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# Town of North Hempstead



## Board of Zoning Appeals

210 Plandome Road  
Manhasset, NY 11030  
(516) 869-7667  
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### CALENDAR FOR JANUARY 22, 2025

#### RESIDENTIAL CALENDAR

**APPEAL #21634 – Peter & Donna Rowlinson; 15 Lincoln Pl., Port Washington; Section 5, Block 41, Lot 7; Zoned: Residence-C**

Variations §§ 70-50(B), 70-51(B), 70-52, 70-52.3(A), 70-101(B), & 70-209(A) to construct additions to a dwelling, and to rebuild a dwelling that would be considered a new home that would be located too close to the street, too close to a side property line, too close to a rear property line, and would pierce the sky exposure plane, with a one-story porch located too close to a street, and to rebuild a home that would not be in compliance with the zoning code.

**APPEAL #21648 – Michael & Melissa Stolper; 59 Litchfield Rd., Port Washington; Section 5, Block 66, Lot 131; Zoned: Residence-A**

Variance § 70-29.C(1) to construct additions that would make the house too big.

**APPEAL #21583 – United Cerebral Palsy Association of Nassau County; 9 Belleview Ave., Port Washington; Section 5, Block 81, Lot 10; Zoned: Residence-C**

Variations from §§ 70-44 & 70-208.G to convert a three family to a four-family house (not a permitted use) that is an expansion of a non-permitted use.

**APPEAL #21653 - Ryan and Maureen Grosdidier; 39 Sandy Hollow Road, Port Washington; Section 5, Block 160, Lot 36; Zoned: Residence-C**

Variance from 70-49.C to construct additions to a dwelling that make the home too big.

**APPEAL #21654 – Muhammad & Malika Begawala; 46 Dogwood Rd., Albertson; Section 7, Block 305, Lot 19; Zoned: Residence-A**

Variance § 70-100.2.A. 2 to legalize a fence that is too tall.

**APPEAL #21655 - Malai Aziz; 97 Robby Lane, New Hyde Park; Section 8, Block 255, Lot 29; Zoned: Residence-A**

Variance from §70-100.2(A)(2) to legalize fencing located in a front yard (which is not permitted).

**APPEAL #21656 - Magdy & Amal Soliman; 567 Mineola Avenue, Carle Place; Section 10, Block 31, Lot 64; Zoned: Residence-C**

Variations from §70-100.2(A)(4)(b) and 70-100.2(A)(4) to construct fencing that is too tall.

**APPEAL #21657 – William & Elizabeth Palmer; 33 10<sup>th</sup> St., Carle Place; Section 10, Block 265, Lot 16; Zoned: Residence-B**

Variances § 70-40(C) & 70-101(B) to construct a one-story addition and portico too close to the front property line.

**APPEAL #21658 - Shirell Roeback; 4 Orient Court, Westbury; Section 11, Block 414, Lot 426; Zoned: Residence-C**

Variance from §70-52 to construct a deck that is too close to the rear property line.

COMMERCIAL CALENDAR

**APPEAL #21659 – 10-14 Davis Ave., LLC; 14 Davis Ave., Port Washington; Section 5, Block 132, Lot 567; Zoned: Industrial-B**

Variances § 70-212(B) & 70-192(B) to use a vacant lot for an outdoor storage area which is located too close to a front and rear property line.

**APPEAL #21617 - Napoleon Prime Properties LLC; 154 Mineola Avenue, Roslyn Heights; Section 7, Block G, Lot 970; Zoned: Business-B**

Variance from §70-196.J(1)(a) to construct too many signs on a wall.





JEAN-PIERRE LARDOUX, AIA, No. 02323  
 NY LIC. No. 02323  
 NJ LIC. No. 02323  
 CT LIC. No. 02323  
 NH LIC. No. 02323  
 PA LIC. No. 02323  
 FL LIC. No. 02323  
 CO LIC. No. 02323  
 NY'S HERS RATER No. 02323  
 NYC SPECIAL INSPECTION AGENCY LIC. No. 02323

CONSULTANTS:

CLIENT:  
 CEREBRAL PALSY ASSOCIATION  
 OF NASSAU COUNTY, INC  
 380 WASHINGTON AVENUE  
 ROOSEVELT, NEW YORK 11515  
 (516) 378-2000

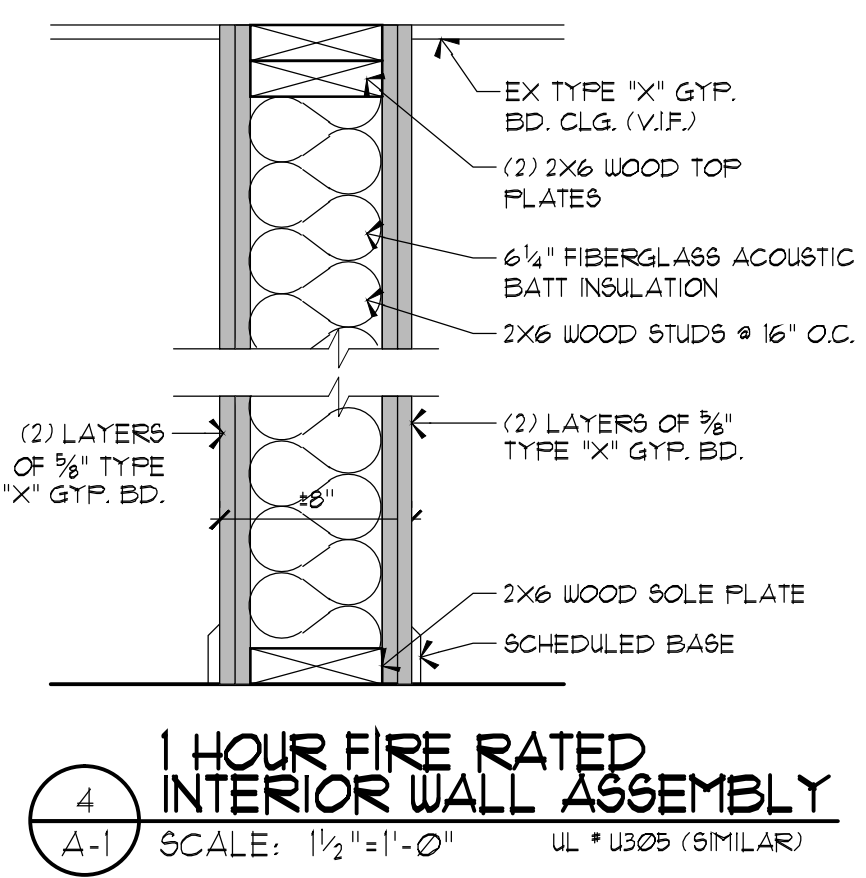
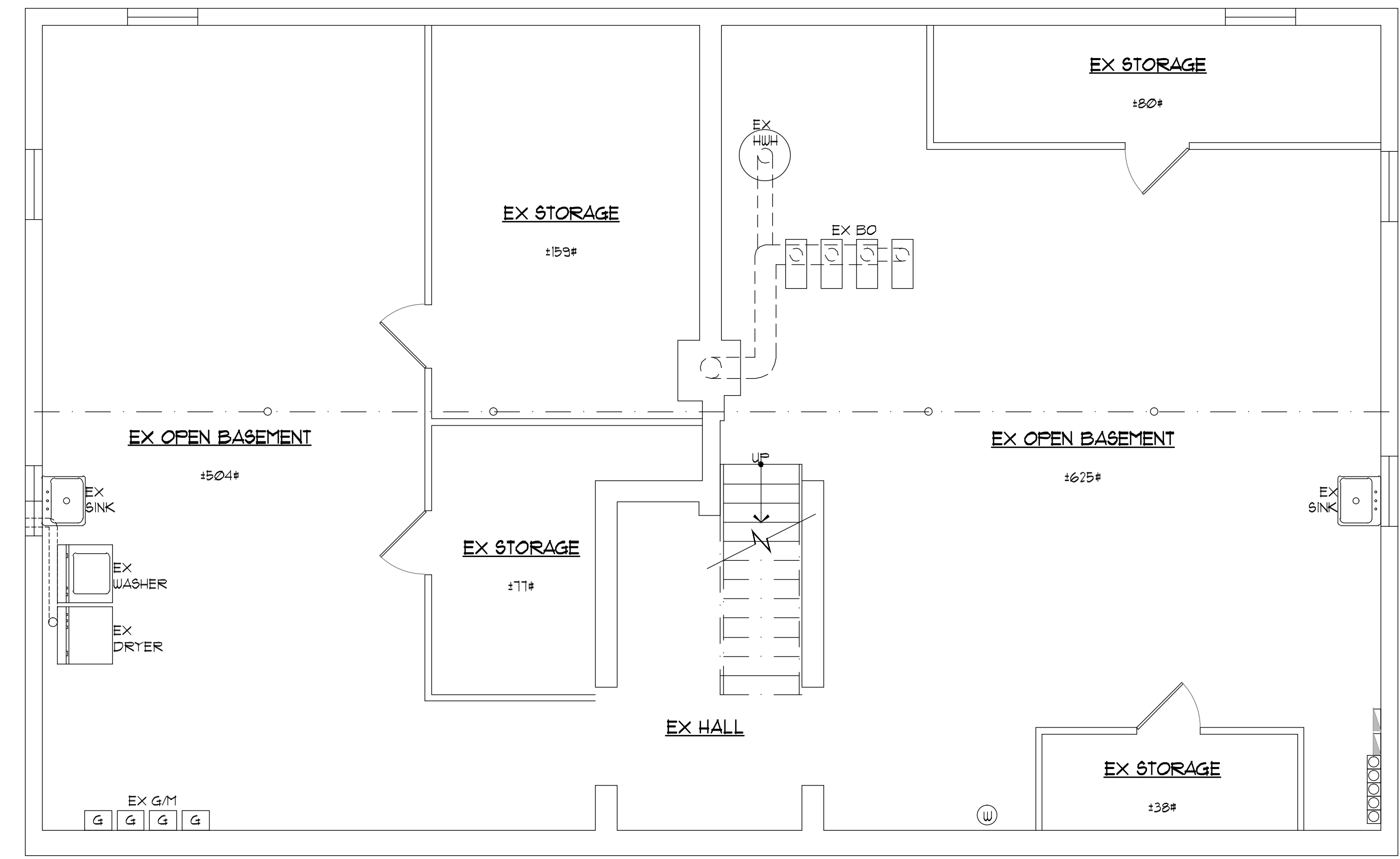
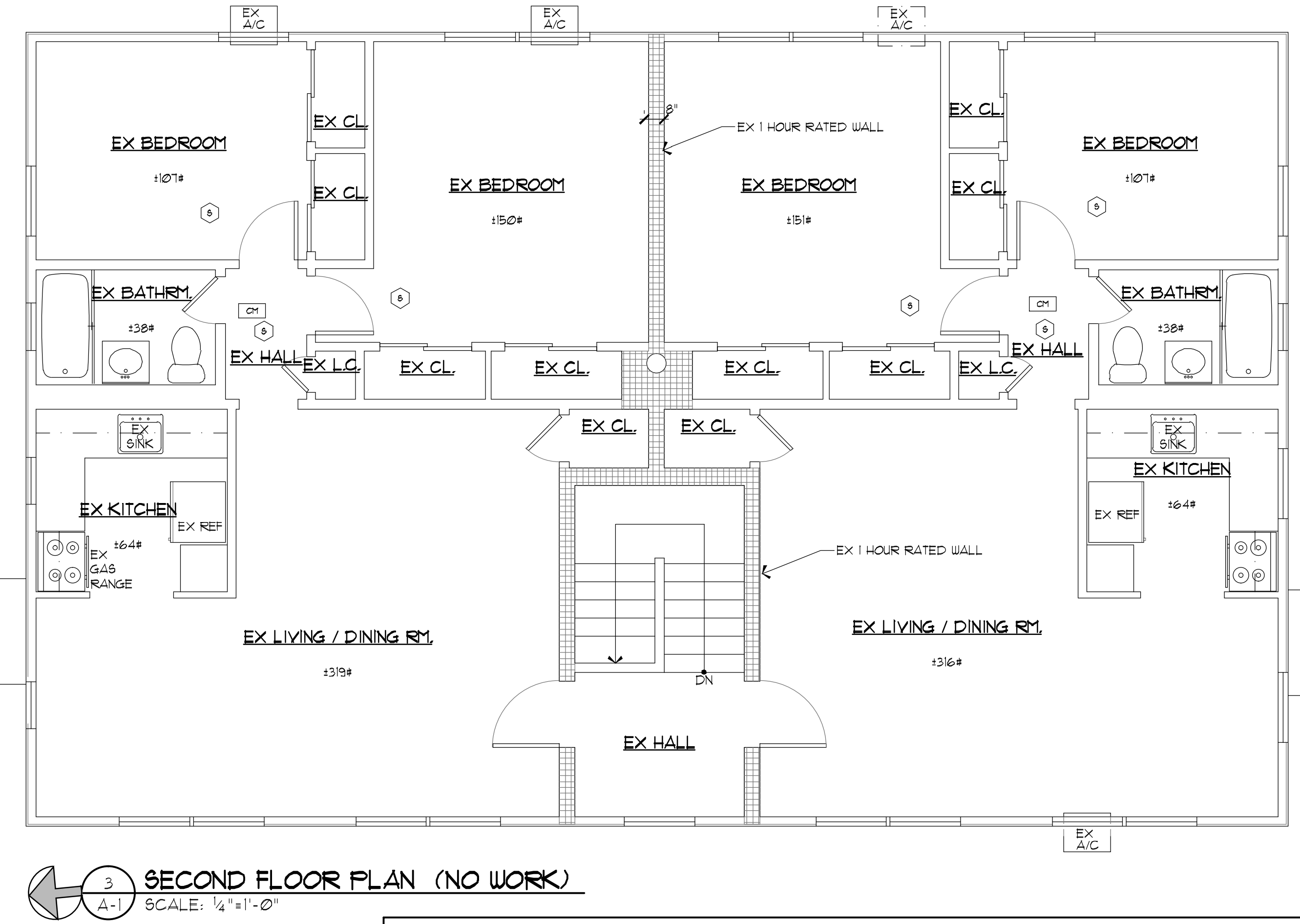
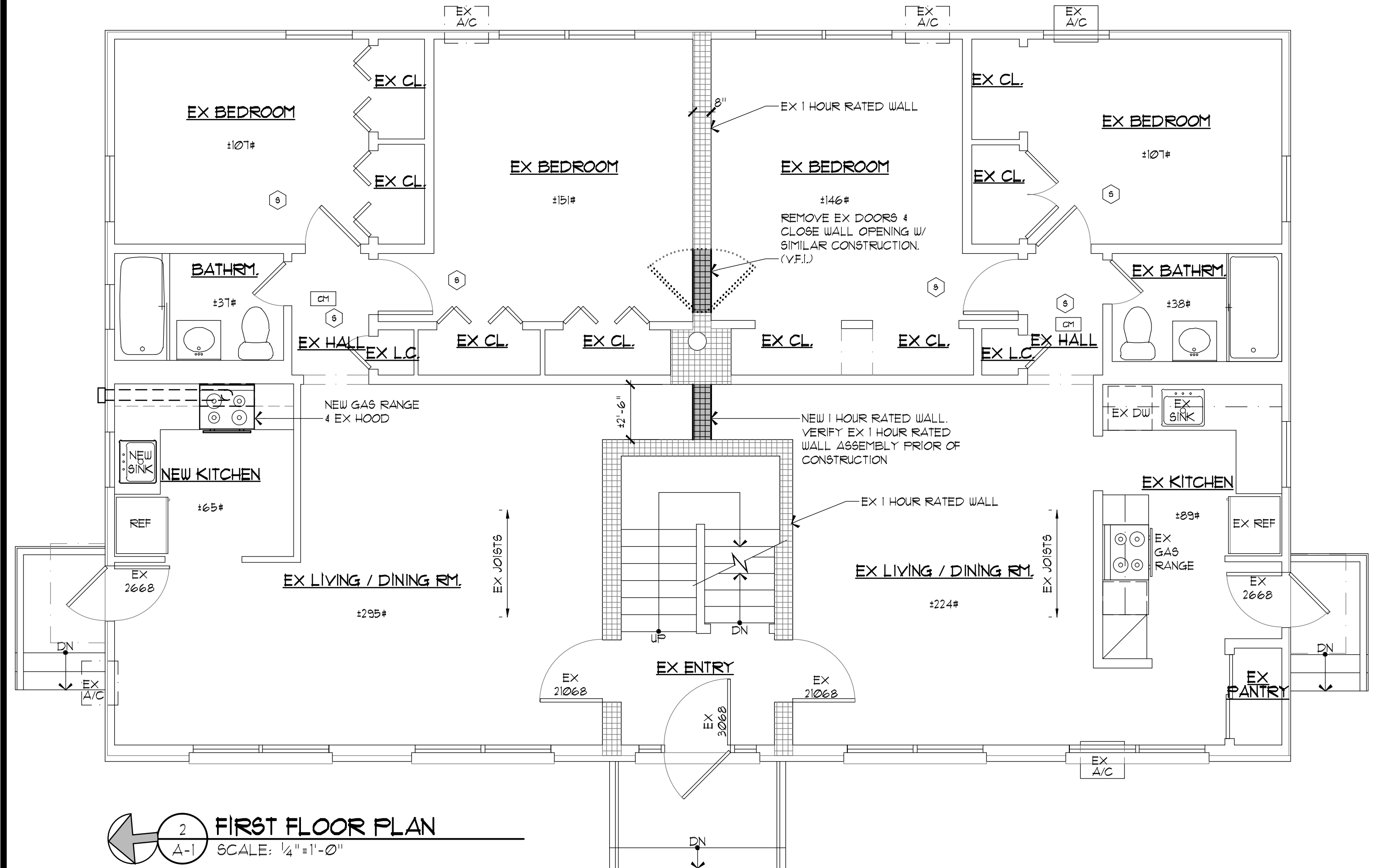
PROJECT:  
 ALTERATIONS TO RESIDENCE:  
 9 BELLEVUE AVENUE  
 PORT WASHINGTON, NEW YORK 11050

