIONS SHOWN ON DRAWINGS, CONSULT WITH OWNER AND ARCHITECT FOR ANY DISCREPANCIES.

COMPLIANCE TO R405 FOUNDATION DRAINAGE 15 WITH REGARDS TO EXCEPTION: A DRAINAGE SYSTEM 15 NOT REQUIRED WHEN THE FOUNDATION IS INSTALLED ON WELL DRAINED SOIL OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, GROUP I SOILS AS DETAILED IN TABLE R405.1. THE SOIL CONDITIONS SHALL BE OF WELL DRAINED SAND-GRADULAR SOIL COMPOSITION CONSISTENT WITH GROUP I AS PER TABLE 405.1. PLEASE ADVISE ARCHITECT IMMEDIATELY SHOULD

2. SANITARY WASTE, TRAP AND LINES FROM DWELLING TO THE SEWER DISPOSAL SYSTEM, WATER, GAS SERVICES AND ELECTRICAL PANELS ARE SHOWN FOR INFORMATION PURPOSES ONLY. CONTRACTOR

4. THE CONTRACTOR SHALL CAREFULLY INSPECT THE POINT OF CONTACT AT FOUNDATION SUPPORTING COLUMNS FOR CRACKS OR OTHER DEFICIENCIES, AND ADVISE ARCHITECT IMMEDIATELY.

5. THE BOTTOM SURFACE OF STEPPED FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING A 10% SLOPE AS

6. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE PLACED AT LEAST 12 INCHES BELOW THE

1. EXTEND THE TOP OF FOOTING TO AT LEAST 12 INCHES BELOW THE SANITARY WASTE LINE.

9. THE CONTRACTOR SHALL VERIFY WITH THE DEPARTMENT OF PUBLIC WORKS FOR LOCATION OF GAS

10. WHERE TOP OF CELLAR WINDOWS ARE LOCATED BELOW THE TOP OF FOUNDATION WALL, PROVIDE (4) #5 HORIZONTAL REBARS ABOVE THE OPENING, BAR LENGTH SHALL BE 12 INCHES WIDER THAN OPENING.

UNEXCAVATED AREAS UNDER MASONRY PORCHES AND STEPS SHALL HAVE 4" THICK (MIN) CONCRETE SLAB WITH #4 REBARS AT 6" O.C. (EACH WAY) OVER COMPACTED SOIL, PROVIDE PAVERS OVER AT

12. WHERE A SLAB ON GRADE IS SUPPORTED ON BACKFILL, THE FILL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING EIGHT INCHES TO AT LEAST NINETY FIVE PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, FILL MATERIAL SHALL BE LIMITED TO WELL GRADED SAND OR SAND AND GRAVEL MIXTURE WITH LESS THAN TEN TO FIFTEEN PERCENT FINES PASSING THE NO. 200 SIEVE AND A MAXIMUM GRAVEL SIZE OF

PROVIDE #4 HOOKED DOWELS 1'-6" LONG, EMBEDDED 6" INTO EXISTING FOUNDATION WALL AT 12" O.C. (VERT.), SECURE WITH HIGH STRENGTH, NON SHRINK EPOXY GROUT. TYPICAL WHERE NEW AND EXISTING

15, ALL INTERIOR CONCRETE SLABS SITTING ON SOIL SHALL HAVE A 6 MIL VAPOR BARRIER BENEATH.

STAIR NOTES:

RIGERS: THE RIGER HEIGHT SHALL BE NOT MORE THAN 8 (196MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAT &" (9.5MM), RISERS SHALL BE VERTICAL OR SLOPE FROM THE UNDERSIDE OF THE NOSING OF THE TREAD. ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.5 RAD) FROM THE VERTICAL, OPEN RIGERS ARE PERMITTE PROVIDE THAT THE OPENINGS LOCATED MORE THAN 30 INCHES (162 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4" DIAMETER (102MM) SPHERE.

TREADS: THE TREAD DEPTH SHALL BE NOT LESS THAN S (254MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF THE ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9,5MM)

WOOD TO BE PRESSURE TREATED WITHIN

AREAS OF THE NEW WORK THAT IS: -WOOD STRUCTURAL FLOOR CLOSER THAN 18 INCHES AND WOOD GIRDERS CLOSER THAN 12" -ALL WOOD IN DIRECT CONTACT WITH CONCRETE

OR MASONRY.

-ENDS OF WOOD ENTERING CONC. -WALL FRAMING ON EXTERIOR OF THE BUILDING

HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND

-ALL DECKING MATERIAL/COLUMNS

AREAS FAVORABLE TO TERMITE DAMAGE SHALL BE PROTECTED BY CHEMICAL SOIL TREATMENT, NATURALLY TERMITE RESISTANT WOOD, PHYSICAL BARRIERS OR PRESSURE PRESERVATIVELY TREATED WOOD

ALL SMOKE/CARBON MONOXIDE DETECTORS TO MEET THE REGULATIONS STATED IN SECTION R314 OF THE RCNYS 2020

FLEASE TAKE NOTICE THAT THE SYMBOL ILLUSTRATED ABOVE MUST BE AFFIXED TO THE ELECTRIC METER BOX OF A REGIDENTIAL STRUCTURE THAT HAS BEEN CONSTRUCTED, ADDED TO OR REHABILITATED USING TRUGG TYPE, PRE-ENGINEERED 1200 OR TIMBER CONSTRUCTION. THE PROPERTY QUNER SHALL BE RESPONSIBLE FOR MAINTAINING: THE SYMBOL AND SHALL REPLACE THE SYMBOL IF IT IS REMOVED, DAMAGED, FADES OR WORN.

| 1 4 | ALL BEAM AND POST SIZES TO BE VERIFIED W/ ARCHITECT UPON DEMOLITION |
|---------|--|
| D | CONTRACTOR TO VERIFY DIRECTION OF JOISTS PRIOR TO REMOVAL OF WALLS, BRACE AS REQUIRED TO SUPPORT JOISTS BELOW, BEARING WALLS TO BE REMOVED PRIOR TO INSTITUTION OF BEAM SPECIFICATION. |
| Ď | ALL WINDOW AND DOOR HEADER TO BE (2) 2×8 UNLESS OTHERWISE SPECIFIED ON PLANS, |
| = 3" | PROVIDE AT LEAST ONE EXTERIOR LIGHTING OUTLET CONTROLLED BY THE INSIDE WALL SWITCH FOR ALL ENTRANCES, AS PER RCNYS 2020 |
| | SMOKE/CARBON MONOXIDE ALARMS TO BE INSTALLED: - IN EACH SLEEPING ROOM - OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS. - SMOKE ALARM TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL THE INTERVENING DOORS CLOSED. -CO DETECTOR MUST PROVIDE DIFFERENT SOUND THAN SMOKE DETECTOR. |
| | VERIFY THERE IS SUFFICIENT PROTECTION AGAINST DECAY AND TERMITES AS PER 2304.12 OF THE RCNYS 2020 |
| | -ALL EXTERIOR LIGHTING ON PREMISES SHALL BE DIRECTED AWAY FROM ADJOINING RESIDENCES OR PUBLIC RIGHTS OF WAY AND SHALL NOT EXCEED A HEIGHT OF 20 FT ABOVE GRADE OF THE PREMISES. THE LOCATION, CANDLEPOWER AND TYPE OF FIXTURES TO BE INSTALLED SHALL BE FIRST APPROVED BY THE BUILDING OFFICIAL AS PER 10-52.1 |

| "F" | FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS | | | | |
|------|---|--|--|--|--|
| "R" | ROOF FRAMING | | | | |
| 'FR" | FLOOR AND ROOF FRAMING | | | | |

| | NO | | | | | | | |
|---|---|--|--|--|--|--|--|--|
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| | | | | | | | | |
| Nicholas Vissichelli | | | | | | | | |
| 07/29/2024 | | | | | | | | |
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| No errors, of the Pla profession | , omissions, or n Examiner sha nal, applicant, | oversight on the part all release the design and/or owner of the | | | | | | |
| responsib requireme Zoning La | inty to comply ents of the NYS aws of the Tow | With all the -Building-Code, n of North Hempstead, | | | | | | |
| of jurisdic | tions having a | uthority over the work. | | | | | | |
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| # DATE | | DESCRIPTION | | | | | | |
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| 3 07.26.24 | RI | ESUBMISSION | | | | | | |
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| JARE A 25 H WILLIS P: 5 F: 5 Email : Int | JARED MANDEL ARCHITECTS 25 HILLSIDE AVE. WILLISTON PARK - N.Y. P: 516 - 629 - 9060 F: 516 - 750 - 9008 Email : Info@ Mandelarchitects.com | | | | | | | |
| SSTER SSTER * SSTER SSTE | | | | | | | | |
| <u>PRIVATE RESIDENCE</u> 191 EXECUTIVE DRIVE NEW HYDE PARK, NY 11040 | | | | | | | | |
| PAGE CONTENTS: GENERAL NOTES | | | | | | | | |
| APPLICATION #: | | | | | | | | |
| drawn by: R.H | ł. | CHECKED BY: J.M. | | | | | | |
| PROJECT #: 24006 | | SHEET NUMBER | | | | | | |
| DATE: 06.14.2 | 2024 | CN-1 | | | | | | |
| | | | | | | | | |

| | TABLE R3012(1) CLÍMATE AND GEOGRAPHIC DESIGN CRITERIA NASSAU COUNTY | | | | | | | | | SSAU COUNTY | | | |
|------------------------|---|-----|----|-----|-------------------------------|--------------------|-----------------------------------|----------------------|--------------------------|--|------------------|--------------------------|-------------------------------|
| GROUND SNOW LOAD | GROUND WIND DESIGN SEISMIC SNOW SPEED TOPOGRAPHIC SPECIAL WIND BORNE DESIGN LOAD (MPLI) EFFECT WIND PEGION DEBRIG ZONE CATEGORY | | | | SEISMIC DESIGN CATEGORY | SUBJ WEATHERING | ECT TO DAN FROST LINE DEPTH | 1AGE FROM TERMITE | WINTER DESIGN TEMP | ICE BARRIER UNDERLAY- MENT REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMPERATURE |
| 20 psf | 130 | YES | NO | N/A | в | SEVERE | 3 FEET | MODERATE TO HEAVY | 15* | YES | NO | YES | 45* |