SHEET TITLE:  
 LIST OF DRAWINGS,  
 BASEMENT, FIRST FLOOR  
 & SECOND FLOOR PLANS,  
 DETAIL & LOCATION MAP

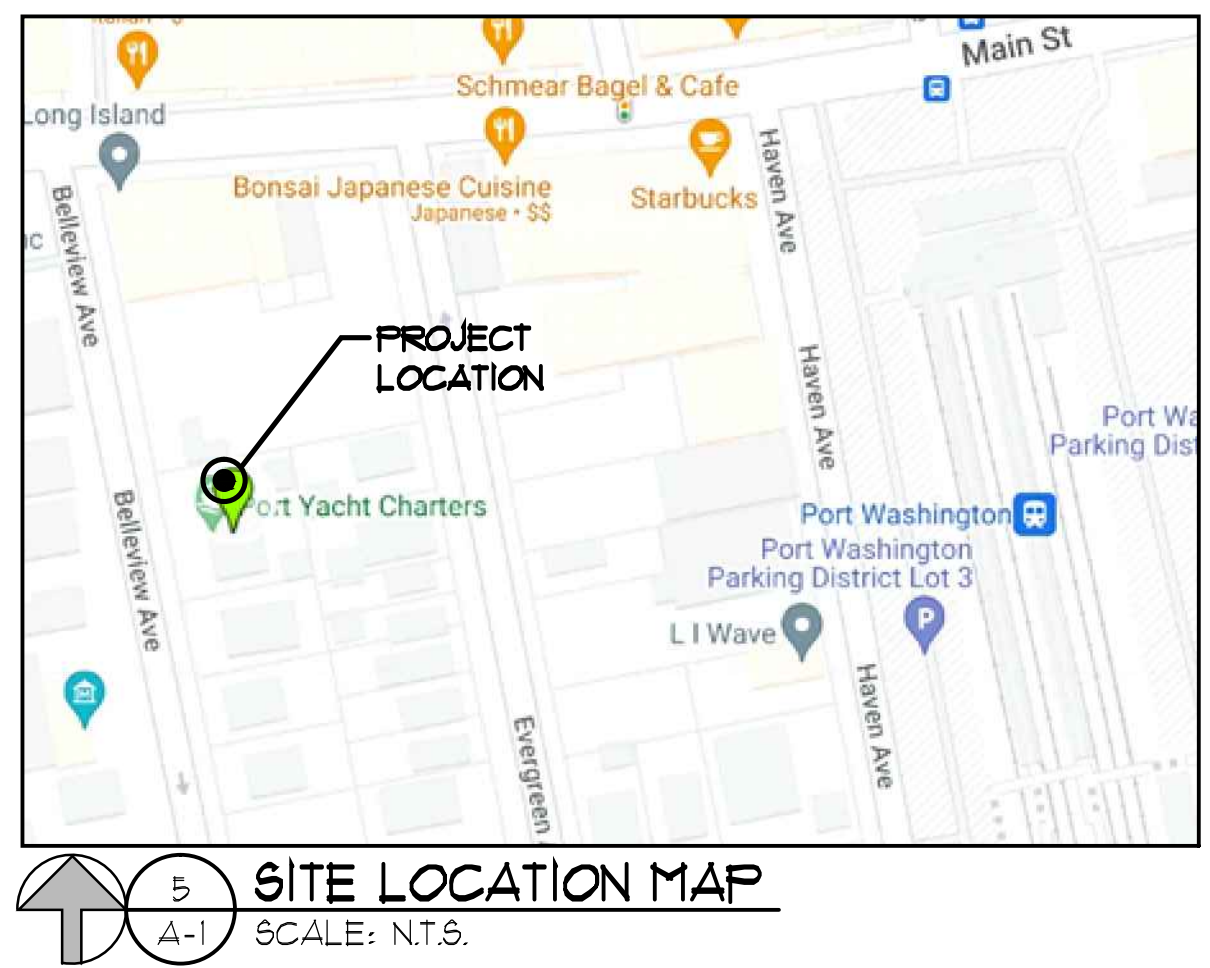
REVISIONS

NO.	DATE	DESCRIPTION
06-18-24		SUBMIT FOR BZA
04-22-24		REVISED PER BUILDING DEPARTMENT

DRAWN BY: TF SHEET NO:  
 CHECKED BY: JPL  
 DATE: 02-29-24  
 SCALE: AS NOTED  
 PROJECT NO: 2016.051



- LIST OF DRAWINGS**
- A-1 LIST OF DRAWINGS, GENERAL NOTES, BASEMENT, FIRST FLOOR & SECOND FLOOR PLANS, DETAIL & LOCATION MAP
  - MPE-1 PARTIAL FIRST FLOOR MECHANICAL/PLUMBING & ELECTRICAL PLAN, GAS RISER DIAGRAM, PLUMBING RISER DIAGRAM & SCHEDULES
  - T-1 TITLE SHEET & EXISTING SURVEY
- GENERAL NOTES**
- CONTRACTOR SHALL CHECK & VERIFY ALL CONDITIONS AT THE SITE PRIOR TO STARTING OF WORK & SHALL FAMILIARIZE HIMSELF WITH THE INTENT OF THE PLANS & MAKE WORK AGREE WITH THEM.
  - CONTRACTOR SHALL OBTAIN A BUILDING PERMIT FROM THE LOCAL TOWN OR VILLAGE PRIOR TO STARTING ANY WORK AND PAY FOR CONTRACTOR SHALL FILE FOR SEPARATE FENCE PERMIT IF REQUIRED.
  - CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, PERMITS, CERTIFICATES OF OCCUPANCY, INSPECTION APPROVALS, ETC. FOR WORK PERFORMED FROM AGENCIES HAVING JURISDICTION.
  - ALL WORK SHALL CONFORM WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
  - IF IN THE COURSE OF CONSTRUCTION A CONDITION ARISES WHICH DISAGREES WITH THAT AS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK & NOTIFY THE ARCHITECT. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE & CONTINUE WITH THE WORK, HE SHALL ASSUME ALL RESPONSIBILITY & LIABILITY ARISING THEREFROM.
  - DOUGLAS FIR CONSTRUCTION GRADE 2 OR BETTER.
  - ALL HEADERS TO BE (2) 2 X10 UNLESS NOTED OTHERWISE.
  - PATCH ALL AREAS WHERE EXISTING HAS BEEN REMOVED AND/OR NEW WORK ADJUTS EXISTING.
  - CONTRACTOR SHALL RE-ROUTE AS REQUIRED ALL EXISTING PLUMBING, ELECTRICAL & HEATING LINES WHICH INTERFERE WITH NEW CONSTRUCTION.
  - ELECTRICAL WORK TO BE BOARD OF FIRE UNDERWRITER APPROVED.
  - TAPING & SPACKLING OF SHEETROCK JOINTS SHALL BE DONE IN THREE COATS: EMBEDDING COAT, TOPPING COAT & FINISHING COAT.
  - PAINTING SHALL CONSIST OF FIRST APPLYING A PRIMER & THEN FOLLOW WITH TWO COATS.
  - DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN.
  - CONTRACTOR TO INSULATE ALL NEW & EXISTING PLUMBING & HEATING PIPING.
  - DOUBLE JOISTS UNDER ALL POSTS AND PARALLEL PARTITIONS, UNLESS OTHERWISE NOTED.
  - FOR PRODUCT SUBSTITUTIONS, THE CONTRACTOR SHALL SUBMIT THE PRODUCT SPECIFICATION SHEETS AND THE SAMPLES TO THE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
  - CONTRACTOR SHALL RE-ROUTE AS REQUIRED ALL EXISTING UTILITY LINES WHICH INTERFERE WITH NEW CONSTRUCTION.
  - ALL LUMBER THAT COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.



**LEGEND OF SYMBOLS**

RR	REMOVE AND REPLACE
N	NEW
EX	EXISTING TO REMAIN
R	REMOVE EXISTING
V.I.F.	VERIFY IN FIELD
---	SOFFIT OR FASCIA LINE ABOVE
---	EXISTING WALL OR PARTITION
.....	EXISTING WALL TO BE REMOVED
---	NEW WALL OR PARTITION
---	NEW ONE-HOUR RATED PARTITION

NOTE: PARTITION TYPE SYMBOLS MAY BE USED SINGLY OR IN CONJUNCTION WITH ONE OR MORE OF THE OTHER PARTITION TYPE SYMBOLS WITHIN THE SAME PARTITION

Ⓢ	SMOKE DETECTOR W/ BATTERY BACKUP
Ⓢ	CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP

**ZONING INFORMATION**

TAX MAP NO. SECTION NO. 5 BLK NO. 081 LOT NO. 10  
 PROPERTY ZONED R-C TOWN OF NORTH HEMPSTEAD

**SCOPE OF WORK**

CONVERSION OF 3 FAMILY BACK TO A 4 FAMILY RESIDENCE

**BUILDING CODE INFORMATION**

USE: R-2  
 CONSTRUCTION TYPE: VB  
 REQ'D SEPARATION OF OCCUPANCIES: 1 HOUR

**TABLE R3012(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND DESIGN				SUBJECT TO DAMAGE FROM	UNIFORM DESIGN TEMP.	ICE-SHIELD UNDESIRABLE PRESENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.			
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE							WEATHERING	FROST LINE DEPTH	TERMITES
20	120	NO	NO	NO	B	SEVERE	36 INCH	MODERATE TO HEAVY	15°	YES	NO	-	-

NOTE: WIND SPEED CLASSIFICATION IN THE RESIDENTIAL CODE OF NEW YORK STATE IS BASED ON 3-SECOND GUST - REFER TO EQUIVALENT 15-MIN WIND SPEEDS (TABLE R3012.1) AT THIS SHEET FOR EQUIVALENT FASTEST MILE WIND SPEED WHEN USING THE PROVIDED TABLES AS REFERENCED FROM THE WOOD FRAME CONSTRUCTION MANUAL (WFCM)



#21617



JM2 ARCHITECTURE, PC  
2410 NORTH OCEAN AVENUE  
SUITE 300  
FARMINGVILLE, NY 11736  
T | 631.320.3305 F | 631.320.3307

Applicant:

Architect of Record:  
JM2 Architecture, PC  
2410 North Ocean Ave. Suite 300  
Farmingville, NY 11736  
631-320-3305

Structural Engineer:

MEP Engineer:

Surveyor:

Project Name

Roslyn Heights Signage

Project Address

154 Mineola Ave, Roslyn Heights, NY 11577

Project Type

Revisions

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE, AND AS SUCH ARE THE PROPERTY OF JM2 ARCHITECTURE, P.C. ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS IN A VIOLATION OF SECTION 7209 SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

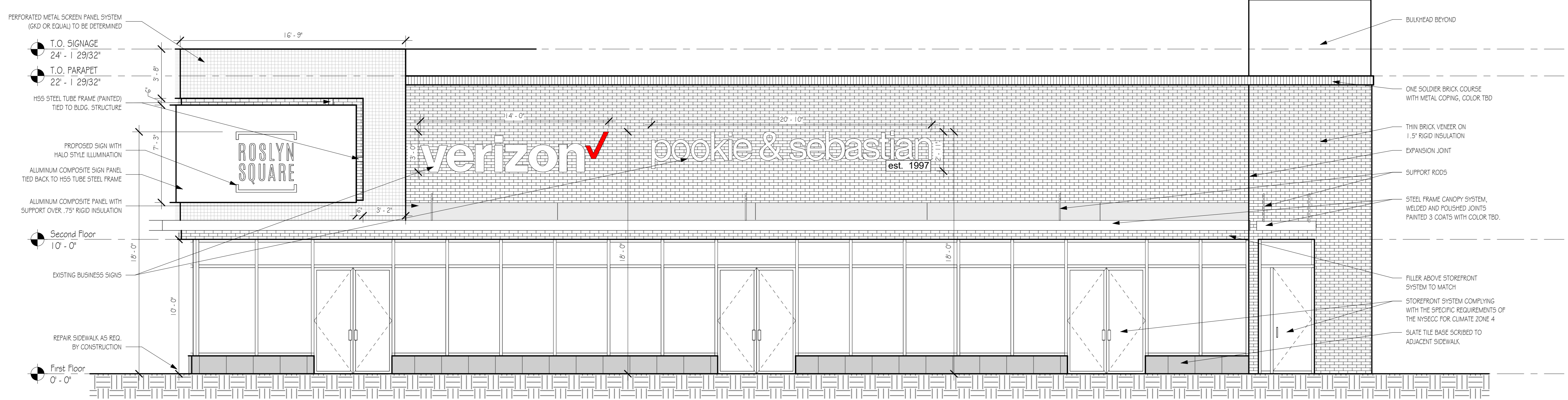
Drawing Title

Elevations

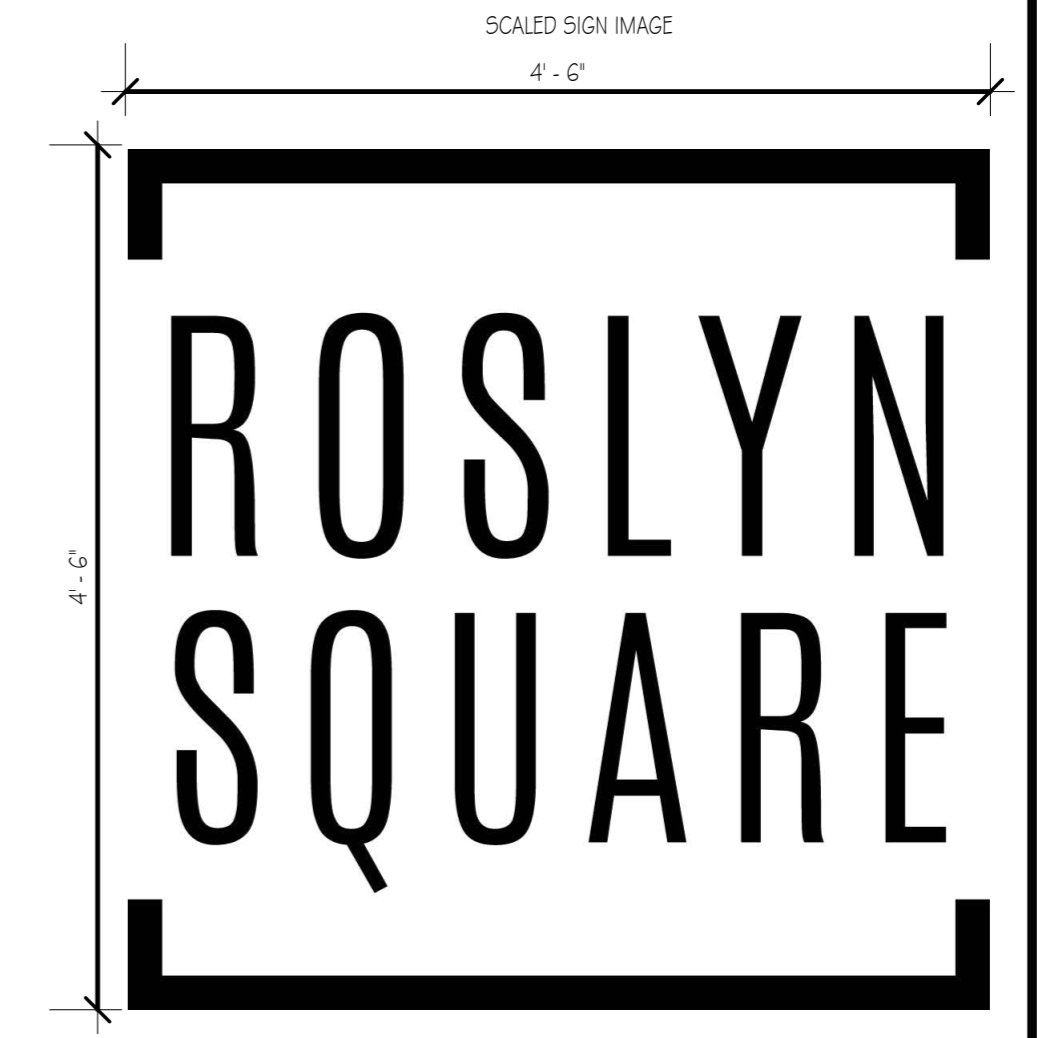
NCTM#	7_-6_-870	BUILDING No:	
NCDHS No.:		JM2 No.:	2024-1420
PLANNING No.:		DATE:	06/12/2024
SEAL & SIGNATURE:		DESIGNED BY:	AS
		CHECKED BY:	JM
		SCALE:	As indicated
		DWG No.:	



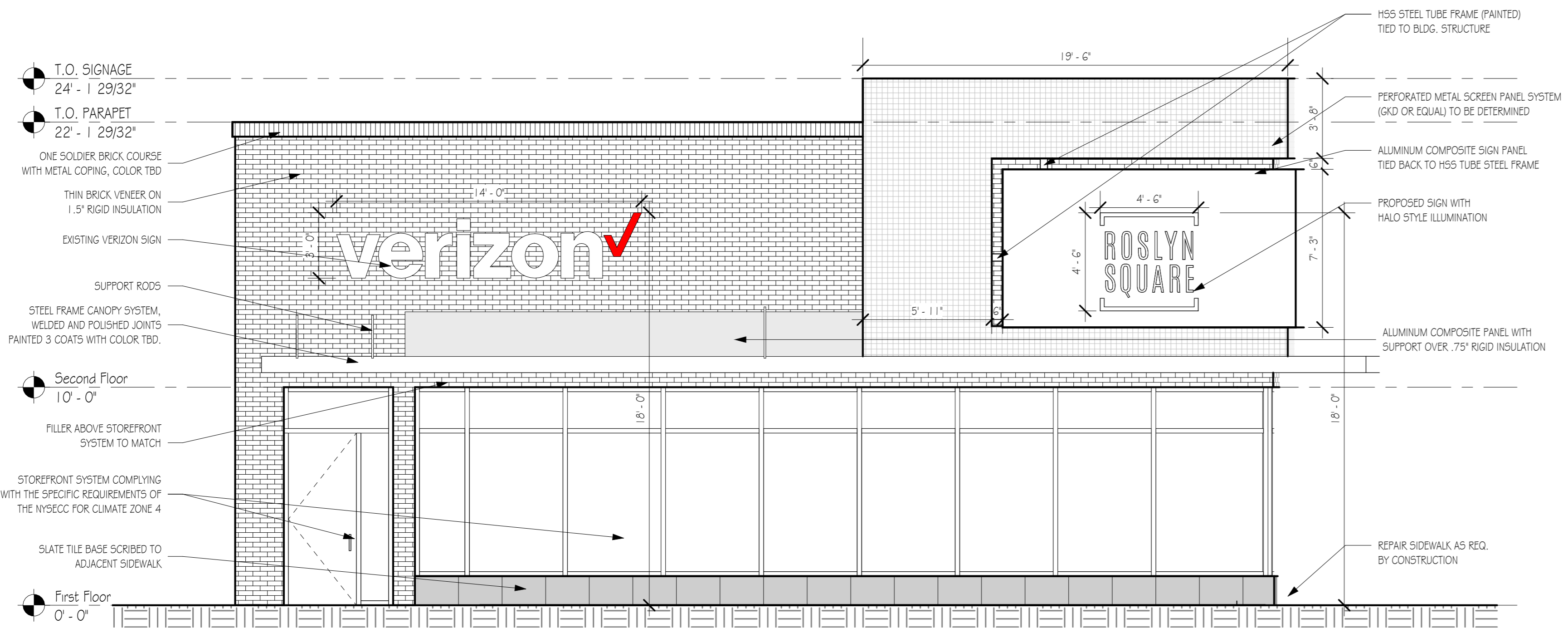
A-100



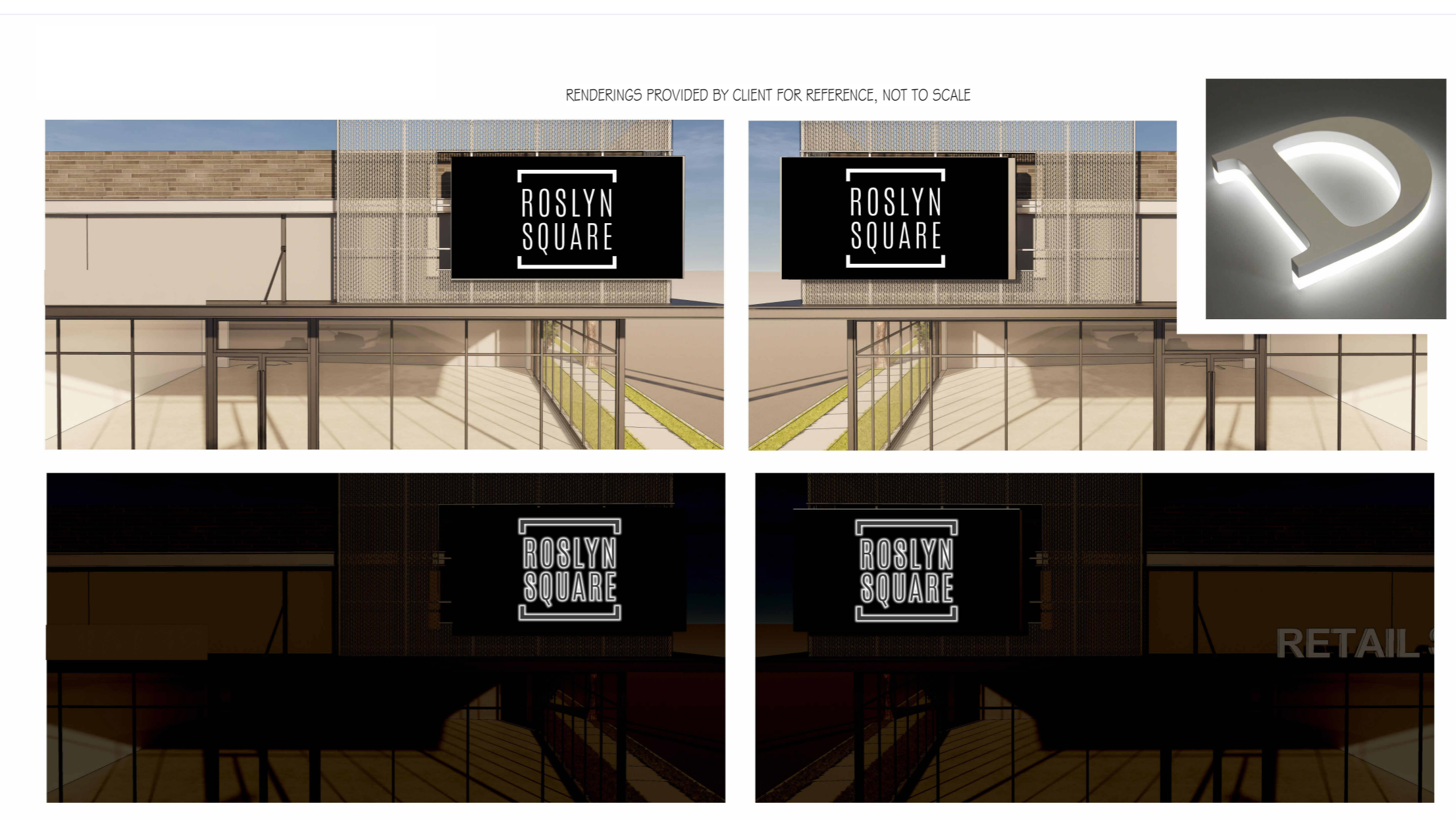
South  
1/4" = 1'-0" A-100



B-B SIGN REQUIREMENTS			
CODE SECTION	DESCRIPTION	REQUIRED	PROPOSED
§70-196(j)(1)(A)	NUMBER OF WALL SIGNS PERMITTED	ONE PERMITTED PER WALL	ONE PER WALL, TWO TOTAL
§70-196(j)(1)(B)	WALL SIGN AREA	24 SF PER FACE MAX.	20.25 SF PROPOSED PER FACE
§70-196(j)(1)(B)	WALL SIGN MAXIMUM HEIGHT	NOT TO EXCEED 4' VERTICAL	4' 6" SQUARE
§70-196(j)(1)(D)	WALL SIGN PROJECTION	1'-0" MAX	0'-4" MAX