16 NYCRR PART 153 - PROTECTION OF

STORM WATER DRAINAGE CALCULATIONS

| DI | D2 | | | | | |
|--|--|--|--|--|--|--|
| RAINFALL: 2.5"=0208 FT | RAINFALL: 25"=0208 FT | | | | | |
| PROP. 2 STORY DWELLING PROP. BALCONIES, DRIVEWAY 2,920 SF. X 208= 60736 CF. | PROP. 2 STORY DWELLING PROP. BALCONY, CELLAR ENTRY 1,124.425 × 208= 233.88 CF. | | | | | |
| | | | | | | |
| TOTAL REQUIRED = 607.36 CF. | TOTAL REQUIRED = 233.88 CF. | | | | | |
| TOTAL REQUIRED = 60736 CF. PROVIDED VOLUME (STORM W, | TOTAL REQUIRED = 233,88 CF. ATER RINGS) | | | | | |
| TOTAL REQUIRED = 60736 CF. PROVIDED VOLUME (STORM W, (1) 10'-0" x 5'-0" \$ (1) 10'-0" X 4'-0" 1 x342,05 CF. + 1 x273,64 CF. | TOTAL REQUIRED = 233.88 CF. ATER RINGS) (1) 8'- 0 " x 5'- 0 " 4 (1) 8'- 0 " x 1'- 0 " 1 x211.10 CF. + 1 x42.22 C.F. | | | | | |
| TOTAL REQUIRED = 60736 CF. PROVIDED VOLUME (STORM W. (1) 10'-0" x 5'-0" \$ (1) 10'-0" X 4'-0" 1 x342.05 CF. + 1 x273.64 CF. =615.69 CF. | TOTAL REQUIRED = 233.88 CF. ATER RINGS) (1) 8'-0" x 5'-0" 4 (1) 8'-0" x 1'-0" 1 x211.10 CF. + 1 x42.22 CF. =253.32 CF. | | | | | |
| TOTAL REQUIRED = 607.36 CF. PROVIDED VOLUME (STORM W, (1) 10'-0" x 5'-0" 4 (1) 10'-0" x 4'-0" 1 x342.05 CF. + 1 x273.64 CF. =615.69 CF. TYP. PLAN SPECIFICATION | TOTAL REQUIRED = 233.88 CF. ATER RINGS) (1) 8'-0" x 5'-0" 4 (1) 8'-0" x 1'-0" 1 x211.10 CF. + 1 x42.22 CF. =253.32 CF. | | | | | |

GENERAL NOTE #

GENERAL NOTE #2

GENERAL NOTE #3

GENERAL NOTE #4

GENERAL NOTE #5

WALL LEGEND

A A A A A

SD/CM

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NOTES

DISAPPROVED

Nicholas Vissichelli

07/29/2024

No errors, omissions, or oversight on the part

| DISAPPROVED | | | | | | | | | |
|--|--|--|--|--|--|--|--|--|--|
| Nicholas Vissichelli 07/29/2024 | | | | | | | | | |
| No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards | | | | | | | | | |
| RRP74-000607 | | | | | | | | | |
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| <u>SUBMISSIONS</u> | | | | | | | | | |
| #DATEDESCRIPTION106.20.24INITIAL SUBMISSION207.17.24RESUBMISSION307.26.24RESUBMISSION | | | | | | | | | |
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| JOV/JU JARED MANDEL ARCHITECTS 25 HILLSIDE AVE. VILLISTON PARK - N.Y. P: 516 - 629 - 9060 F: 516 - 750 - 9008 Email : Info@ Mandelarchitects.com | | | | | | | | | |
| ARCHING ARCHING ANDER | | | | | | | | | |
| <u>PRIVATE RESIDENCE</u> 191 EXECUTIVE DRIVE NEW HYDE PARK, NY 11040 | | | | | | | | | |
| PAGE CONTENTS: PROPOSED FLOOR PLANS | | | | | | | | | |
| APPLICATION #: DRAWN BY: R.H. CHECKED BY: J.M. | | | | | | | | | |
| PROJECT #: 24006 SHEET NUMBER DATE: 06.14.2024 SCALE: AS NOTED | | | | | | | | | |

GENERAL NOTE #1

MIN, 34"-38" HT, CONTINUOUS HANDRAIL FOR ALL BALCONIES & ENTIRE LENGTH OF STAIRS, GUARDS REQ'D ON OPEN SIDES OF STAIR WHICH DO NOT ALLOW THE PASSAGE OF A SPHERE OF 4" OR MORE IN DIAMETER AS PER RONYS 2020 (TYPICAL)

ALL NEW WINDOWS SPECIFIED ARE ANDERSEN 400

GENERAL NOTE #2

SERIES. ANY CHANGES IN SPECIFICATIONS OR MANUFACTURER, CONTRACTOR TO REVIEW AND SPECIFY COMPARABLE PRODUCT W/ OWNER

GENERAL NOTE #3

24" x 36" FULL DOWN ATTIC STAIR INSULATE AND SEAL

ALL PENETRATIONS AS REQ.

GENERAL NOTE #4

ALL PROPOSED EXTERIOR WALLS TO BE 2×6

UNLESS OTHERWISE SPECIFIED.

GENERAL NOTE #5

EXTERIOR DIMENSIONS ARE PROVIDED TO FRAMING.

WALL LEGEND

| PORTION OF EXISTING WALL TO REMAIN |
|---|
| NEW 2"x4" STUD WALL @ 16" O.C. W/ 5/8" GTP. BD. (UON) |
| NEW 2"X6" INT. STUD WALL @ 16" O.C. W/ 5/8" GYP. BD. |
| NEW 2"x6" EXT. STUD WALL 16" O.C. W/ 5/8" GYP. BD. (UON) W/ R-21 INSULATION |
| 2"X BEARING WALL |
| NEW 12" P.C. FDN. WALL ON A 24"x12" DEEP FTG. (SIZES VARY AS PER PLAN |
| |

 \bigcirc

SMOKE DETECTOR/CARBON MONOXIDE SD/CM DETECTOR AS PER R314, R315

EX. AVG. GRADE

PROPOSED RIGHT ELEVATION

-NEW 36" HT. RAILING TO BE SELECTED BY HOMEOWNER

| <u> </u> | | | |
|------------------|---|---|--|
| 8'-2" | TYP. NEW ROOF CONSTRUCTION REFER TO BUILDING SECTION FOR FURTHER NOTES | | |
| ē | V ELEV. 180.68 | | |
| 7 | | | |
| | AZEK TRIM (TYP. AROUND ALL WINS & DOORS AS PER ELEVATIONS) | | |
| -0 -⊢ | TYP. NEW EXT. WALL CONSTRUCTION SIDING MATERIAL TO BE SELECTED BY HOMEOWNER REFER TO BUILDING SECTION FOR FURTHER NOTES | | |
| | T.O. 1ST FLR. SUBFLR ELEV. 17168 | - | |
| <u>ه</u> - 1- | | | |
| | ELEV. 16860 | | |
| "@-'⊢ | | | |
| ā | $\Phi_{\text{ELEV. 16160}}$ | | |
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| | T ELEY. 193.00 | | |

BUILDING SECTION NOTES:

- 1. **REGARDLESS OF ROOF PITCH OR DIMENSIONS SHOWN, THE ACTUAL HEIGHT OF THE HIGHEST ROOF RIDGE AND OR ROOF SHALL NOT EXCEED THE MAXIMUM ALLOWABLE HEIGHT AS ESTABLISHED BY THE TOWN OF NORTH HEMPSTEAD, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES TO MAXIMUM HEIGHT EXISTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD MEASUREMENTS REGARDING THESE HEIGHTS,**
- 2. ALL EXTERIOR WOOD FRAME WALL AND INTERIOR BEARING WALLS SHALL HAVE (2"THICK) SOLID WOOD BLOCKING AT INTERMEDIATE WALL HEIGHT AS PER SHEARWALL DETAIL ON FRAMING DETAIL SHEET FOR SHEARWALL DIAGRAM.
- 3. THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS REGARDING NEW YORK STATE CODE COMPLIANCE, GENERAL NOTES & REQUIREMENTS, FRAMING DETAILS AND NAILING REQUIREMENTS AND SHALL BE RESPONSIBLE FOR ALL METAL CONNECTOR REQUIREMENTS.
- 4. ALL LUMBER SHALL BE 'DOUGLAS FIR' NO . 2 GRADE OR BETTER WITH A MINIMUM FIBER BENDING STRESS FO OF 1,100 PSI SINGULAR ABD 1,400 PSI REPETITIVE WITH MODULUS OF ELASTICITY E = 1,600,000.
- 5. ALL METAL CONNECTORS SHALL BE 'SIMPSON STRONG TIE' AS PER NUMBERS SHOWN ON DRAWING AND DETAILS AND SHALL BE 'HDG - HOT DIPPED GALVANIZED'.
- 6. ALL CONNECTORS, FASTENERS, NAILS, BOLTS AND ANCHORS SHALL BE APPROVED BY THE MANUFACTURER FOR USE WITH THE 'ACQ' TREATED LUMBER. ' SIMPSON
- STRONG TIE', "Z-MAX" OR EQUAL. 1. NEW ROOF SHINGLES SHALL BE RATED TO WITHSTAND 120 MPH WIND LOADS.
- 8. PROVIDE METAL CONNECTOR AT WINDOW AD DOOR HEADER, NO HHG OR EQUAL. SEE FRAMING DETAILS.
- 9. TOP PLATE MINIMUM SPLICE DIMENSION TO CONFORM AS PER SCHEDULE ON FRAMING DETAILS SHEET.
 10. SEE PLANS FOR LOCATION OF ANY SHEAR WALL CORNER
- HOLD DOWNS. 11. SEE GENERAL NOTES FOR ALL OTHER CONSTRUCTION
- REQUIREMENTS. 12. PROVIDE EXTERIOR LIGHT FIXTURES AT EACH EXTERIOR ENTRANCE DOOR 46 PER E3903 3
- ENTRANCE DOOR AS PER E3903.3. 13. PROVIDE MECHANICAL VENTILATION IN EACH
- BATHROOM & POWDER ROOM AS PER R303.3.
- PROVIDE VALLEY FLASHING AT ALL ROOF VALLEYS AS PER R9032.
 DRYER SHALL BE VENTED TO THE EXTERIOR AS PER
- MISO2. 16. GROUND FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER (GE) DECEDIACIES SHALL BE DECUIDED IN A
- (GFI) RECEPTACLES SHALL BE REQUIRED IN A BATHROOM, TOILETS AND ALL OTHER WET LOCATIONS INCLUDING BUT NOT LIMITED TO THE GARAGE AND FRONT AND REAR OF DWELLING AS PER E3902.
- CORNER SHEAR WALL TIE DOWNS AT EACH CORNER (SEE FLOOR PLANS FOR LOCATIONS) HDU8-SDS25 (ALLOWABLE LOAD = 7,870 LBS, EACH, SEE PLANS FOR CATALOG NO, AND ALLOWABLE LOAD CAPACITY,
- SHEAR WALL BETWEEN DOOR & WINDOW AND WINDOW
 CORNER (INTERIOR SEGMENTED SHEAR WALL).
 FIELD BUILT SHEARWALL USING 8D COMMON NAILS, 16"
- O.C. STUDS