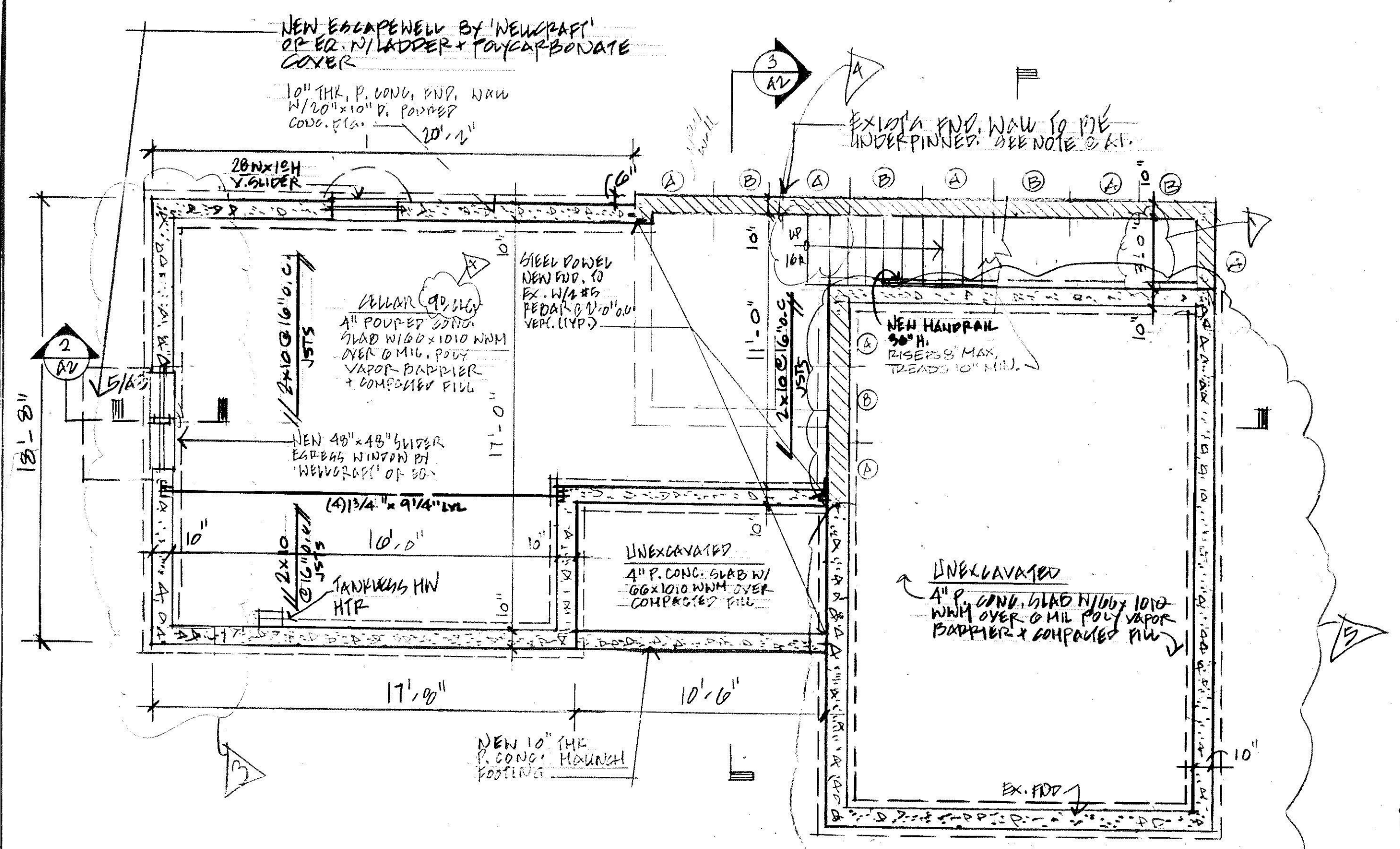


West  
1/4" = 1'-0" A-100

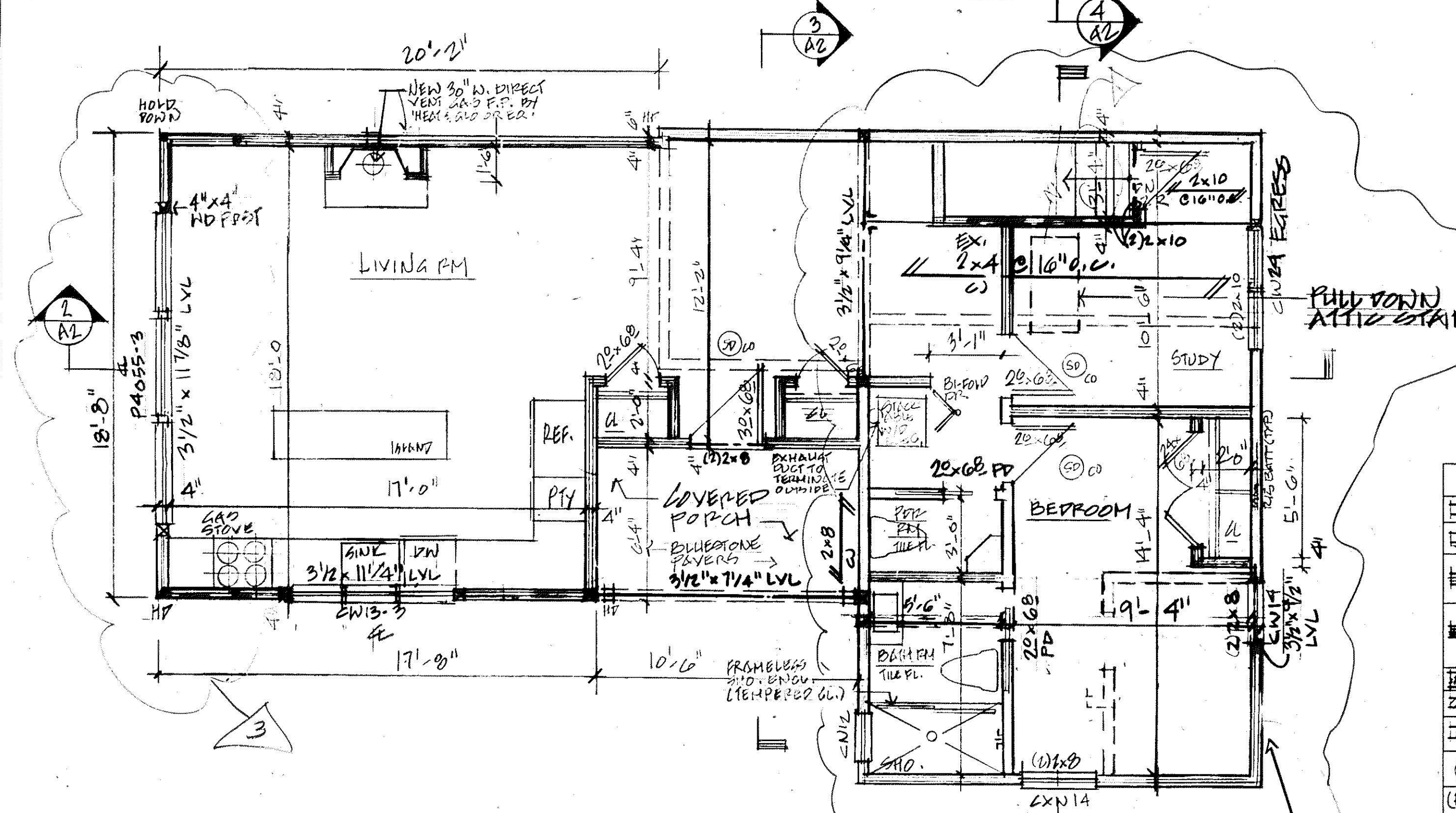


5/14/2024 3:29:39 PM Z:\2024\1420 154 Mineola Ave Roslyn Heights\02-Drawing\REV\T1.420- 154 Mineola Ave Roslyn Heights.rvt

#21634



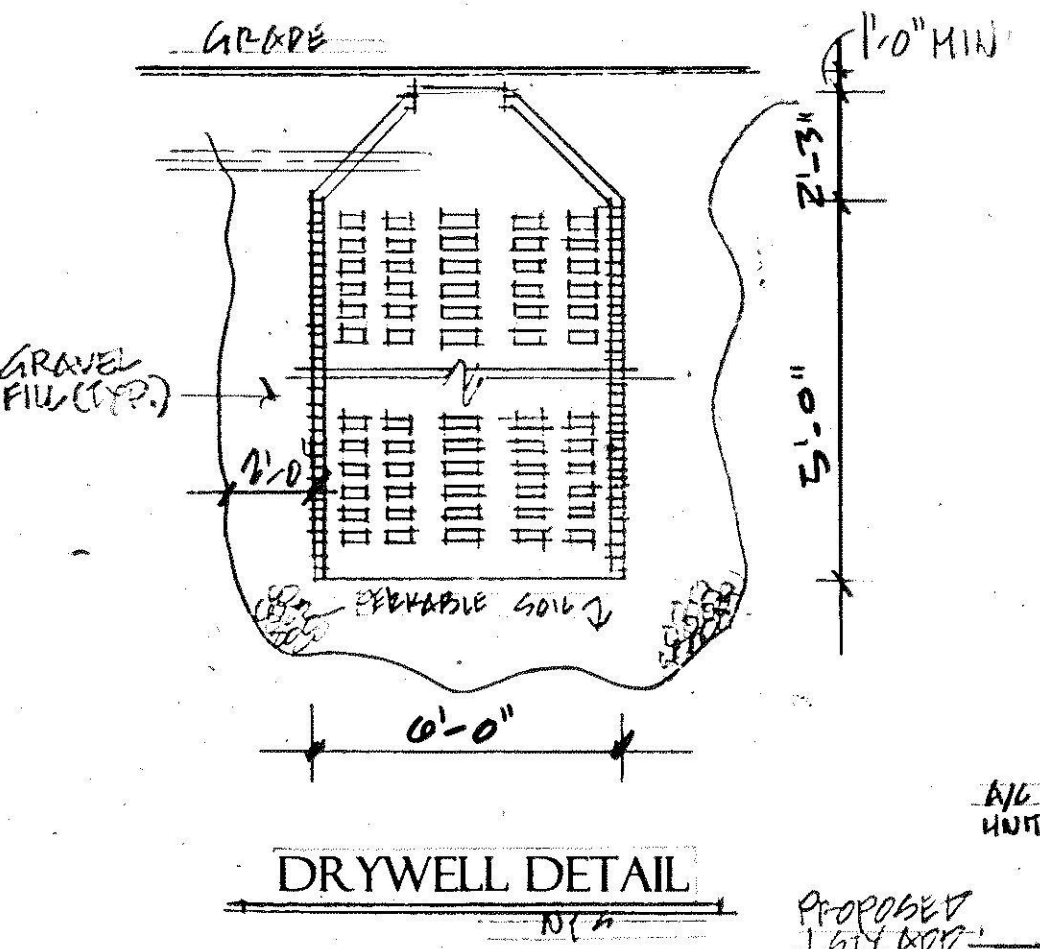
CELLAR PLAN



FIRST FLOOR PLAN

- FOUNDATION NOTES:**
- Contractor shall inspect point of contact at foundation supporting columns for cracks or other deficiencies and advise architect immediately.
  - The bottom surface of stepped footings shall not have a slope exceeding 10% as per the requirements of R403.1.5.
  - The bottom of all exterior footings shall be placed 12" below the undisturbed ground surface as per R403.1.4.
  - Contractor shall verify the depth of all existing foundations at any existing porches under proposed columns, at unexcavated areas and any crawl space foundations any new structure and verify if the thickness (min. 8-10" wide) and depth of the footing (minimum of 3'-0" below grade) with spread 'tee' shaped footings. Notify owner and architect immediately if conditions vary.
  - Underpinning shall be required at any existing concrete footing that is directly adjacent to any new footing that is lower in elevation. New footing shall be poured concrete at a depth to match the new footing elevation. Width of underpinning to match size of existing footing. All sections worked on are not to be greater than 3'-0" wide and worked in alternate sections. Contractor shall verify all elevations and provide adequate shoring and bracing as required under general notes.

- UNDERPINNING NOTES**
- Underpinning procedure to be carried out in three (3) foot sections.
  - Sections with like letters designation may be dug out at the same stage.
  - Sections shall be dug to depth of new footings and filled in with new poured concrete.
  - A two (2) inch gap shall be left between the bottom of existing footings and the top of new poured concrete. This gap shall be filled in with hand packed non-shrink grout.
  - Concrete shall be permitted to cure before proceeding to the next section.



**SYMBOL LEGEND**

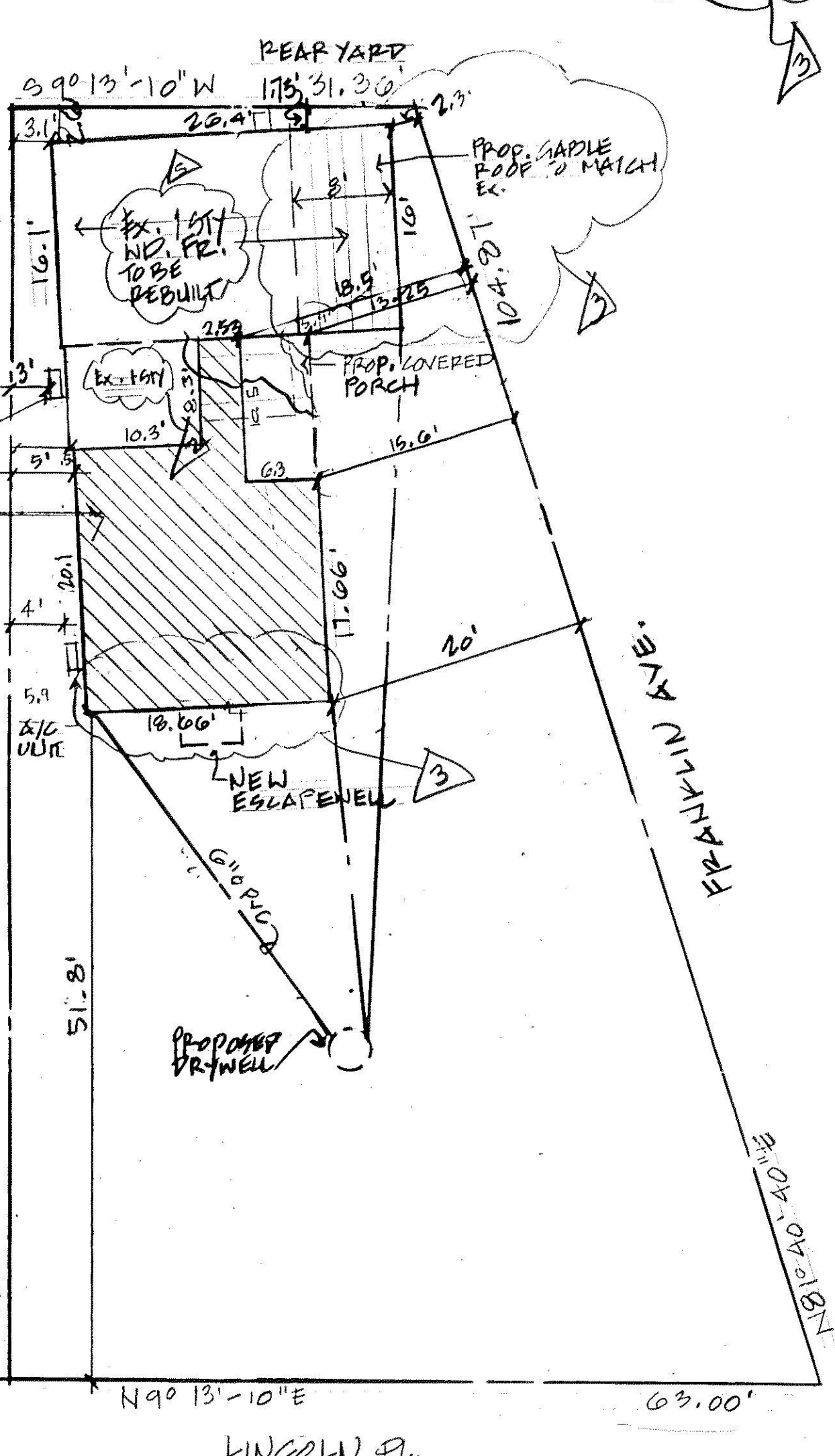
[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	EXISTING CONSTRUCTION TO BE REMOVED
[Symbol]	NEW WOOD FRAME WALLS: 2" x 4" WOOD STUDS @ 16" O.C. w/5/8" GYP BD. EACH SIDE.
[Symbol]	NEW EXTERIOR WALLS: 2" x 4" WOOD STUDS @ 16" O.C. INSULATION AS SPECIFIED, 1/2" CDX PLYWOOD SHEATHING, TYVEX HOUSEWRAP, SIDING AS SPECIFIED.
[Symbol]	NEW POURED CONCRETE FOUNDATION WALLS
[Symbol]	BRICK VENEER
[Symbol]	STONE VENEER
[Symbol]	NEW HARD WIRED SMOKE/CARBON MONOXIDE DETECTOR
[Symbol]	EGRESS WINDOW
[Symbol]	HOLD DOWN
[Symbol]	POCKET DOOR

- NOTES:**
- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL BUILDING SETBACK LINES BY A LICENSED SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
  - GENERAL CONTRACTOR SHALL LOCATE ALL SERVICE, ELECTRICAL, TELEPHONE, H.V.A.C.
  - PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL VERIFY ALL FINISH FLOOR ELEVATIONS IN NEW AND EXISTING AREAS AND ADJUST TOP OF NEW FOUNDATION WALL.
  - ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
  - GENERAL CONTRACTOR SHALL VERIFY ADEQUATE DEPTH OF FOUNDATION WALL (3") UNDER PRIOR TO POURING NEW FOUNDATION WALL.
  - CONTRACTOR SHALL ENSURE PROPER DRAINAGE AND WATERPROOFING AT PERIMETER OF NEW CONSTRUCTION AND REGRADE AS REQUIRED.