BARROCA NEW HOUSE **GENERAL NOTES**

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE, THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, ANSI/AF&PA WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND 2 FAMILY DWELLINGS-1995 HIGH WIND EDITION THE LOCAL BUILDING CODE AND ALL AGENCIES HAVING JURISDICTION 1A. THE DESIGN LOAD CALCULATIONS ARE TAKEN FROM "MINIMUM DESIGN LOADS

FOR BUILDINGS AND OTHER STRUCTURES BY THE AMERICAN SOCIETY OF CIVIL

ENGINEERS" AND ARE AS FOLLOWS: FIRST FLOOR 40 LBS. LL., + 10 LBS. DL. = 50 LBS / S.F. TOTAL LOAD SECOND FLOOR 30 LBS. LL., + 10 LBS. DL. = 40 LBS / S.F. TOTAL LOAD

ATTIC (UNINHAB'E) 20 LBS. LL., + 10 LBS. DL. = 30 LBS / S.F. TOTAL LOAD ROOF 45 LBS. LL., + 20 LBS. DL. = 65 LBS / S.F. TOTAL LOAD 2. CONFORM WITH RCNYS, CHAPTER 3, SECTION 3301, DESIGN CRITERIA AS FOLLOWS

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DEGICAL CRITERIA

| CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA | | | | | | | | | |
|---|-------------|----------------------|-------------|------------------------|----------|----------------------|-----------------|--------------------------|------------|
| GROUND | WIND | SEISMIC | e | SUBJECT TO DAMAGE FROM | | SUBJECT TO DAMAGE FR | | | ICE SHIELD |
| SNOW LOAD | SPEED (MPH) | DESIGN CATEGORY'S | WHEATHERING | FROST LINE DEPTH | TERMITE | DECAY | DESIGN TEMP, | UNDERLAYMENT REQUIRED | |
| 45 PSI | 110 | c | SEVERE | 3FT. | MOD./HVY | SL/MOD. | II DEG. | REQUIRED | |
| | | | | | | | | | |

3. CONFORM WITH RCNYS CHAPTER 3, SECTION R303, LIGHT, VENTILATION AND HEATING. 4. CONFORM WITH RCNYS CHAPTER 3, SECTION R310, EMERGENCY ESCAPE AND RESCUE OPENINGS. 5. CONFORM WITH RCNYS CHAPTER 3, SECTION R317, SMOKE ALARMS AND AUTOMATIC SPRINKLER SYSTEMS. 6. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND MEASUREMENTS IN THE FIELD AND LAYING OUT ALL WORK PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK. IN NO CASE SHALL SUCH INSTANCES CONSTITUTE THE BASIS FOR EXTRA CHARGES OF COMPENSATION. DO NOT SCALE DRAWINGS. USE DIMENSIONAL NOTATIONS ONLY.

7. THE ARCHTIECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE WORK OF THE GENERAL CONTRACTORS NOR ANY OTHER SUBCONTRACTORS, NOR SHALL BE GUARANTEED THE PERFORMANCE OF THEIR CONTRACT.

8. THE ARCHITECT SHALL ASSIST THE OWNER IN OBTAINING ALLL APPROVALS AND PERMITS AND THE OWNER SHALL PAY ALL FEES TO GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK. 9. ALL WORK SPECIFIED HEREIN SHALL INCLUDE MATERIAL, LABOR, AND INSTALATION. ALL WORKMANSHIP SHALL BE FIRST QUALITY SUBJECT TO THE ARCHITECTS AND OWNERS APPROVAL. THE ARCHITECT RESERVES THE RIGHT TO CLARIFY THE WORK IF NECESSARY BY ADDITIONAL DETAILED DRAWINGS OR WRITTEN DESCRIPTION.

10. COOPERATION: THE GENERLA CONTRACTOR AND ALL OTHER CONTRACTORS SHALL COORDINATE WITH ALL ADJACANT WORK AND COOPERATE WITH ALL OTHER TRADES AS TO FACILITATE PROCESS OF THE WORK, EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY RESONABLE OPPORTUNITY FOR THE INSTALLATIONOF THEIR WORK AND STORAGE OF THEIR MATERIALS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER COORDINATION OF THE WORK.

11. TEMPORARY LIGHT, HEAT AND POWER: THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN AND PAY FOR ALL TEMPORARY UTILITIES THAT MAY BE NEEDED FOR HIS WORK. IF THE OWNER ALLOWS THE CONTRACTOR TO USE THE EXISTING FACILITIES, THE CONTRACTOR SHALL REIMBURSE THE OWNER FOR SUCH USE.

12. MEASUREMENTS: BEFORE ORDERING ANY MATERIALS, OR DOING ANY WORK, THE CONTACTOR SHALL VERIFY AT THE PROJECT AREA ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED IN THE DRAWINGS. ANY DIFFRENCES FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS CONSIDERATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. 13. SITE MAINTENANCE AND CLEANING: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE JOB SITE IN A CLEAN ORDERLY MANNER. ALL DEBRIS AND RUBBISH SHALL BE REMOVED FROM THE BUILDING AS RAPIDLY AS IT ACCUMULATES. CONTRACTOR SHALL PROVIDE PROPER TRASH RECEPTACLES FOR FOOD AND OTHER RUBISH. NO FOOD WASTE ON THE FLOORS OF THE JOB SITE WILL BE TOLERATED. THE WORK AREA SHALL BE

KEPT TIDY AT ALL TIMES. 14. PROTECTION: THE CONTRACTOR SHALL PROTECT THE OWNER AND ADJACENT PROPERTIES FROM INJURIES AND DAMAGE. ANY DAMAGE DONE DURING CONSTRUCTION DUE TO NEGLIGENCE OF THE CONTRACTOR OR HIS SUBS SHALL BE CORRECTED WITHOUT DELAY OR EXPENSES TO THE OWNER. TEMPORARY SHORING/BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

A. FOUNDATIONS

1. ALL FOUNDATIONS TO CONFORM WITH RCNYS CHAPTER 4, FOUNDATIONS, U.O.N.

2. FOOTINGS SHALL BEAR ON ACCEPTABLE UNDISTURBEDSOIL WITH A MINIMUM BEARING CAPACITY OF TWO TONS PER SQUARE FOOT(VERIFY IN FIELD) AND SHALL EXTEND 3'-0" MIN. BELOW FINISHED GRADE. 3. FILL MATERIAL TO BE ACCEPTABLE SAND, GRAVEL ORCOMBINATION OF BOTH WHICH MAY CONTAIN SMALL AMOUNTS OF OF STONES OR PEBBLES OVER ONE INCH IN LARGEST DIMENSION. BUT NONE OVER TWO INCHES, BUT

DOES NOT CONTAIN CLAY, LOAM, ORGANIC MATERIAL, DEBRIS AND FROZEN MATERIAL. 4. SOIL COMPACTION AND DENSITIES SHALL COMPLY WITH THE

REQUIREMENTS OF ASTMD1557, METHOD C, COMPACT UNDER SLABS, FOUNDATIONS, AND FOOTINGS AT ONE HUNDRED PERCENT OF MAXIMUM

DENSITY. COMPACT BACKFILL AT WALLS, EMBANKMENTS, AND UNDER PAVBED AREAS AT MIMETY PERCENT OF MAXIMUM DENSITY.

5.ANCHOR ALL SOLE PLATES AT EXTERIOR WALLS TO FOUNDATIONS WITH 5/8" DIAM. BOLTS, EMBEDDED A MINIMUM OF 1'-6" INTO FOUNDATION WALLS. LOCATE BOLTS WITHIN 1'-0" FROM ENDS AND 3'-0" ON CENTER.

6. SLOPE ALL FINAL GRADES AWAY FROM FOUNDATION WALLS IN ACCORDANCE WITH SECTION R401.3.

7.ALL FOOTINGS AND FOUNDATION TO BE REINFORCED CONCRETE DESIGNED IN ACCORDANCE WITH SECTION R403/FOOTINGS AND SECTION R404/FOUNDATION WALLS. 8. ALL FOUNDATION TO BE DAMPROOFED WITH ACRYLIC MODIFIED CEMENT, 3LBS. PER SQ YD, FROM T.O. FOOTING TO 8" MIN. ABOVE FINISHED GRADE - "THOROSEAL" OR EQUAL.

B. REINFORCED CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO RCNYS CHAPTER 4, SECTION R404 AND APPLICABLE RECOMMENDATIONS OF THE AMERICAN CONCRETE INSTITUTE(ACI). 2. ALL CONCRETE SHALL BE STONE CONCRETE(3/4" COARSE AGGREGATE) HAVING A MINIMUM STRENGTH OF 3500 PSI AT TWENTY-EIGHT DAYS.

3. REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM 615 FOR GARDE 60, BE CONTINUOS AND HAVE MINIMUM LAPS OF 40 DAIMETERS. PROVIDE VERTICAL REINFORCEMENT OF #5 RODS AT 40" OC.