**ZONING ANALYSIS**

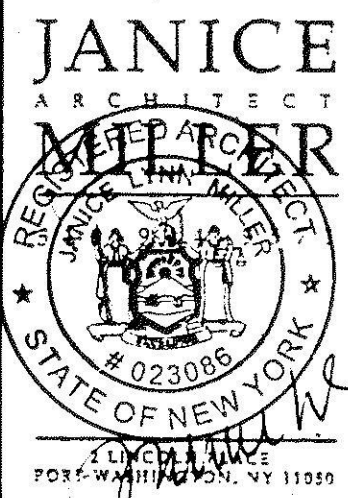
TOWN OF NORTH HEMPSTEAD  
 RESIDENCE 10 DISTRICT  
 SECTION: 5 BLOCK: 41 LOT: 7

ISSUE	BEING PROPOSED	EXISTING	PROPOSED
MIN. LOT AREA	4500 SF	4719.5 SF	4719.5 SF
LOT COVERAGE	35%	10.7%	18.9% 892 SF
MIN. FRONT YARD SETBACK	25'	7.2'	51.8'
MIN. FRONT YARD SECONDARY SETBACK	20'	2.2'	15.6'
MIN. REAR YARD	15'	1.2'	1.3'
MIN. SIDE YARD	5'	4.6'	5.0'
MAX. HEIGHT	30'		15'
MAX. EAVE HGT	22'		9.8'
GRASSY PL. AREA 150 = 20595	1ST FL. ATTIC OVER 12' 101.6V	502 SF	892 SF
		502 SF	892 SF



PLOT PLAN

- GENERAL NOTES**
- These general notes are part of the plans and specs and are to be complied with in all respects. More restrictive notes mentioned elsewhere are to take precedence over these notes.
  - All construction shall comply with the rules and regulations of the building code of N.Y. state and local towns and/or villages and other agencies having jurisdiction over the required work for this project. This shall not be construed to mean that any requirements set forth on the drawings may be modified because they are not specifically required by code.
  - Contractor shall inspect premises and verify all dimensions and job conditions prior to submitting bid. Any discrepancies or ambiguities shall be brought to the attention of the architect.
  - No construction or demolition work to commence before building department having jurisdiction issues a building permit.
  - All contractors shall be fully covered by workmen's compensation insurance and such insurance as may be required by local laws.
  - Contractor shall guarantee for a period of (1) year from the date of final completion and acceptance by the owner all work performed under their respective contracts.
  - Owner to provide building permit, survey and final survey.
  - Contractor to expedite the work and establish with owner a completion date.
  - Do not scale drawings, written dimensions supercede scaled dimensions.
  - If during the course of construction, condition exists which differs from that as indicated on the plans, contractor to notify owner/architect of any discrepancies prior to continuation of the work. Should he fail to follow this procedure he shall assume all responsibility and liability arising therefrom.
  - All work listed on the construction note sheets and shown or implied on all drawings shall be supplied by the contractor whose building trade status requires same.
  - Contractor shall provide all necessary support, bracing, shoring, etc. as may be required for the construction of the project and restore any portion of building damaged during alteration.
  - Contractor shall provide and install temporary partitions, fencing, lighting, etc. to protect existing construction and so the owner may continue to occupy the building in a safe manner.
  - Construction and removal of debris shall be carried out progressively in order to keep adjacent spaces as clean as possible.
  - Contractor shall repair, or replace, to match existing condition, all surfaces, trim, doors, etc. damaged during the progress of the work or the removal of which necessitated by the work performed under the contract.
  - Architect shall not be responsible for the contractor's execution of the work not according to plans and specifications.
  - Contractors shall, upon completion of their respective work, remove from the premises all debris, tools, excess materials and appurtenances, and to leave the premises in "broom clean" condition.
  - These drawings are to be utilized only for this project.
  - STORMWORK**
  - Contractor shall strip topsoil from location of new construction and upon completion of construction topsoil to be replaced and raked clean, free of debris.
  - Grading around new construction shall slope away from house and blend into existing.
  - Excess fill to be removed from site, unless otherwise directed.
  - Final landscape by owner.
  - Contractor shall repair or replace existing walks, driveways, etc. damaged by construction.
  - Do not backfill against foundation walls unless they are properly braced by floor slabs, temporary shoring or balanced fill. Slabs to be placed on undisturbed soil or compacted fill free of all organic materials.
  - Provide 15# felt membrane over troweled-on mastic for waterproofing on all foundation walls.
  - Upon backfilling foundation, treat soil for termite protection in addition to providing termite shields and weanment sills.
  - STRUCTURAL WORK**
  - Dimensions shown on these plans are nominal.
  - Contractor shall field verify actual dimensions.
  - Dimensions for framing are for rough framing.
  - Contractor to provide any temporary shoring, underpinning, and/or temporary structural work required for the adequate execution to the job.
  - CONCRETE & FOUNDATIONS**
  - Soil bearing capacity assumed to be 3000 PSI, should poorer conditions be encountered, actual bearing capacity to be determined and footings to be redesigned.
  - All concrete work to conform to latest ACI code.
  - All concrete to be a minimum 3,500 PSI at 28 days, reinforcing steel shall conform to ASTM A-615 Grade 60. All foundations to be adequately braced prior to backfilling.
  - Contractor to provide and coordinate installation of all sleeves required to accommodate plumbing, mechanical and electrical trades.
  - Wall forms to be in place 3 days minimum.
  - Provide 2" x 4" keyway between footing and foundation wall.
  - All footings to have a 6" to 8" projection on each side of the wall above. Provide 3 #5 continuous rebars unless otherwise noted.
  - All footings shall bear directly on undisturbed soil having a minimum safe bearing capacity of 2 tons/SF.
  - All slabs on grade shall rest on 6" compacted base of clean sand or gravel. Install 6 mil polyethylene vapor barrier prior to casting slab.
  - All slabs on grade to have 6 x 6 W1.4 W/M reinforcing conforming to ASTM A185.
  - Bottom of footings shall be carried down at least 3 ft. below lowest level of adjoining ground or pavement surface.
  - Anchor bolts to be spaced 5/8" dia. x 12" long with 3" hook and 3" x # washer spaced 36" o/c maximum. Provide 2 bolts at each corner spaced 1'-0" apart.
  - STEEL**
  - All structural steel to be A-36 22,000 PSI, latest edition.
  - All steel fitch plates to be through bolted with 5/8" steel bolts @ 16" O.C. staggered.
  - All steel to be shop painted prior to delivery.
  - All reinforcing bars to be continuous unless specific lengths are shown.
  - Typical cover for all reinforcing bars to be 3" for bars placed against earth and 2" for bars placed against forms unless otherwise noted.
  - WOOD**
  - All framing shall conform to the N.Y. state construction code. All beams construction grade, studs standard, rafters standard.
  - All wood in contact with concrete or masonry shall be pressure treated unless otherwise noted.
  - All joists, headers, beams and rafters to have minimum 2" bearing.
  - Provide collar ties at roof rafters as per state and local codes.
  - All framing lumber to be Douglas Fir #2 or better, grade marked.
  - All beams construction grade, studs standard, rafters standard construction mix. Structural lumber with higher grading will be indicated on plans.
  - Nominal sizes of lumber noted, actual sizes used for stress calculations.
  - Sheathing shall be 5/8" cdx exterior grade fir plywood under roofing and finish siding.
  - Install bridging in all floor and flat roof joists, ceiling joists and beams where the nominal depth to thickness ratio of joist exceeds 6. Bridging shall be installed at 8'-0" o.c. max. and shall be 1" gauge metal cross bridging.
  - Wood joists supported by steel beams to be connected to 2" x 6" wood blocking bolted to steel beams with (2) 1/2" diameter bolts 4'-0" o.c. minimum wood joist lap is 4'.
  - All dimensions are to stud faces or centerline of beams.
  - Double joists under all partitions parallel to same and around openings in floors and roof.
  - All floor joists supporting bathroom fixtures shall be doubled or 12" o.c. whichever condition is deemed practical in the field.
  - All headers to be 2" x 8" unless otherwise noted.
  - FINISH & MISCELLANEOUS WORK**
  - Drywall shall be 5/8" gypsum wallboard at walls and ceilings with (3) coats tape and spackle finish, ready for paint.
  - All drywall outside corners shall have metal bead.
  - Contractor shall repair, or replace, to match existing condition, all surfaces, trim, doors, etc. damaged during the progress of the work or the removal of which necessitated by the work performed under the contract.



**ROWLINSON RESIDENCE**  
 15 Lincoln Pl. Port Washington, NY

PLOT PLAN, CELLAR PLAN, FIRST FL. PLAN

DATE: 7/27/22  
 DATE: 8/13/22

REVISIONS: 1/19/22, 2/13/22, 3/6/22, 1/4/22

DRAWN: JLM  
 SCALE: AS NOTED  
 FILE: 2112

**A1**

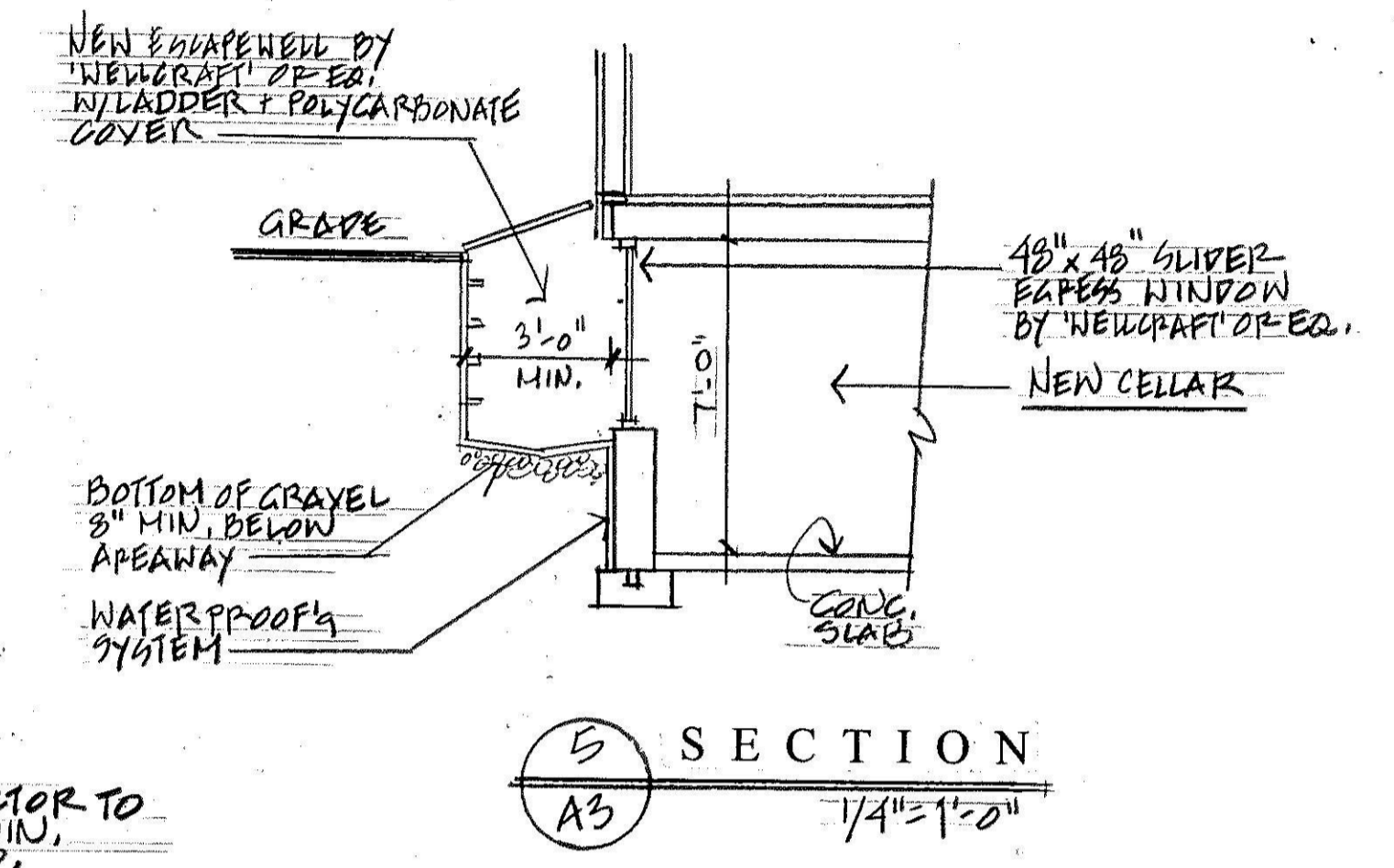
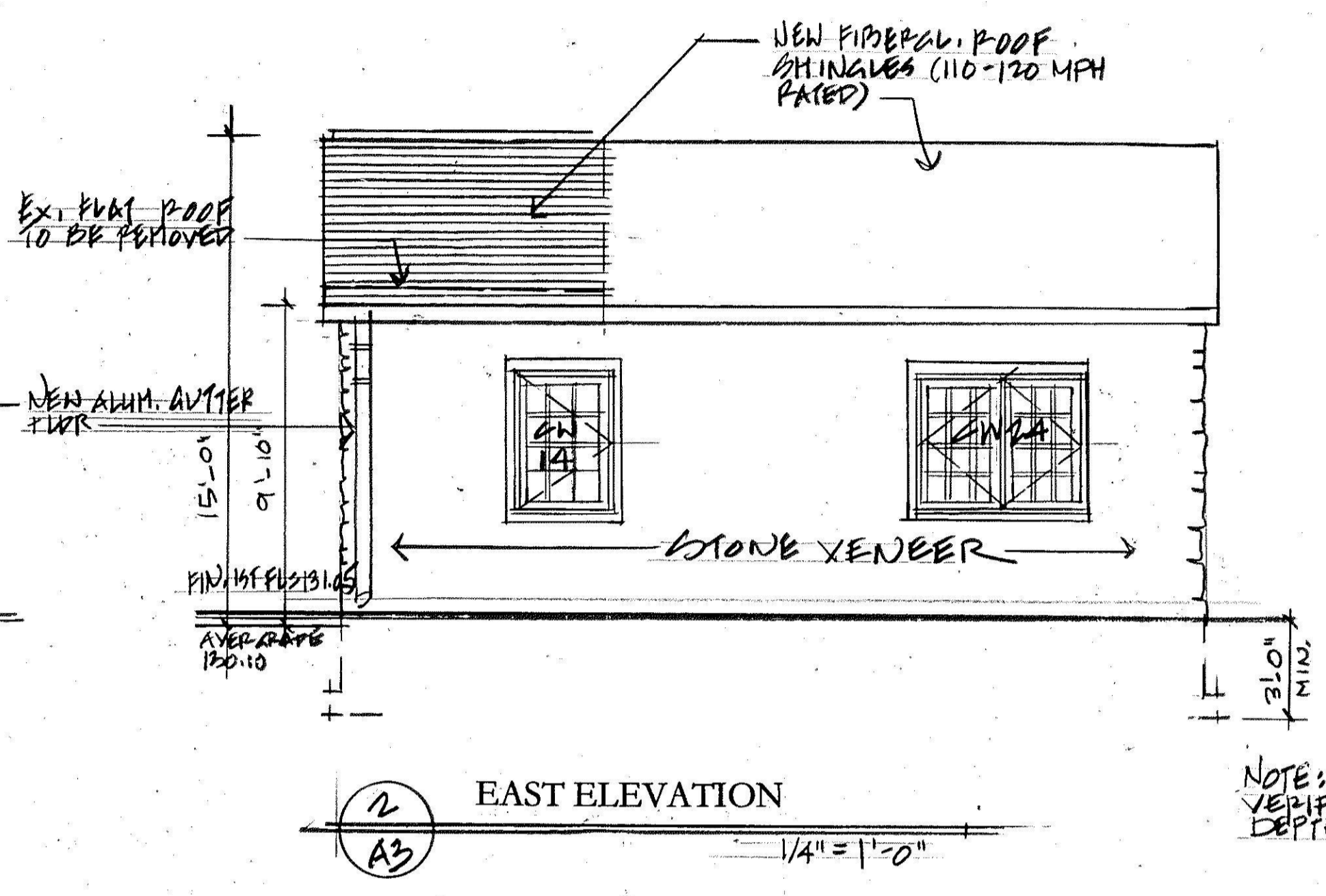
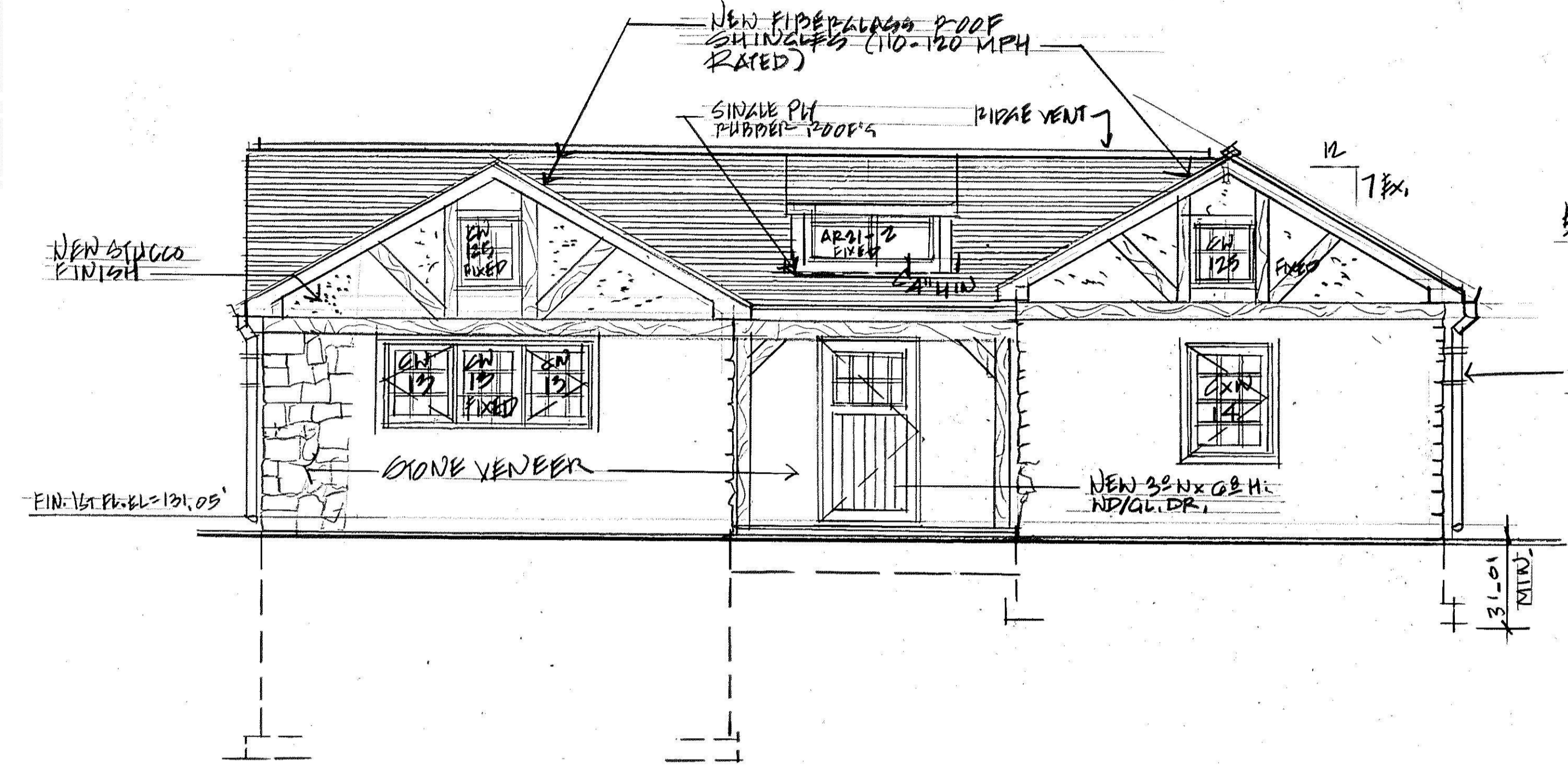
Carlos Reyes  
 10/17/2024