4. WELDED WIRE FABRIC (WWF) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A185. FLAT SHEETS ONLY. 5. CONCRETE IN FOUNDATIONS AND SLABS EXPOSED TO WEATHER AFTER

COMPLETION OF THE PROJECTSHALL CONTAIN 5% (+/- 1%) BY VOLUME OF ENTRAINED AIR AS PER ASTM C231.

6. SLUMP SHALL BE FOUR INCHES AND ALL CONCRETE SHALL BE CONSOLIDATED BY ADAQUATE VIBRATORS.

7.KEEP CONCRETE SURFACES NOT COVERED BY FORMS, PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN SEVEN DAYS. 8. SLABS ON GRADE SHALL BE PLACED IN SECTIONS NOT EXCEEDING NINE HUNDRED SQUARE FEET WITH THIRTY FOOT MAXIMUM SIDE LENGTH. ALL CONCRETE SLABS SHALL AHEV STEEL TROWELLED FINISH UNLESS OTHERWISE NOTED, AND SHALL BE REINFORCED WITH 6X6 - 10/10 WWF.

9. NEW FORMS SHALL BE USED FOR ALL FOOTINGS.

1 2

RESIDENCE

C. TIMBER FRAMING

ALL STRUCTURAL LUMBER SHALL BE STRESS GRADED DOUGLAS FIR-LARCH NO. 1 HAVING MINIMUM FIBER BENDING STRESS OF 1200 PSI. 2. ALL STRUCTURAL LUMBER, PLYWOOD, SHEATHING, ENGINEERED LUMBER, ETC. SHALL BEAR VISIBLE GRADE STAMPING. 3. ENGINEERED LUMBER TO BE IN SIZES INDICATED AND INSTALLED AS PER TRUS-JOIST MACMILLAN, "TJI PRO SERIES". ENGINEERED BEAMS TO BE BY TRUS-JOIST MACMILLAN, "PARALLAM" OR "MICROLLAM 2.0E". 4. PROVIDE SOLID BLOCKING FROM TOP OF GIRDER/BEAM OR FOUNDATION WALL TO UNDERSIDE OF FLOOR ATR ALL LOAD BEARING COLUMNS. WOOD COLUMNS AT EXTERIOR LOCATIONS TO BE CCA PRESSURE TREATED. 5. ALL FLOOR CONSTRUCT5ION TO CONFORM WITH ANSI/AF&PA WFCM-1995

CHAPTER 3.3 FLOOR SYSTEMS, U.O.N., AS FOLLOWS: A. FLOOR JOIST SPANS NOT TO EXCEED THOSE AS LISTED IN TABLES 3.18 A-B FOR SPECIES AND GRADE OF LUMBER INDICATED. B. ALL FLOORS TO BE DESIGNED FOR MINIMUM 40 PSF LIVE LOAD AND

- 20 PSF DEAD LOAD. C. PROVIDE MINIMUM BEARING OF 3", UON, AT ENDS OF ALL JOISTS. BEAMS AND GIRDERS; PROVIDE DOUBLE JOISTS UNDER ALL PARELLEL
- D. LAP JOISTS OVER A BEARING SUPPORT AN MINIMUM OF 3", NAILED TOGETHER WITH THREE 10d FACE NAILS MIN. JOIST FRAMING INTO THE SIDE OF A WOOD GIRDER SHALL BE SUPPORTED BY A SPECIFIED FRAMING ANCHOR. TOENAILING SHOULD NOT BE PERMITTED.
- E. NOTCHES IN THE TOP AND BOTTOM EDGESSHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE JOIST SPAN. OUTER THIRDS OF THE SPAN SHALL NOT EXCEED 1/6 OF JOIST DEPTH, NOR LONGER THAN 1/3 OF JOIST DEPTH. DO NOT EXCEED 1/4 JOIST DEPTH AT NOTCHESMADE AT SUPPORTS, LIMIT OR BOTTOM EDGE, OR CLOSER THAN 2" TO ANY NOTCH.
- NAILED WITH 8d COMMON NAILS, OR 10d BOX NAILS, FROM EDGE AND 12" IN FIELD O.C. PARTICLE OR OSB BOARD SHALL NOT BE ALLOWED. 6. PROVIDE DRAFTSTOPPING AS PER RCNYS CHAPTER 5, SECTION R502.12.
- 8. ALL WALL CONST4RUCTION TO CONFIRM WITH ANSI/AF&PA WFCM-1995 CHAPTER 3.4 WALL SYSTEMS, U.O.N., AS FOLLOWS: A. STUD SPACING TO BE 16" OC, U.O.N. B. ALL EXTERIOR WALL SHEATHING TO BE 5/8" CDX PLYWOOD PANE:S.
- 12" IN FIELD O.C. PARTICLE OR OSB BOARD SHALL NOT BE ALLOWED. C. NOTCHES IN EITHER EDGE OF STUD SHLL NOT BE LOCATED IN THE 40% OF STUD DEPTH. EDGE OF HOLES SHALL NOT BE CLOSER THAN 5/8"
- D. IF TOP PLATES ARE NOTCHED OR DRILLED B Y MORE THAN50% OF ITS WIDTH, PROVIDE A 16 GA., 1 1/2" WIDE GALV. METAL TIE, FASTENED TO EACH PLATE WITH NOT LESS THAN (8) 16d NAILS AT EA. SIDE.
- E. ALL PLATES IN CONTACT WITH CONCRETE TO BE CCA PRESSURE TREATED AND HAVE CONTINUOUS ALUM. TERMITE SHIELD. F.ALL EXTERIOR CORNERS SHALL BE MIN. 3 STUDS. ALL EXTERIOR CORNERS
- ACCORDANCE WITH SECTION 3.4.4.2.3 HOLDOWNS, AND AS DETAILED. 9. WALLS TO BE BRACED IN ACCORDANCE WITH RCNYS CHAPTER 6, SECTION R602.10/ WALL BRACING. PROVIDE FIRE STOPPING AS PER RCNYS CHAPTER 6, SECTION R602.8.
- 11. ALL ROOF CONSTRUCTION TO CONFORM WITH ANSI/AF&PA WFCM-1995 CHAPTER 3.5 ROOF SYSTEMS, U.O.N., AS FOLLOWS: A.RAFTER SPANS NOT TO EXCEED THOSE AS LISTED ION TABLES 3.26 A-H FOR SPECIES AND GRADE OF LUMBER INDICATED.
- B. ROOF CONSTRUCTIONTO BE DESIGNED FOR A MINIMUM OF 30 PSF LIVE LOAD AND 20 PSF DEAD LOAD.
- C. CEILING CONSTRUCTION TO BE DESIGNED FOR A MIN. 20 PSFLIVE LOAD AND 20 PSF DEAD LOAD.
- D. RAFTERS AND CEILING JOISTS SHALL BE PROVIDED FOR LATERAL SUPPORT SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAG. BRIDGING, OR CONTINUOS 2X4 WOOD STRIP NAILED ACROSS THE RAFTERS OR
- CEILING JOISTS AT 6'-0" MAX., AND AS PER TABLE 3.1. E. NOTCHES IN THE TOP AND BOTTOM EDGES SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE RAFTER SPAN. OUTER THIRDS OF THE SPAN SHALL NOTCHES MADE AT SUPPORTS. LIMIT BORED HOLE DIAMETER. TO 1/3 RAFTER DEPTH.
- NO CLOSER THAN 2" TO THE TOP OR BOTTOM EDGE, OR CLOSER THAN 2" TO ANY NOTCH. F. CEILING RAFTERS SHALL BE PLACED DIRECTLY OPPOSITE EACH OTHER AT ALL

PARTITIONS; PROVIDE SOLID BRIDGING, STAGGERED AT 6'-0" OC. MAX.

BORED HOLE DIAMETER. TO 1/3 JOIST DEPTH, NO CLOSER THAN 2" TO THE TOP F. ALL SUBFLOOR SHEATHING TO BE 3/4" CDX T&G PLYWOOD, GLUED AND

7. PROVIDE FIRE STOPPING AS PER RCNYS CHAPTER 5, SECTION R502.13.

NAILED WITH 8d COMMON NAILS OR 10d BOX NAILS 6" FROM EDGE AND MIDDLE 1/3OF STUD LENGTH. NOTCHES IN OUTER THIRDS OF STUD LENGTH SHALL NOT EXCEED 25% OF STUD DEPTH. BORED HOLES SHALL NOT EXCEED TO STUD EDGE. NOTCHES/HOLES SHALL NOT OCCUR IN SAME CROSS SECTION.

AND INTERSECTIONS SHOULD HAVE HOLDDOWN CONNECTIONS INSTALLED IN

AT BEARING POINTS TO PREVENT ROTATION, RAFTERS AND CEILING JOISTS

NOT EXCEED 1/6 OF RAFTER DEPTH, DO NOT EXCEED 1/4 RAFTER DEPTH AT

RIDGE BOARDS. CEILING JOISTS/RAFTER TIES SHALL FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WITH CONNECTIONS IN ACCORDANCE WITH TABLES 3.9. G. ALL EXTERIOR ROOF SHEATHING TO BE 3/4" CDX PLYWOOD PANELS. NAILED WITH 8d COMMON NAILS OR 10d BOX NAILS AT 6" FROM THE EDGE AND 12" IN FIELD O.C. 4" O.C. AT RAKES AND OVERHANGS. PARTICLE BOARD OR OSB NOT PERMITTED. H. PROVIDE RAFTER TIES/HURRICANE CLIPS AS MANUFACTURED BY SIMPSON AT ALL RAFTER BEARING LOCATIONS IN SIZES INDICATED. INSTALL

AS PER MANUFACTURERS INSTRUCTIONS. 12. ALL CONNECTIONS TO CONFORM WITH ANSI/AF&PA WFCM-1995 CHAPTER 3.2 -CONNECTIONS. ALL NAILS, SINKERS, SCREWS, STAPLES, ETC. USED IN EXTERIOR TO BE AS SCHEDULED FROM TABLE 3.1/NAILING SCHEDULE. SEE SHEET T-2 FOR SCHEDULE.