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- ROOF NOTES:**
- SEE BUILDING ELEVATIONS FOR ALL ROOF PITCHES.
  - ADJUST BIRDSMOUTH OR PLATE HEIGHT TO ALIGN NEW AND EXISTING EAVES, OVERHANGS AND SOFFITS.
  - PROVIDE ACCESS TO NEW ATTIC FROM DWELLING OR FROM ANY EXISTING ATTIC.
  - PROVIDE COPPER CRICKETS, FLASHING AND COUNTERFLASHING WHERE WALLS OR CHIMNEY MEET THE ROOF.
  - PROVIDE 4" x 4" WOOD POST TO UNDERSIDE OF RIDGE BOARDS AND TO SIT ON DOUBLE WOOD FRAMING IN ATTIC FOR SUPPORT.
  - PROVIDE DOUBLE WOOD FRAMING AT CHIMNEY OPENING. SEE GENERAL NOTES FOR MINIMUM AIR SPACE CLEARANCES AND FIREBLOCKING REQUIREMENTS.
  - PROVIDE FLASHING IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING WALL AND ROOF THROUGH JOINTS, MOISTURE PERMEABLE MATERIALS AND INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH ROOF PLANE.

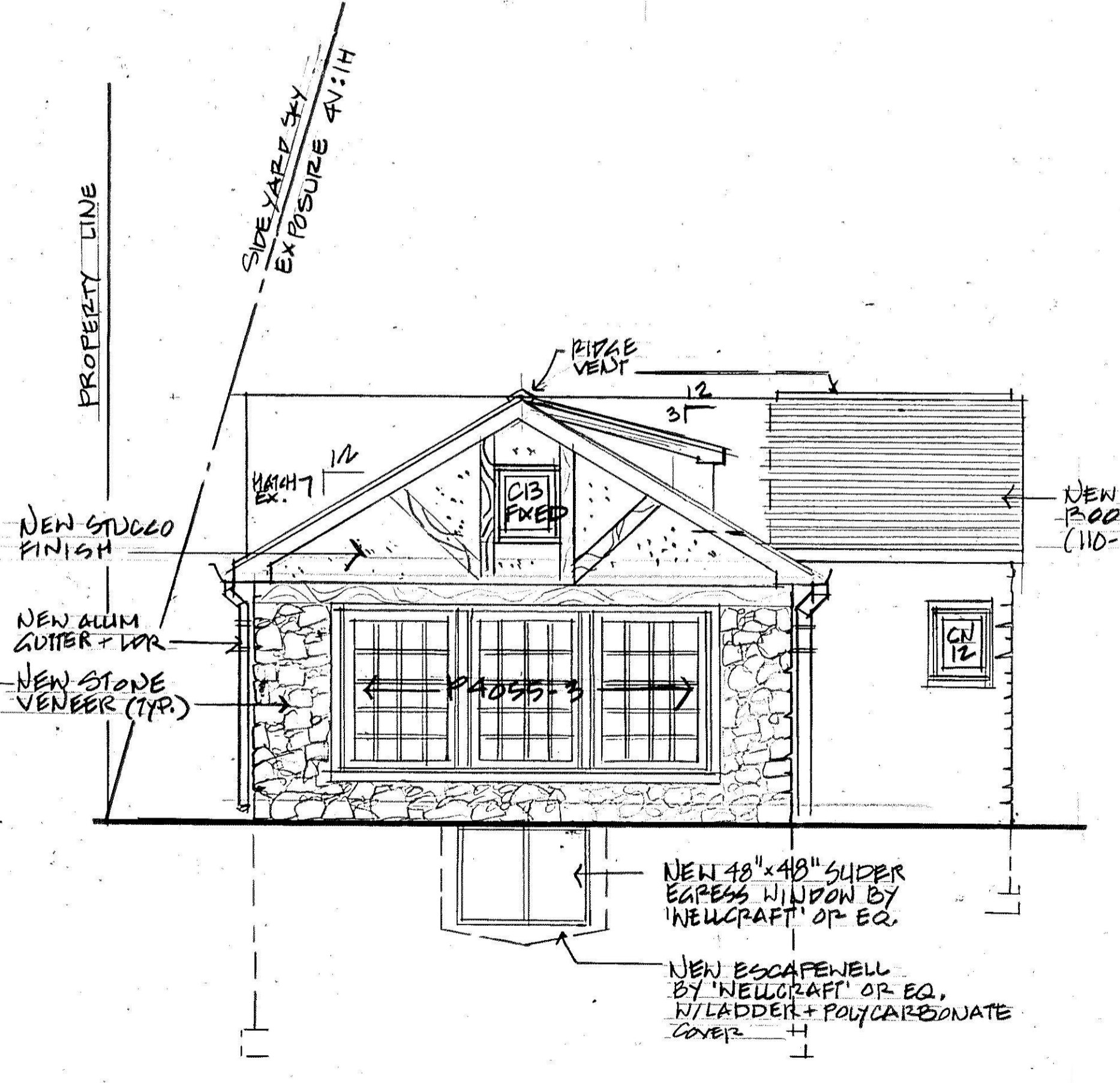
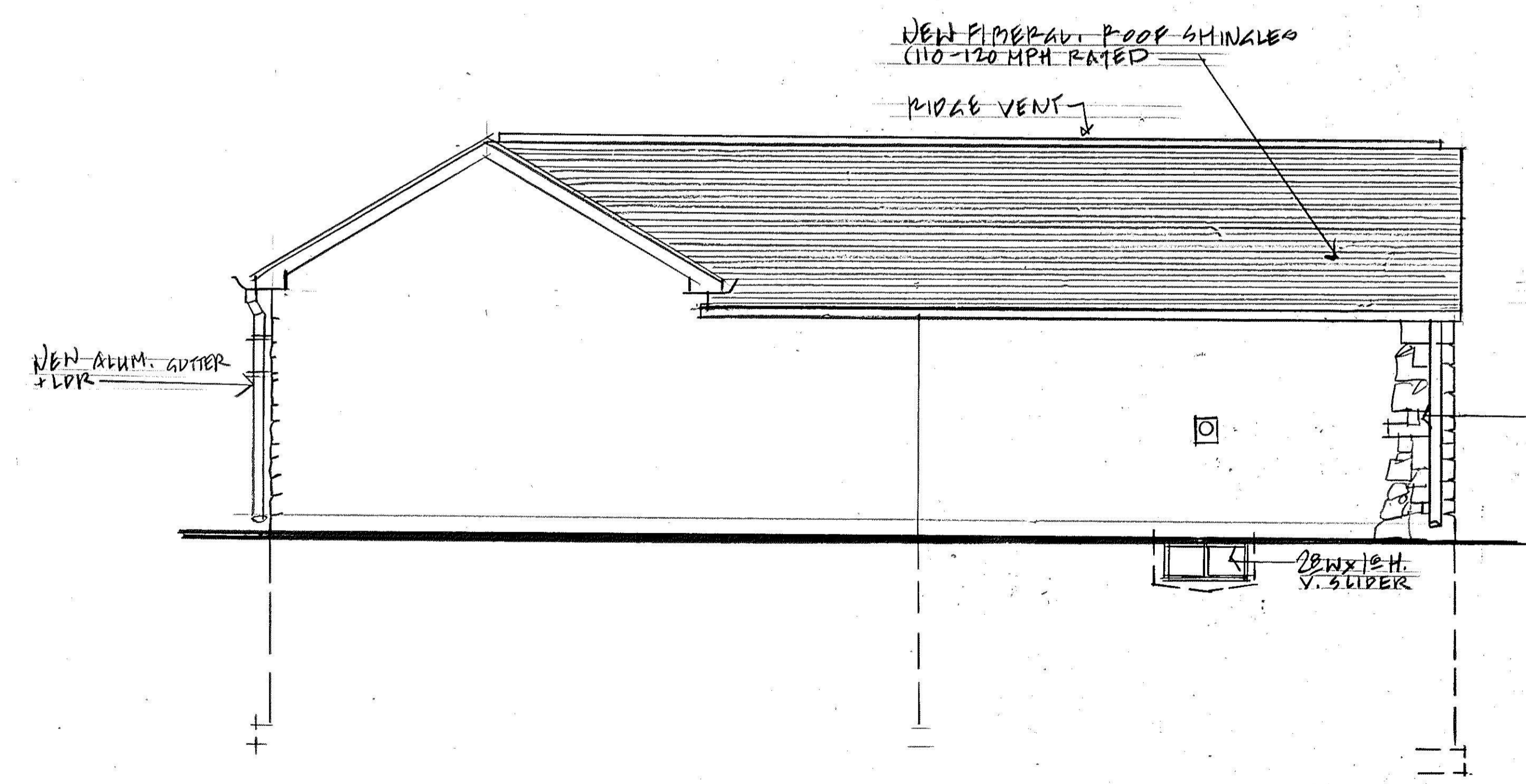


NOTE: CONTRACTOR TO VERIFY 3'-0" MIN. DEPTH OF FND.