D. ROOFING

1. ALL ROOF ASSEMBLIES TO CONFORM WITH RCNYS CHAPTER 9/ROOF AND ANSI/AF&PA WFCM-1995 3.5 ROOF SYSTEMS AS FOLLOWS:

- A. PROVIDE CONCEALED ALUM. FLASHINGS AT ALL WALL AND ROOF INTERECTIONS, CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS-NO. 26 GALV SHEETS.
- B. ROOF DECK UNDERLAYMENT SHALL COMPLY WITH ASTM D 1970, AS MANUFACTURED BY GAF, "SHINGLE-MATE". ICE PROTECTION SHALL BE AS MANUFACTURED BY GAF, "WEATHERWATCH/STORM GUARD LEAK BARRIER".
- EXTEND MIN. 24" AT ALL RAKES, EAVES, VALLEYS, CHIMNEYS. C. ASPHALT SHINGLES TO BE ATTACHED WITH A MINIMUM OF SIX FASTENERS PER SHINGLE WITH GALVANIZED STEEL, STAINLESS STEEL, OR COPPER NAILS,
- THROUGH SHINGLE AND MIN. 3/4" INTO ROOF SHEATHING. MIN. 12 GUAGE SHANK WITH A MIN. 3/8" DIA. HEAD, ASTM F 1667, TO PENETRATE THROUGH SHINGLE AND MIN. 1/2" INTO ROOF SHEATHING. D. ASPHALT SHINGLES TO BE CLASS A. AND COMPLY WITH ASTM D 225 OR
- ASTM 3462 AS MANUFACTURED BY GAF, "TIMBERLINE ULTRA". COLOR AS SELECTED BY OWNER. INSTALL GAF "TIMBERTEX" RIDGE CAP SHINGLES AT ALL RIDGES. E.INSTALL NEW CONTINUOUS RIDGE VENT AT NEW AND EXISTING RIDGES AS
- MANUFACTURED BY MID-AMERICA, "RIDGEMASTER PLUS". INSTALL WITH CONTINUOSSCREENED SOFFIT VENT AT NEW AND EXISTING SOFFITS.
- F. INSTALL NEW GUTTERS AND LEADERS; ALUM. WITH BAKED ENAMEL FINISH. COLOR AS SELECTED BY OWNER. TIE INTO EXISTING DRYWALLS.

E. WINDOWS AND DOORS

1. ALL DOORS AND WINDOWS TO CONFORM WITH RCNYS CHAPTER 3- BUILDING PLANNING, SECTION R308 GLAZING, R310 EMERGENCY ESCAPES AND RESCUE OPENINGS AND R311 EXITS. 2. ALL DOORS AND WINDOWS TO HAVE UPGRADE OPTION TO CONFORM WITH DESIGN

PRESSURE OF DP-50. 3.ALL DOORS AND WINDOWS TO HAVE IMPACT GLAZING CONFORMING WITH ASTME 1996, "C" MISSILE TEST. VERIFY WITH ARCHITECT PRIOR TO ORDERING. 4. PROVIDE AND INSTALL ALL HARDWARE AS SELECTED BY OWNER.

ALL DOORS AND WINDOWS IN COLOR AS SELECTED BY OWNER.

F. ELECTRIC

1. ADDITIONS OR ALTERATION TO EXISTING ELECTRICAL SYSTEMS SHALL CONFORM WITH RCNYS PART VIII - ELECTRICAL, NFPA 70 AND N.E.C. AS WELL AS THE LOCAL UTILITY COMPANY.

2. ALL WIRING SHALL BE #12 AND #14 COPPER, AS REQUIRED. NO ALUMINUM WIRING WILL BE PERMITTED

3. PROVIDE AND INSTALL ALL LIGHTING FIXTURES, FANS, APPLIANCES AS SELECTED BY OWNER. 4. CONVENIENCE DUPLEX RECEPTACLES SHALL BE 15 AMP, 125 VOLT, 2 POLE

3 WIRE GROUNDING TYPE. PROVIDE GROUND FAULT RECEPTACLES AT ALL WET LOCATIONS AND WHERE REQUIRED. PROVIDE DEDICATED 20 AMP CIRCUITS AT ALL APPLIANCES WHERE NECESSARY.

TABLE

NOTES 1. NAILING REQUIREMENT AT THE PANEL EDGE TO

OR ALTERNATE CONNEG 2. WHEN WALL SHEATHING REDUCED TO 1 - 16d PER 3. THE FOLLOWING CONNE TABLE R602.3(1) FASTEN A. 1/2" GYPSUM BOARD: 4" OC FROM EDGE, 8" B. 5/8" GYPSUM BOARD: 4" OC FROM EDGE, 8" 4. WHERE CONNECTIONS / CONNECTIONS TO BE M

ALLOWABLE DEFLECTION

| 401601 | | Erosier Manage in comp 202.2 of | Control & Stormwater ment. Plans shall be liance with Sec. 70. The Town Code | | |
|--|--|---|--|--------------------|---|
| # 21031 | DRYWELL I REQUII | PERMIT RED | | | AUN |
| TABLE 3.1 NAILING SCH | IEDULE | (1995 SBC HIGH WIND ED PPIN | G REQUIREMENT | Z | ENLA |
| JOINT DESCRIPTION | | NAIL SPACING | ed walls and preventing al capable of preventing a bot passes when subj | | - 🗓 တ |
| RO | | passage of flames an passage of flames an to the requirements | of the Test Standard St | | ু ন্ট ৩ |
| RAFTER TO TOP PLATE, TOE NAILED | 3 - 8d | PER RAFTER | -E-0 14. | $\tilde{0}$ | 1 1 2 4 4 4 1 2 4 4 1 2 4 1 2 4 1 2 4 1 2 1 2 |
| CEILING JOIST TO TOP PLATE, TOE NAILED | 3 - 8d | PER JOIST | | Ψ- | - Ă Ħ |
| CEILING JOISTS TO PARALLEL RAFTER, FACE NAILED | 6- 16d | EACH LAP | | तू न | |
| CEILING JOIST LAPS OVER PARTITIONS, FACE NAILED | 6- 16d | EACH LAP | | 50 |) Ö ű |
| COLLAR TIE TO RAFTER | 5 - 10d | PER TIE | | $\frac{\alpha}{2}$ | |
| BLOCKING TO RAFTER, TOE NAILED | 2 - 8d | EACH END | | ± ⊲ | (<mark>4</mark> |
| RIM BOARD TO RAFTER, END NAILED | 2- 16d | EACH END | | 0 | 4 |
| | | | | | |
| TOP PLATES AT INTERSECTIONS FACE MAILED | Δ - 16d | | | | |
| STUD TO STUD. FACE NAILED | 2 - 16d | 24" OC | NIK SAFTEY FENCE | | |
| HEADER TO HEADER. FACE NAILED | 16d | 16" OC ALONG EDGES | HAIN LINED TO BE TOF | | |
| TOP OR BOTTOM PLATE TO STUD. END NAILED | 16d | 1 PER STUD TO PLATE | DNSTRUCTION. | | |
| BOTTOM PLATE TO FLOOR JOIST, BAND RIM JOIST OR | 2 - 16d (SEE NOTE 1 2) | | - | | |
| | | | TECTING ALA | RM | |
| | | | L SMOKE DETED SEC. R3 CONFORMING TO SEC. R3 | 1/14/0 | , , |
| BRIDGING AND/OR BLOCKING TO JOIST TOF NAILED | 4 - 80 2 - 8d | | | | Ż |
| BLOCKING TO SILL OR TOP PLATE, TOP NAILED | 3 - 16d | EACH BLOCK | | 4 | Щ о́ |
| LEDGFER STRIP TO BEAM, FACE NAILED | 3 - 16d | EACH JOIST | TING WORK WITHOUT CA USPECTOR VOIDS PERMIT | | T F |
| JOIST ON LEDGER TO BEAM, TOE NAIL | 3 - 8d | PER JOIST | | ŭ | 古市 |
| BAND/RIM JOIST TO JOIST, END NAILE | 3 - 16d | PER JOIST | | NG X | КЩ |
| BAND/RIM JOIST TO SILL OR TOP PLATE TOE NAILED | 2 - 16d (SEE NOTE 1) | PER JOISTO DE USED | ONLY AS A DIVE FAMILY DWELL | n N | $\breve{\alpha} = $ |
| ROO | F SHEATHIN | IG | | *** | ΨZ |
| STRUCTURAL PANELS - 1/2" CSX PLYW80D | 8d | 6" OC. EDGES, 12" OC FIELD 4" OC AT RAKES/OVERHANGS | DOLLAN STATES AND | 0 | ひコ |
| DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" | 2 - 8d | PER SUPPORT PROVID | ED TO ALL HABITABLE AN | Ň | R S |
| | | | oel. No lu ur the Nyse | | ŭΫ |
| GYPSUM WALL BOARD - SEE NOTE 3 | | | BARABES MUST BE BEAL | | |
| WALL | SHEATHIN | G ABUT | UUK RATING WHERE GARA | DEOL | |
| STRUCTURAL PANELS, 5/8" CDX PLYWOOD | 8d | 6" OC EDGE, 12" OC FIELDER | PDATED SURVEY REQUIRED | PRC | |
| GYPSUM WALLBOARD - SEE NOTE 3 | 5d COOLERS | 7" EDGE/ 10" FIELD | DESCRIPTION / DESCRIPTION / | | |
| DIAGONAL BOARD SHEATHING | 2 - 8d | | | 5. No. 14.00 | |
| 1" X 6" OR 1" X 8" 1" X 10" OR WIDER | 3 - 8d | PER SUPPOR NU TRENC BE USE | H FOOTING SIDE FORMS IN D FOR ALL FOOTINGS, FOR | IUST AS | |
| FLOO | R SHEATHIN | NG MUST BE | INSPECTED REFORE POUR | Mâ., | |
| STRUCTURAL PANELS, 3/4" CDX. PLYWOOD 1" OR LESS | 8d 10d | 6" OC EDGE, 12"TOC ELELD | INCLUDING EXCANATION | PROJECT | NUMBER: |
| | 2 - 8d | ANY BUILDING 7:30 A.M. AND PER SUPPORDUCE PROV | CTERATION, OF REPAIR OF OTHER THAN BETWEEN BRO F.M. ON MONDAY | 05- | 105 |
| 1" X 10" OR WIDER | 3 - 8d | PER SUPPOR SPECIFICALI BUILDING DEPT. | V IS PROHIBITED MARENT LY APPROVED BY THE | | |
| NOTES 1. NAILING REQUIREMENTS BASED ON WALL SHEATHING NAILED 6" OC AT THE PANEL AT THE PANEL EDGE TO OBTAIN HIGHER SHEAR CAPACITY3, NAILING REQUIREMEN OR ALTERNATE CONNECTORSSUCH AS SHEAR PLATES SHALL BE USED TO MAINTA 2. WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABUL REDUCED TO 1 - 16d PER FOOT. 3. THE FOLLOWING CONNECTORS FOR INTERIOR GYPSUM BOARD SHEATHING SHALL TABLE R602 3(1) FASTENER SCHEDULE: | EDGE. IF WALL SHEATHING IS ITS FOR STRUCTURAL MEMBE IN LOAD PATH. LATED NUMBER OF NAILSSHA BE ALLOWED AS PER RCNYS | S NAILED 3" OC RS SHALL BE DOUBLED, LL BE PERMITTED TO BE CHAPTER 6/WALL CONSTRUCTION OF THE NO OVERSIGHT, OF THE MARKED SHALL LEBALLA ALTERATION, HE BUILDED IN FORMATION CHAPTER 1000000000000000000000000000000000000 | ERROR OF EMISSION ON THE PART INSPECTOR OF US REFRESENTATIVE I THE ERECTING, OBSISTRUCTION, MOYAL, USE OF DECEMINACY OF A ENCTURE THAT DOES NOT LENFORM WE OF THE SUBJETUS CODE AND THE DEDEMANCE. | | |
| A. 1/2" GYPSUM BOARD: 1 1/2" GALV. ROOFING NAIL; 6d CCMMON NAIL; STAPLE GAL 4" OC FROM EDGE, 8" OC. IN FIELD B. 5/8" GYPSUM BOARD: 1 3/4" GALV. ROOFING NAIL: 8d COMMON NAIL: STAPLE GAL | VANIZED, 1 1/2" LONG; 1 1/4" S | SCREWS, TYPE W OR S | | | DULI |
| 4" OC FROM EDGE, 8" OC. IN FIELD 4. WHERE CONNECTIONS ARE DETAILED OR SPECIFIED WITH METAL CONNECTORS/T CONNECTIONS TO BE MADE BY FOLLOWING FOLLOWING SERVICED CONNECTORS | IES/STRAPS/HANGERS, ETC., | TOE NAILING WILL NOT BE ALLOWED. | | Ш С | Ц |
| 5. 4'X 8' DOOR 4' X 8' PANELS SHALL BE APPLIED VERTICALLY | | | PPROVED | A V | e S |
| ABLE R301.6 ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS | TABLE R301.4 MINIMUM UNIFORMLY DISTR (in pounds per square foot) | | EC 0 2 2005 | ے ب | С И И |
| STRUCTURAL MEMBER ALLOUABLE DEFLECTION | | De | Joseph Maddan puty Compresioner | ₩ A M | IN I |
| RAFTERS HAVING SLOPES GREATER THAN 3/12 LIBO WITH NO FINISHED CEILING ATTACHED TO | USE EXTERIOR BALCONIES | 60 | \mathcal{L} | | -A6- |
| INTERIOR WALLS AND PARTITIONS | DECKS | 40 | | <u>-</u> ଏ | 4 |
| FLOORS AND PLASTERED CEILINGS L/360 | ATTICS WITHOUT STORAGE | ARAGES 50 | TOPHER E | 11/10 | 0/05 |
| ALL OTHER STRUCTURAL MEMBERS L240 | ATTICS WITH STORAGE | 20 | | SHEET * | |
| | ROOMS OTHER THAN SL | EEPING ROOM 40 | | 1 | OF |
| BRITTLE FINISHES | SLEEPING ROOMS | <u> </u> | 41 No. 18489 10 | I | |
| EXTERIOR WALLS- WIND LOADS WITH L./120 FLEXIBLE FINISHES | GUARDRAILS AND HAND | DRAILS 200 | | | 8 |
| | | | | / | |