1 SOUTH ELEVATION  
1/4" = 1'-0"

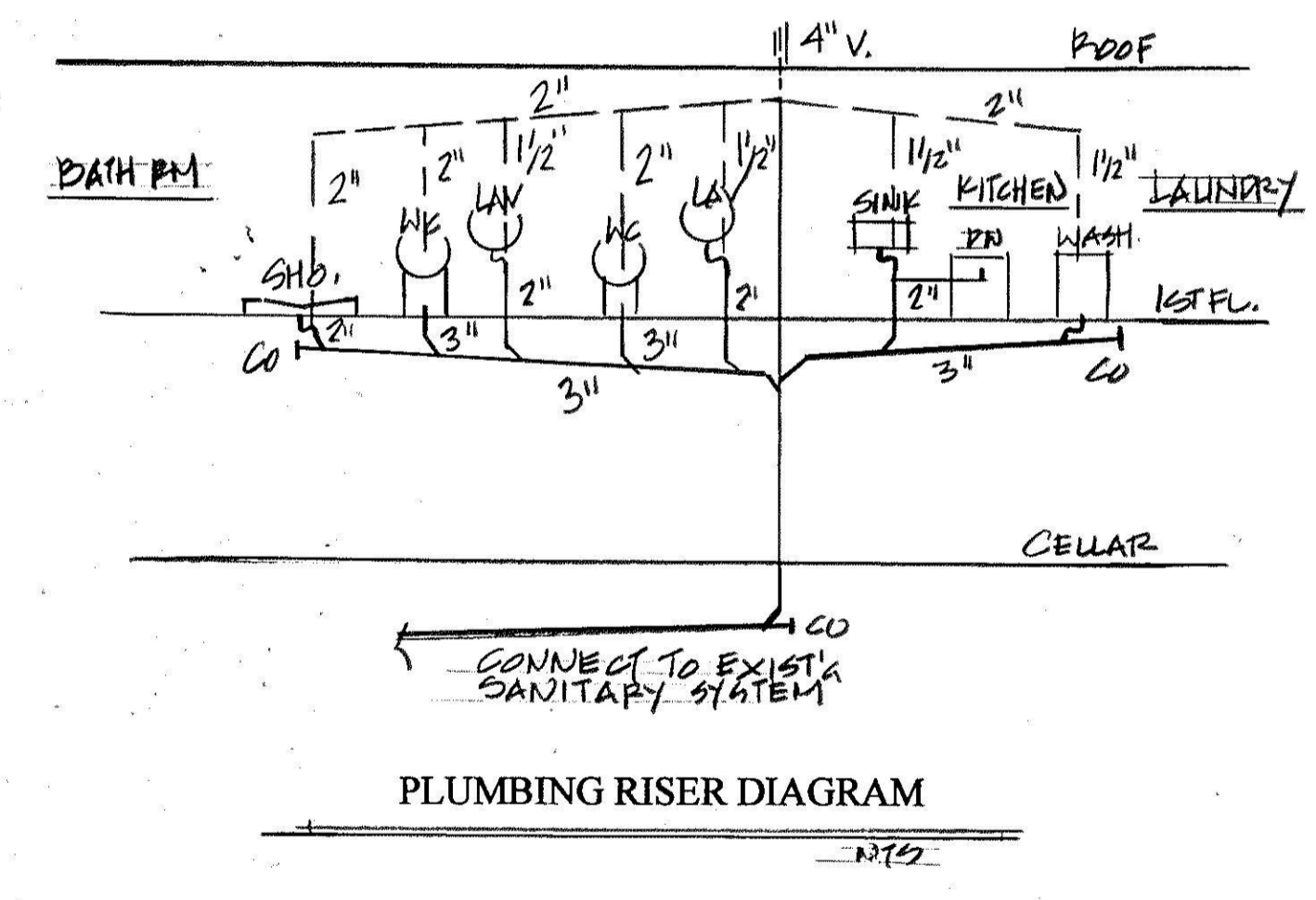
2 EAST ELEVATION  
1/4" = 1'-0"

5 SECTION  
1/4" = 1'-0"



3 NORTH ELEVATION  
1/4" = 1'-0"

4 WEST ELEVATION  
1/4" = 1'-0"



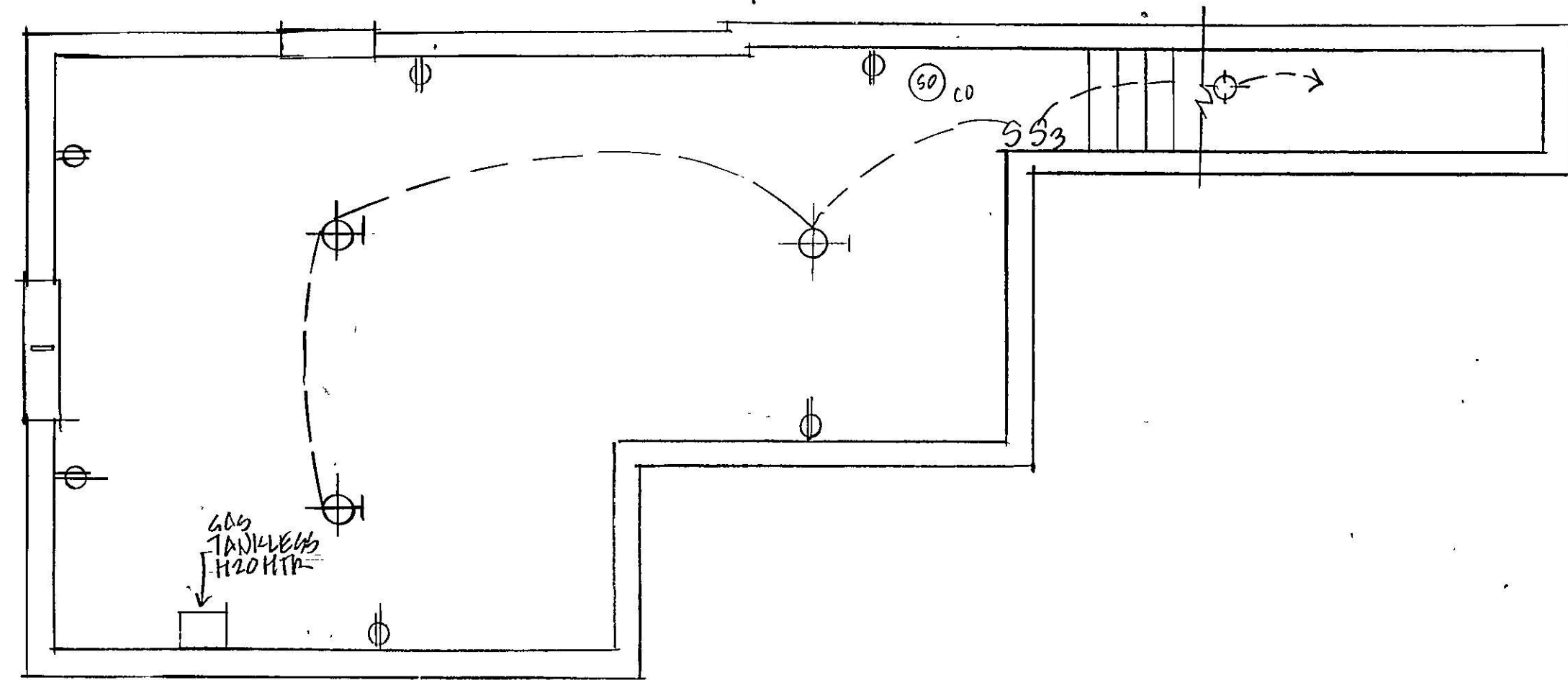
- PLUMBING NOTES:**
- ALL PLUMBING WORK SHALL COMPLY WITH NYS BUILDING CODES AND ALL APPLICABLE LOCAL CODES.
  - ALL PLUMBING SHALL BE PERFORMED BY OR UNDER THE DIRECTION OF LICENSED PLUMBER.
  - REMOVE ALL ABANDONED SOIL, VENT AND WATER LINES.
  - PROVIDE SHUT-OFF VALVES FOR ALL FIXTURES. FURNISH AND INSTALL ALL WASTE, SOIL, VENT AND WATER LINES FOR NEW FIXTURES. EXTEND HOT WATER SYSTEM TO PROVIDE DOMESTIC HOT WATER AS REQUIRED.



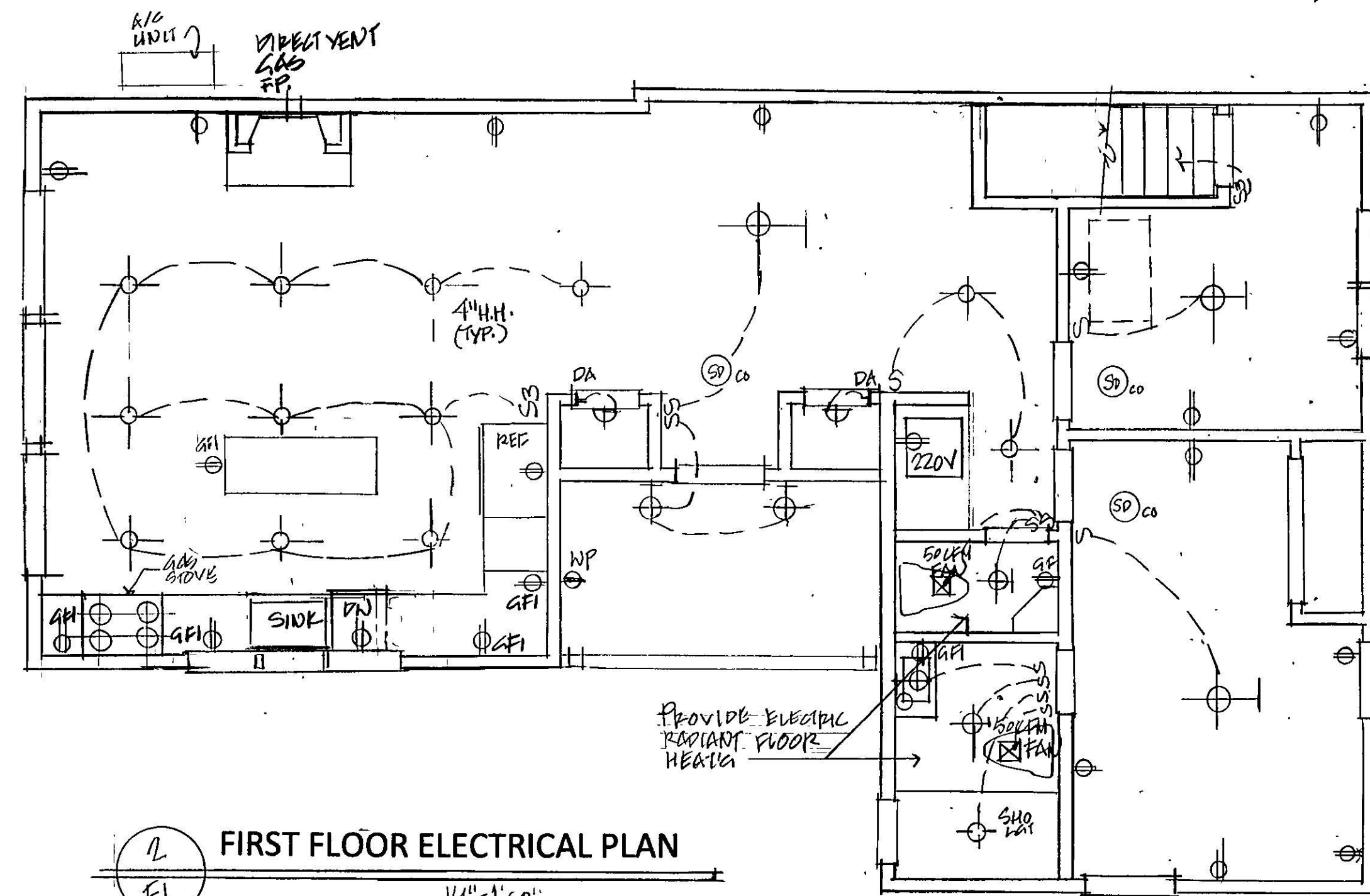
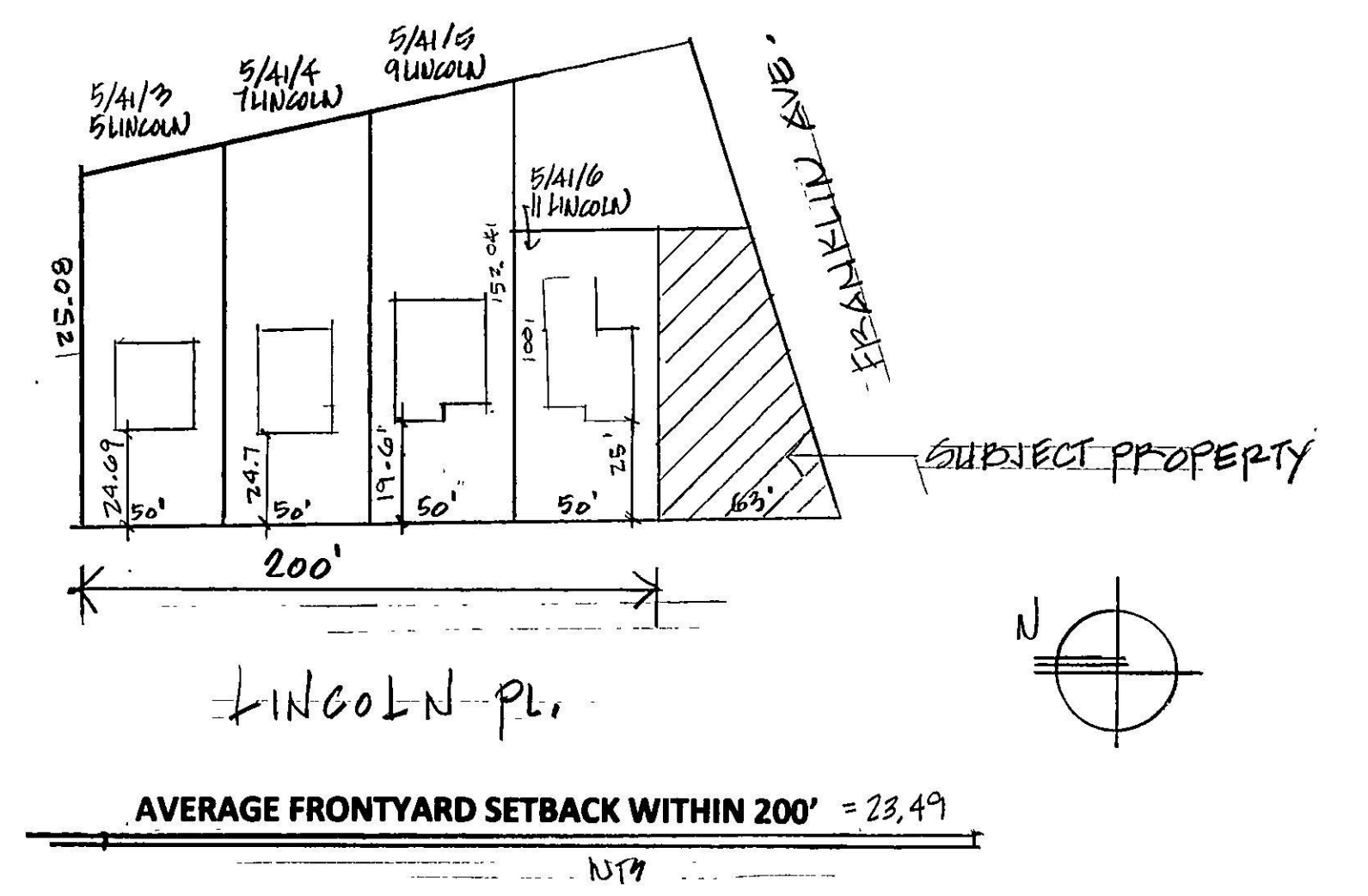
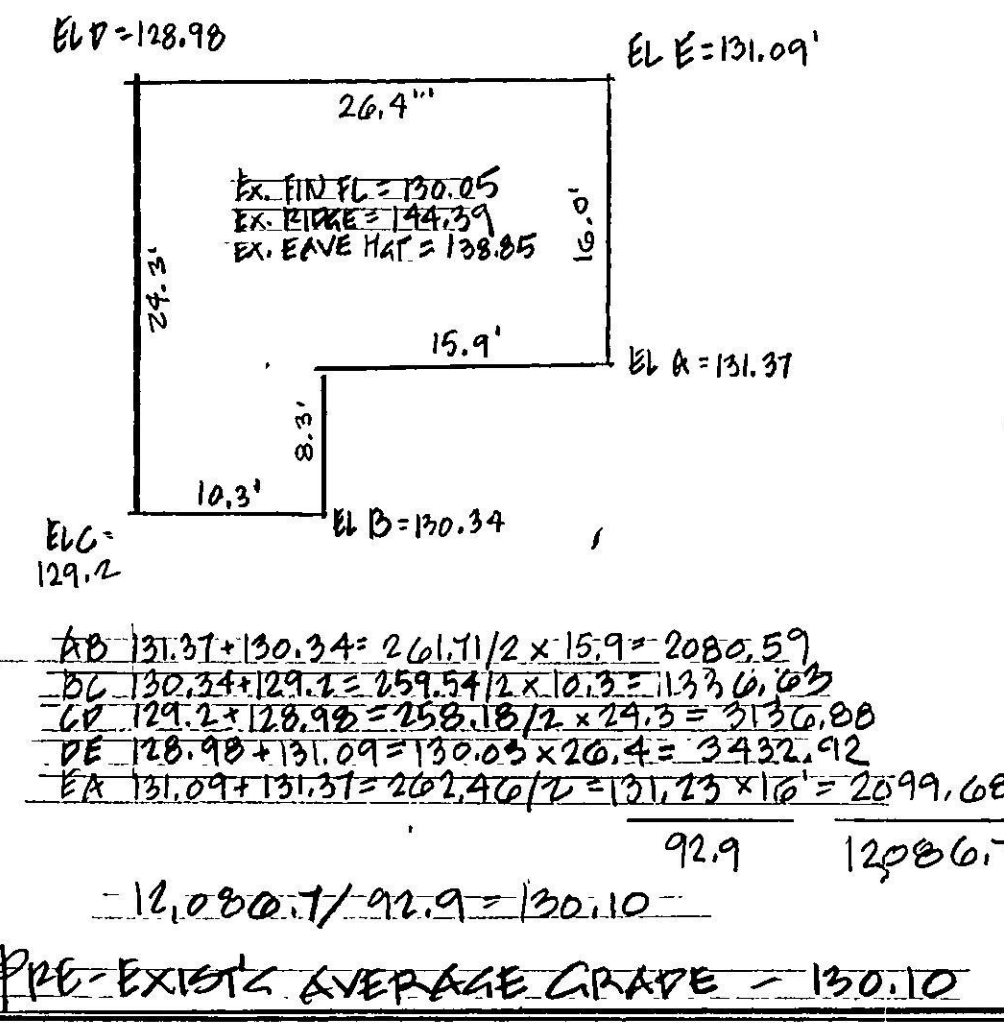
<b>JANICE MILLER</b> ARCHITECT 516-944-9571	<b>ROWLINSON RESIDENCE</b> 15 Lincoln Pl. Port Washington, NY	
	ELEVATIONS	
REVISIONS 1/26/17/22	DATE 2/23/24	DRAWING A3
DRAWN JLM	SCALE 1/4" = 1'-0"	FILE 2112