| NAME | STMBOL |
|---|-----------------------|
| RECESSED LIGHT (HIGH HAT) | |
| SM. RECESSED LIGHT (LOW VOLTAGE) | \$ |
| LIGHT SWITCH | \$ |
| 3 WAY LIGHT SWITCH | \$3 |
| LIGHT SWITCH DIMMER | \$dm |
| LIGHT SWITCH TIMER | \$, |
| DUPLEX RECEPTACLE | Q |
| 30A 220Y RECEPTACLE | ⊕ |
| GFI OUTLET | ∯œn |
| SMOKE DETECTOR | • |
| CARBON MONOXIDE DETECTOR | ଡ |
| EXHAUST FAN/LIGHT | () |
| HEAT LIGHT | -\$- |
| WALL SCONCE | ю |
| MOTION SENSOR FLOODLIGHT ON A SWITCH | R |
| WALL MOUNTED LIGHTS | Ø |
| RECESSED SOFFIT LIGHT | 0 |
| CABLE T.V. | с |
| PHONE JACK | P |
| PENDANT LIGHTS | Ţ |
| CHANDELIER | ୁ କତିତ୍ୱ କତିତ୍ୱ |
| PULL CHAIN LIGHT | -¢ , |

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en en anna anna an anna an an anna an an anna

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- F

| NAME | SYMBOL |
|---|------------------------|
| RECESSED LIGHT (HIGH HAT) | ф |
| SM. RECESSED LIGHT (LOW VOLTAGE) | \$ |
| LIGHT SWITCH | \$ |
| 3 WAY LIGHT SWITCH | \$₃ |
| LIGHT SWITCH DIMMER | SDM |
| 3-WAY LIGHT SWITCH DIMMER | \$dm3 |
| LIGHT SWITCH TIMER | \$, |
| DUPLEX RECEPTACLE | Q |
| 30A 220Y RECEPTACLE | 0 |
| GFI OUTLET | ∯an |
| SMOKE DETECTOR | 9 |
| CARBON MONOXIDE DETECTOR | Ø |
| EXHAUST FAN/LIGHT | # |
| HEAT LIGHT | -\$- |
| WALL SCONCE | ю |
| MOTION SENSOR FLOODLIGHT ON A SWITCH | \mathbb{H} |
| WALL MOUNTED LIGHTS | Ø |
| RECESSED SOFFIT LIGHT | 0 |
| CABLE T.V. | C |
| PHONE JACK | P |
| PENDANT LIGHTS | Ţ |
| CHANDELIER | ବ୍ୟୁତ୍ ଡ ୁ ତ |

| NAME | SYMBOL |
|---|-----------------|
| RECESSED LIGHT (HIGH HAT) | <u> </u> |
| SM. RECESSED LIGHT (LOW VOLTAGE) | \$ |
| LIGHT SWITCH | \$ |
| 3 WAY LIGHT SWITCH | \$3 |
| LIGHT SWITCH DIMMER | \$дм |
| LIGHT SWITCH TIMER | \$ ₇ |
| DUPLEX RECEPTACLE | ф |
| 30A 220V RECEPTACLE | • |
| GFI OUTLET | (jan |
| SMOKE DETECTOR | • |
| CARBON MONOXIDE DETECTOR | Ø |
| EXHAUST FAN/LIGHT | @ |
| HEAT LIGHT | -\$- |
| WALL SCONCE | ю |
| MOTION SENSOR FLOODLIGHT ON A SWITCH | Ю |
| WALL MOUNTED LIGHTS | Ø |
| RECESSED SOFFIT LIGHT | 0 |
| CABLE T.V. | C |
| PHONE JACK | P |
| PENDANT LIGHTS | Ţ |
| CHANDELIER | ୦୦୦ ୦୦୦୦ |

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(1) ON EACH SIDE OF THE CUTOUT

N.Y.S. CODE TABLE R301.2.1.2 WIND-BORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS FASTENER SPACING FASTENER 4 FOOT 6 FOOT **KPANEL SPAN KPANEL SPAN** PANEL SPAN TYPE < 8 FOOT < 4 FOOT < 6 FOOT 2-1/2" *6 16" 9 12 WOOD SCREWS 2-1/2" *8 16" 16" 12" WOOD SCREWS

WIND-BORNE DEBRIS STRUCTURAL PANELS 10 SCALE: 1" = 1'-0"

A, THIS TABLE IS BASED ON 110 MPH WIND SPEEDS AND A 33 FOOT MEAN ROOF HEIGHT

B. FASTENERS SHALL BE INSTALLED OPPOSING ENDS OF THE

WOOD STRUCTURAL PANEL C. NAILS SHOULD BE 100 COMMON OR 120 BOX NAILS D. WHERE SCREWS ARE ATTACHED TO MASONRY OR

MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING

VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 POUNDS

DRAG TIE ACROSS BEAM SPLICE BY BEAM SPLICE SINGLE PORTAL SYSTEM OTHERS DOUBLE PORTAL SYSTEM HEADER SIZE SHOULD BE WALL THICKNESS X 12" MIN. DEPTH HEADER SIZE SHOULD BE WALL THICKNESS X 12" MIN. DEPTH LSTA24 STRAP(MIN) AT BEAM TO POST 8' MIN. 16'4" MAX 8' MIN. 16'4" MAX (3)-LTP4 AT SUPPORT POST TO STRONG-WALL POST HEADER SUPPORT POST BY OTHERS COLUMN BASE 28 28 28 BY OTHERS 00000

SINGLE AND DOUBLE PORTAL ASSEMBLY 3CALE: |" = |'-0"

12

GENERAL NOTES/ 2020 RESIDENTIAL CODE OF NYS 1- TO THE BEST OF CHRIS GRAY'S KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, SUCH PLANS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE 2018 WOOD FRAME CONSTRUCTION MANUAL, NFPA 70 STANDARD, NATIONAL ELECTRIC CODE, AND LOCAL ZONING CODE 2- THESE CONSTRUCTION DOCUMENTS ARE PREPARED FOR THE PROJECT ADDRESS LISTED ON THE DRAWINGS AND

ARE NOT TO BE USED AT A DIFFERENT LOCATION WITHOUT WRITTEN CONSENT OF THE ARCHITECT. UNAUTHORIZED USE WILL ALSO BE SUBJECT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990
3- NO WORK IS TO COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE BUILDING DEPARTMENT. ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR OWNER NOT OBTAINING BUILDING PERMIT OR ADDITIONAL WORK COMPLETED WITHOUT THE KNOWLEDGE OF THE BUILDING DEPARTMENT AFTER CERTIFICATE OF OCCUPANCY ISSUANCE
4- CONTRACTOR TO VERIFY EXISTING CONDITIONS AT JOB SITE BEFORE COMMENCING WITH THE WORK OR ORDERING MATERIALS AND TO REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT BEFORE PROCEEDING FORWARD.
5- DRAWINGS ARE NOT TO BE SCALED, USE DIMENSIONS ONLY. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALED DRAWINGS. DIMENSIONS NOTED ARE MEASURED FROM FINISHED SURFACES. PROVIDE EXACT DIMENSION CLEAR SHOWN WHEN "HOLD" IS INDICATED.
6- THE CONTRACTOR SHALL NOT MAKE DEVIATIONS FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. ARCHITECT SHALL NOT BE REQUIRED TO APPROVE UNAUTHORIZED STRUCTURAL AND OR SPATIAL

CHANGES DURING OR POST CONSTRUCTION.
1- IT IS THE RESPONSIBILITY OF THE LOCAL MUNICIPALITY TO PROVIDE BUILDING INSPECTIONS AT PROGRESSIVE STAGES OF CONSTRUCTION. IT SHALL BE CONSTRUED THAT ONCE THE FINAL INSPECTION IS COMPLETED, THE PROJECT IS IN COMPLETE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PREPARED BY THE ARCHITECT.
8- IF THE WORD CERTIFY IS USED IN ANY OF ITS FORMS HEREIN AND/OR ON ACCOMPANYING DOCUMENTS RELATING TO THIS PROJECT CREATED BY THE ARCHITECT, IT IS AN EXPRESSION OF PROFESSIONAL OPINION ONLY AND SHALL NOT BE CONSTRUED OR UNDERSTOOD TO BE A STATEMENT OF FACT, A WARRANTY, OR A GUARANTEE OF ANY KIND, EXPRESSED OR IMPLIED.
9- SHOP DRAWINGS MUST CONFORM TO THE ARCHITECTURAL DRAWINGS AND BE APPROVED BY ARCHITECT FOR

COMPLIANCE WITH DESIGN INTENT. 10- PROPOSED WORK IS BASED ON SURVEY PREPARED BY LICENSED SURVEYOR AND SUPPLIED BY OWNER. ARCHITECT IS NOT RESPONSIBLE FOR SURVEY ERRORS. OWNER OR CONTRACTOR IS TO HIRE SURVEYOR TO STAKE OUT WORK IF NECESSARY.

II- THE CONSTRUCTION OF BUILDINGS AND STRUCTURES SHALL RESULT IN A SYSTEM THAT PROVIDES A COMPLETE LOAD PATH CAPABLE OF TRANSFERRING ALL LOADS FROM THEIR POINT OF ORIGIN THROUGH THE LOAD-RESISTING ELEMENTS TO THE FOUNDATION. CONTRACTOR TO INSPECT THE EXISTING FRAMING FOR STRUCTURAL INTEGRITY.
 I2- R303.I HABITABLE ROOM LIGHT AND VENTILATION- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 3% OF THE FLOOR AREA. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED

I3- R305.1 MINIMUM CEILING HEIGHT- HABITABLE SPACE, HALLWAYS, AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-O". BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6'-8". FOR ROOMS WITH SLOPED CEILING, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5'-O" AND NOT LESS THAN 50% OF THE REQUIRED FOOR AREA SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-O". THE CEILING HEIGHT ABOVE BATHROOM AND TOILET FIXTURES SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-8" ABOVE AND AREA NOT LESS THAN 30"x 30" AT THE SHOWERHEAD. BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS IN BASEMENT CONTAINING HABITABLE SPACE SHALL BE PERMITTED TO PROJECT TO WITHIN 6'-4" OF THE FINISHED FLOOR.
I4- R308.1 GLAZING IDENTIFICATION- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AND THAT IS VISIBLE IN THE FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED, OR BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING

DESTROYED. A LABEL SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION. 15- R310.1 EMERGENCY ESCAPE AND RESCUE OPENINGS- BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

MINIMUM NET CLEAR OPENING AREA OF 5.7 SQ FT, GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. I6- <u>R3II.7.5 STAIR TREADS AND RISERS</u>- THE MAXIMUM RISER HEIGHT SHALL BE 8¼" AND THE MINIMUM TREAD DEPTH SHALL BE 9". THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.

17- <u>R3II.7.2 HEADROOM</u>- THE HEADROOM IN STAIRWAYS SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF STAIRWAY.
 18- <u>R3II.7.8 HANDRAILS</u>- HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS

WITH 4 OR MORE RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISHED SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" BETWEEN THE WALL AND HANDRAILS.

19- R311.7.8.5 HANDRAIL GRIP SIZE- TYPE I. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4" AND NOT GREATER THAN 6/4" AND A CROSS SECTION OF NOT MORE THAN 2/4".
 20-R312.1 GUARDS REQUIRED- SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT

SCREENING SHALL NOT BE CONSIDERED AS A GUARD. REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES, OR LANDINGS, SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR LINE CONNECTING THE NOSINGS.

GUARDS ON OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS. 21- R312.1.3 GUARD OPENING LIMITATIONS- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. THE TRIANGULAR

OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW THE PASSAGE OF A SPHERE 6" IN DIAMETER 22-R314.1 SMOKE ALARMS- SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING

AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN I FULL STORY BELOW THE UPPER LEVEL. WHEN MORE THAN ONE SMOKE ALARM INSTRUCTION BERMEND IN BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE

ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. SMOKE ALARMS AND HEAT DETECTION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION. 23- R315.1 CARBON MONOXIDE ALARMS- SHALL BE IN ACCORDANCE WITH SECTION 915 OF THE FIRE CODE OF NYS.

CARBON MONOXIDE PROTECTION SHALL BE INSTALLED IN RESIDENTIAL BUILDINGS THAT CONTAIN A FUEL BURNING APPLIANCE. EXCEPTIONS, IN SLEEPING AREAS WHERE A FUEL BURNING IS LOCATED IN AN ATTACHED BATHROOM, UTILITY RM, CLOSET, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN A CENTRAL OR OTHERWISE APPROVED LOCATION IN THE SLEEPING AREA. IN DWELLING UNITS WHERE A FUEL BURNING APPLIANCE IS LOCATED IN A KITCHEN, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE THE SLEEPING AREAS AND WITHIN IO' OF THE ENTRANCE OF SLEEPING AREAS. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHEN PRIMARY

CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMART FOWER FROM THE BUILDING WIRING. WHEN PRIMART POWER IS INTERRUPTED, SHALL RECEIVED POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THAT REQUIRED FOR OVER CURRENT PROTECTION. EXCEPTIONS, CARBON MONOXIDE ALARMS POWERED BY A 10 YEAR BATTERY SHALL BE AN ACCEPTABLE ALTERATIVE IN RESIDENTIAL BUILDINGS.

24-<u>R401.4 SOIL TESTS</u>- IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIVE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, A SOIL TEST SHALL BE PERFORMED TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE MADE BY AN APPROVED AGENCY USING AN APPROVED METHOD. HIRED BY OWNER OR GENERAL CONTRACTOR.

25- R402.2 CONCRETE- POURED CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI MINIMUM AT 28 DAYS. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO WEATHER, AND GARAGE FLOOR SLABS SHALL BE 3,500 PSI. CONTROLLED STONE OR GRAVEL CONCRETE, AIR ENTRAINED WHERE EXPOSED. POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED VIRGIN SOIL WITH A MINIMUM OF 3,000 PSF BEARING CAPACITY AT A DEPTH BELOW THE FROST LINE WITHIN THE GROUND.

26- CONCRETE MASONRY UNITS SHALL BE OF NORMAL WEIGHT CONCRETE. ALL WALLS SHALL BE BONDED WITH HORIZONTAL GALVANIZED REINFORCEMENT AT EVERY OTHER COURSE VERTICALLY.
27- <u>R405.1 FOUNDATION DRAINAGE</u>- DRAINS SHALL BE PROVIDED AROUND ALL FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE. DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, OR PERFORATED PIPE SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.

28-<u>R406.1 FOUNDATION DAMPROOFING</u>- FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE.
 29- <u>R602.8 FIREBLOCKING</u>- SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND

HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE. 30-<u>R703.4 FLASHING</u>- APPROVED CORROSION RESISTIVE FLASHING SHALL BE APPLIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. 31- RIO24 LEACTORY BUILT FIREPLACES- SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE

31- <u>RIOO4.I FACTORY BUILT FIREPLACES</u>- SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127
 32- <u>RIOO5.I FACTORY BUILT CHIMNEYS</u>- SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED AND TERMINATED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. CHIMNEYS FOR USE WITH FACTORY BUILT FIREPLACES SHALL COMPLY WITH THE REQUIREMENTS OF UL 127.
 33- <u>RIOO6.2 EXTERIOR AIR INTAKE</u>- SHALL BE CAPABLE OF SUPPLYING ALL COMBUSTION AIR FROM THE EXTERIOR OF

THE DWELLING OR FROM SPACES WITHIN THE DWELLING VENTILATED WITH OUTDOOR AIR SUCH AS CRAWL OR ATTIC SPACES. THE EXTERIOR AIR INTAKE SHALL NOT BE LOCATED WITHIN GARAGE OR BASEMENT OF THE DWELLING. THE EXTERIOR AIR INTAKE SHALL BE COVERED WITH A CORROSION- RESISTANT SCREEN OF ¼" MESH. 34- <u>MI305.1.3 APPLIANCES IN ATTICS</u>. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE NOT LESS THAN 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE NOT LESS THAN 0F 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

35- <u>MI505.4.4 LOCAL EXHAUST RATES</u>- TOILET ROOMS AND BATHROOMS, 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS TO EXTERIOR OPEN AIR.
36- PLUMBING AND HEATING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE OF NEW YORK STATE BY A LICENSED PLUMBER

37- ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND NEW YORK
STATE RESIDENTIAL CODE BY A LICENSED ELECTRICIAN
38- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED INTO THE WORK SHALL BE IN STRICT ACCORDANCE

WITH THE LATEST ADDITION OF THE 'AMERICAN SOCIETY FOR TESTING AND MATERIALS' (ASTM) SPECIFICATIONS WHERE APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES. ALL MATERIALS USED IN CONNECTION WITH THIS PROJECT MUST BE NEW UNLESS SPECIFIED OTHERWISE.
39- STRUCTURAL LUMBER CALCULATIONS ARE BASED ON HEM FIR NO. 2 WITH A FIBER STRESS OF 850 PSI AND A MODULUS OF ELASTICITY OF 1,300 KSI. LUMBER TO BE CLEAN WITH NO SPLITS, CHECKS, AND SHAKES.
40-LAMINATED VENEER LUMBER CALCULATIONS ARE BASED ON A FIBER STRESS OF 2,600 PSI AND A MODULUS OF

ELASTICITY OF 1,900 KSI. REFER TO MANUFACTURERS MANUALS FOR MULTIPLE MEMBER CONNECTIONS AND PROPER USE. 41- STRUCTURAL STEEL CALCULATIONS ARE BASED ON A36 STEEL WITH A FIBER STRESS OF 21.6 KSI AND A MODULUS OF ELASTICITY OF 29,000 KSI.

> APPLICATION NO. RBP24-000782 REVISED PLANS 9-12-24

| | NAILING SCHEDULE TABLE 3.1 WECM 2018 | | |
|--|---|---------------------|--------------------------|
| JOINT DESCRIPTION | NUMBER OF COMMON NAILS | NUMBER OF BOX NAILS | NAIL SPACING |
| | ROOF FRAMING | - | |
| RAFTER TO TOP PLATE (TOE NAILED) | 3- 8d | 3- 10d | PER RAFTER |
| CEILING JOIST TO TOP PLATE (TOE NAILED) | 3- 8d | 3- 10d | PER JOIST |
| CEILING JOIST TO PARALLEL RAFTER (FACE NAILED) | 3- 16d | 3-40d | EACH LAP |
| CEILING JOIST LAPS OVER PARTITIONS (FACE NAILED) | 3- 16d | 3-40d | EACH LAP |
| COLLAR TIE TO RAFTER (FACE NAILED) | 76 PLF | 76 PLF | PER TIE |
| BLOCKING TO RAFTER (TOE NAILED) | 2- 8d | 2- 10d | EACH END |
| RIM BOARD TO RAFTER (END NAILED) | 2- 16d | 2- 16d | EACH END |
| | WALL FRAMING | | |
| TOP PLATE TO TOP PLATE (FACE NAILED) | 2- 16d | 2- 16d | PER FOOT |
| TOP PLATES AT INTERSECTIONS (FACE NAILED) | 4- 16d | 5- 16d | JOINTS- EACH SIDE |
| STUD TO STUD (FACE NAILED) | 2- 16d | 2- 16d | 24"00 |
| HEADER TO HEADER (FACE NAILED) | 16d | 16d | 16"00 ALONG EDGES |
| TOP OR BOTTOM PLATE TO STUD (END NAILED) | 2- 16d | 2- 40d | PER STUD |
| BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, | 2- 16d | 2- 16d | PER FOOT |
| ENDJOIST, OR BLOCKING (FACE NAILED) | | | |
| | FLOOR FRAMING | | |
| JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED) | 4- 8d | 4- 10d | PER JOIST |
| BRIDGING TO JOIST (TOE NAILED) | 2- 8d | 2- 10d | EACH END |
| BLOCKING TO JOIST (TOE NAILED) | 2- 8d | 2- 10d | EACH END |
| BLOCKING TO SILL OR TOP PLATE (TOE NAILED) | 3- 16d | 4- 16d | EACH BLOCK |
| LEDGER STRIP TO BEAM (FACE NAILED) | 3- 16d | 4- 16d | EACH JOIST |
| JOIST ON LEDGER TO BEAM (TOE NAILED) | 3- 8d | 3- 10d | PER JOIST |
| BAND JOIST TO JOIST (END NAILED) | 3- 16d | 4- 16d | PER JOIST |
| BAND JOIST TO SILL OR TOP PLATE (TOE NAILED) | 2- 16d | 3- 16d | PER FOOT |
| | ROOF SHEATHING | | |
| WOOD STRUCTURAL PANELS | 8d | lod | @6"oc EDGE, @12"oc FIELD |
| DIAGONAL BOARD SHEATHING | | | |
| 1"x6" or 1"x8" | 2- 8d | 2- 10d | PER SUPPORT |
| I"XIO" OR WIDER | 3- 8d | 3- 10d | PER SUPPORT |
| | CEILING SHEATHING | | |
| GYPSUM WALLBOARD | 5D COOLERS | 5d COOLERS | 7" EDGE/ 10" FIELD |
| | WALL SHEATHING | - | |
| WOOD STRUCTURAL PANELS | 8d | lOd | @6"oc EDGE, @12"oc FIELD |
| STRUCTURAL FIBERBOARD PANELS | I an asky BOOFING NAU | Vectors | |
| 1/2" | I ga. gaiv. ROOFING NAIL | - | 3" EDGE/ 6" FIELD |
| | (0.120"XI-1/2" LONG X 7/16" HEAD) | V 10 | |
| 25/32" | II ga. galv. ROOFING NAIL | | 3" EDGE/ 6" FIELD |
| | (0.120"x1-5/4" LONG x 5/18" HEAD) | | |
| GTPSUM WALLBOARD | 5d COOLERS | 5d COOLERS | A BOGE/ 10" FIELD |
| PARTICLE BOARD PANELS | 00 | 60 | GEE MANUEACTIRER |
| PARTICLE BOARD FANELS | 00 | ba | SEE MANOR ACTORER |
| | 2 64 | 2 101 | PER GIPRORT |
| | 3- 8d | 3- 10d | PER SUPPORT |
| | | | |
| | FLOOR SHEATHING | | 1 |
| WOOD STRUCTURAL PANELS | | | |
| I" OR LESS | 8d | lod | 6" EDGE/ 12" FIELD |
| GREATER THAN I" | IOa | 160 | 6" EDGE/ 12" FIELD |
| DIAGONAL BOARD SHEATHING | | | |
| "x6" or "x8" | 2- 8d | 2- lod | PER SUPPORT |
| I"XIO" OR WIDER | 5- 80 | 5- 10a | FER SUFFORI |
| | <u>.</u> | | |

SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE

PLUMBING CODE OF NEW YORK STATE

ASPHALT SHINGLES OVER 15# FELT ON ½" EXTERIOR PLYWOOD OVER 2x6 ROOF RAFTERS @ 16"oc-12 5.5 (2)2x4 PLATE VENTED VINYL SOFFIT-VINYL SIDING HOUSE WRAP OR 15# FELT 为" EXTERIOR PLYWOOD 2x4@ 16"oc (2)2×4 PRESSURE TREATED WOOD SILL-6" MINIMUM CONCRETE EXPOSURE-GRADE

| COMPONENT | AIR BARRIER CRITERIA A CONTINUOUS AIR BARRIER SHOULD BE | AIR-PERMEABLE INSUL |
|---|---|---|
| | INSTALLED IN THE BUILDING ENVELOPE THE EXTERIOR THERMAL ENVELOPE CONTAINS A | USED AS A SEALING M |
| General Reguirements | CONTINUOUS AIR BARRIER | |
| | BREARS OR SOINTS IN THE AIR BARRIER SHALL BE SEATED | |
| | THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED | THE INSULATION IN ANY CEILING/SOFFIT SHALL AIR BARRIER |
| | ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED | |
| WALLS | THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED | CAVITIES WITHIN CORN FRAME WALLS SHALL I COMPLETELY FILLING |
| | THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED | MATERIAL HAVING A T R-3 PER INCH MINIMUM |
| | KNEE WALLS SHALL BE SEALED | EXTERIOR THERMAL EN FRAMED WALLS SHALL SUBSTANTIAL CONTAC ALLIGNMENT WITH THE |
| WINDOWS, SKYLIGHTS & DOORS | THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED | |
| RIM JOISTS | RIM JOISTS SHALL INCLUDE THE AIR BARRIER | RIM JOISTS SHALL BE |
| FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS) | THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION | FLOOR FRAMING CAVI INSTALLED TO MAINTA WITH THE UNDERSIDE C FLOOR FRAMING CAVI PERMITTED TO BE IN C SIDE OF SHEATHING, O |
| | | INSTALLED ON THE UND FRAMING AND EXTEND THE TOP OF ALL PERIN MEMBERS |
| CRAWL SPACE WALLS | EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED | WHERE PROVIDED INST INSULATION, INSULATION ATTACHED TO THE CR. |
| SHAFTS, PENETRATIONS | DUCT SHAFTS, UTILITY PENETRATIONS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED | |
| NARROW CAVITIES | | BATT INSULATION SHAL AROUND WIRING AND F WALLS, OR INSULATION READILY CONFORMS T SHALL EXTEND BEHIND |
| GARAGE SEPARATION | AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES | |
| RECESSED LIGHTING | RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPED SHALL SEALED TO THE DRYWALL | RECESSED LIGHT FIXTU BUILDING THERMAL EN TIGHT AND IC RATED |
| PLUMBING & WIRING | | BATT INSULATION SHAL AROUND WIRING AND F WALLS, OR INSULATION READILY CONFORMS T SHALL EXTEND BEHIND |
| SHOMER/TUB ON EXTERIOR WALL | THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS | EXTERIOR WALLS ADJ TUBS SHALL BE INSULA |
| ELECTRICAL/PHONE BOX ON EXTERIOR WALLS | THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED | |
| HVAC REGISTER BOOTS | HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL | |
| CONCEALED SPRINKLERS | WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CELLINGS | |