2 LINCOLN PLACE  
PORT WASHINGTON, NY 11050

DISAPPROVED  
Carlos Reyes  
10/17/2024



1  
E1  
CELLAR ELECTRICAL PLAN  
1/4" = 1'-0"



2  
E1  
FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

**LIGHTING & ELECTRICAL SYMBOL LEGEND**

- ⊕ DUPLEX OUTLET
- ⊕ GFI PROTECTED OUTLET
- ⊕ WATERPROOF OUTLET
- S SINGLE POLE SWITCH
- S (3) WAY SWITCH
- SY DIMMER SWITCH
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ⊕ RECESSED HIGH HAT
- ⊕ FLUORESCENT FIXTURE
- UNDERCOUNTER LIGHTS
- ⊕ EXHAUST FAN
- ⊕ SMOKE/CARBON MONOXIDE DETECTOR (HARD WIRED)
- ⊕ CABLE OUTLET

- ELECTRICAL NOTES**
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF A LICENSED ELECTRICIAN.
  - CONTRACTOR SHALL OBTAIN 'UNDERWRITER'S CERTIFICATE COVERING ALL ELECTRICAL WORK PERFORMED AS PART OF THIS CONTRACT.
  - ELECTRICIAN SHALL VERIFY LOCATION OF ROUGHING BOXES WITH OWNER/ARCHITECT PRIOR TO WIRING.
  - CONTRACTOR SHALL SUPPLY AND INSTALL ALL JUNCTION BOXES, WIRING, LIGHTING AND OUTLETS WHERE INDICATED ON PLANS.
  - OUTLETS SHALL BE DUPLEX GROUNDED TYPE, GFI AND/OR WEATHERPROOF WHERE INDICATED (LEVITON OR APPROVED EQUAL).
  - SWITCHES TO BE SILENT TYPE ROCKER SWITCHES, WHITE FINISH (LEVITON OR APPROVED EQUAL).
  - SURFACE MOUNTED FIXTURES SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
  - GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL SMOKE DETECTION DEVICES IN COMPLIANCE WITH SECTIONS 721.1 AND 1060.10 OF THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE. DEVICES SHALL BE HARD WIRED AND INTERCONNECTED AND BE LOCATED A MINIMUM OF 18 INCHES FROM ADJACENT WALLS.
  - CONTRACTOR SHALL IDENTIFY AND LABEL ALL NEW CIRCUITS UPON COMPLETION OF THE JOB.
  - CONTRACTOR SHALL VERIFY AND EVALUATE EXISTING ELECTRIC SERVICE AND PROPOSE UPGRADE IF NECESSARY.
  - A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS AS PER SECTION 404.1 NYS ENERGY CODE.
  - GC TO COORDINATE LOCATION OF THERMOSTATS, AND TELEPHONE LOCATIONS W/OWNER.

**INTERIOR NOTES**

- WALLBOARD & WALL FINISHES**
- Gypsum wallboard shall be screw applied (no nails).
  - All new walls and ceiling to receive 5/8" gypsum wallboard shall, (3) coats tape and spackle and be made ready for paint by owner.
  - Moisture resistant wallboard in bathrooms.
  - Wall tile in bathroom to be selected and purchased by owner and installed by contractor.
  - Provide 1/2" wonderboard at shower.
- FLOORING**
- Provide new wood flooring throughout (unless otherwise noted.) Floor to be sanded and stained w/ (3) coats polyurethane finish.
  - Master bathroom and powder room floors to be tile in cement bed, to be selected and purchased by owner and installed by contractor.
- INTERIOR DOORS**
- All interior doors to be 1 3/8" thick pine doors sized as indicated on the plans.
  - Doors shall not be pre-bored for locksets.
  - Hardware as provided by owner, installed by contractor.
- MISCELLANEOUS**
- Contractor to include supply and installation of bathroom shower, complete with vinyl pan base and frameless tempered glass enclosures in base bid.
  - Bathroom to have thin set ceramic tile at shower. Tile as selected by owner, installed by contractor.
  - Plumbing fixtures, faucets, trim pieces & bath vanities to be supplied by owner, contractor to install and make all required electrical and mechanical connections.
  - Kitchen cabinets to be supplied by owner. Contractor to install and make all electrical and mechanical connections.
  - Kitchen appliances to be purchased by owner, installed by contractor.
  - Kitchen countertops to be purchased by owner, installed by stone contractor.
  - Tile backplash to be supplied by owner, installed by contractor.
  - Fireplaces @ living room and family room to receive stone surround with wood detail treatment.

**HEATING & AIR CONDITIONING NOTES:**

- INSTALL NEW "CASSETTE" MINI-SPLIT HVAC UNITS IN THE FOLLOWING LOCATIONS: MASTER BEDROOM, STUDY, LIVING ROOM, KITCHEN.

**Smoke alarms shall be installed in the following locations:**

- In each sleeping room.
  - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
  - On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings with split levels a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- Carbon monoxide alarms in dwelling units shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.**  
Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.

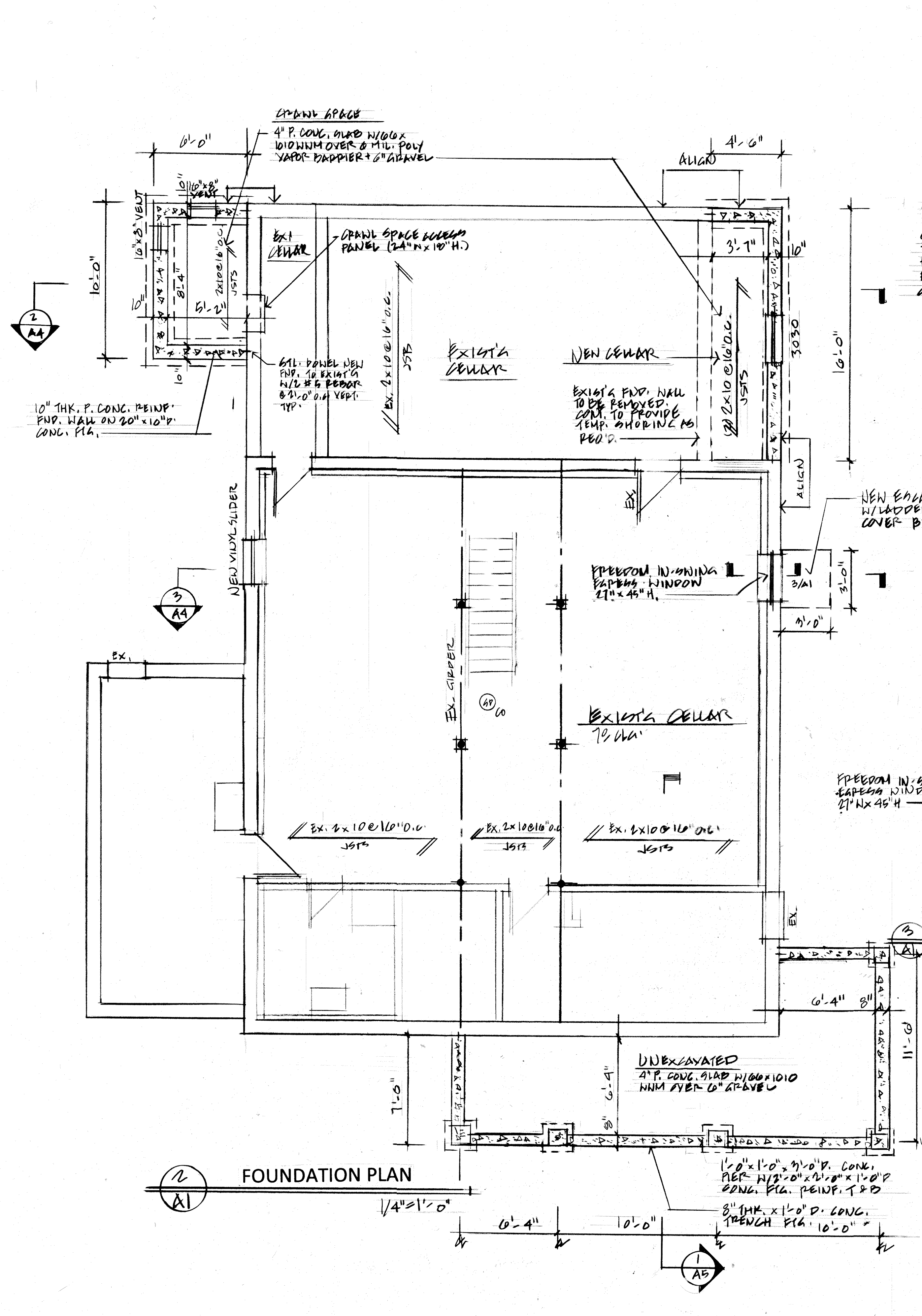
		<b>ROWLINSON RESIDENCE</b> 15 Lincoln Pl. Port Washington, NY	
		<b>ELECTRICAL PLANS</b>	
REVISIONS 20/1/22	DATE 7/1/22	DRAWING E1	SCALE 1/4" = 1'-0"

**DISAPPROVED**  
 Carlos Reyes  
 10/17/2024



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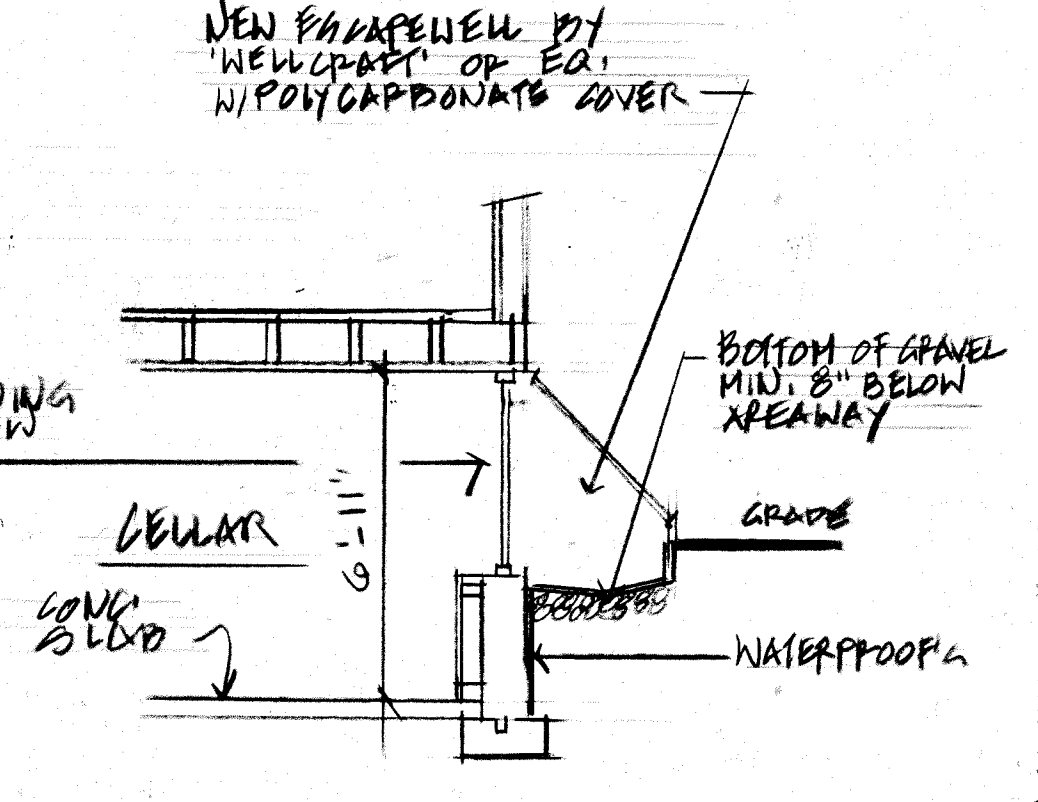
# #21648



$AB = 184.02 + 185.94 = 370.50/2 = 185.25 \times 24.1 = 6918$   
 $BC = 185.94 + 186.31 = 372.25/2 = 186.12 \times 10.1 = 1879.86$   
 $CD = 186.31 + 184.55 = 370.86/2 = 185.43 \times 22.4 = 4153.63$   
 $DE = 184.55 + 183.47 = 368.02/2 = 184.01 \times 29.3 = 5391.49$   
 $EF = 183.47 + 181.88 = 365.35/2 = 182.67 \times 29.7 = 5425.44$   
 $FG = 181.88 + 182.42 = 364.3/2 = 182.15 \times 16 = 2914.4$   
 $GA = 182.42 + 184.62 = 367.04/2 = 183.52 \times 36.6 = 6716.83$   
 $178.2 \quad 32799.05$   
 $32799.05/178.2 = 184.06$

PRE-EXISTING AVERAGE GRADE  
1" = 25'-0"

NEW ESCAPEWELL W/ LADDER + POLYCARBONATE COVER BY 'NEURAPLOR' OR EQ.



SYMBOL LEGEND

- PROP. 1ST FL. ADD.
- PROP. 2ND FL. ADD.
- PROP. PORCH
- UNEXCAVATED

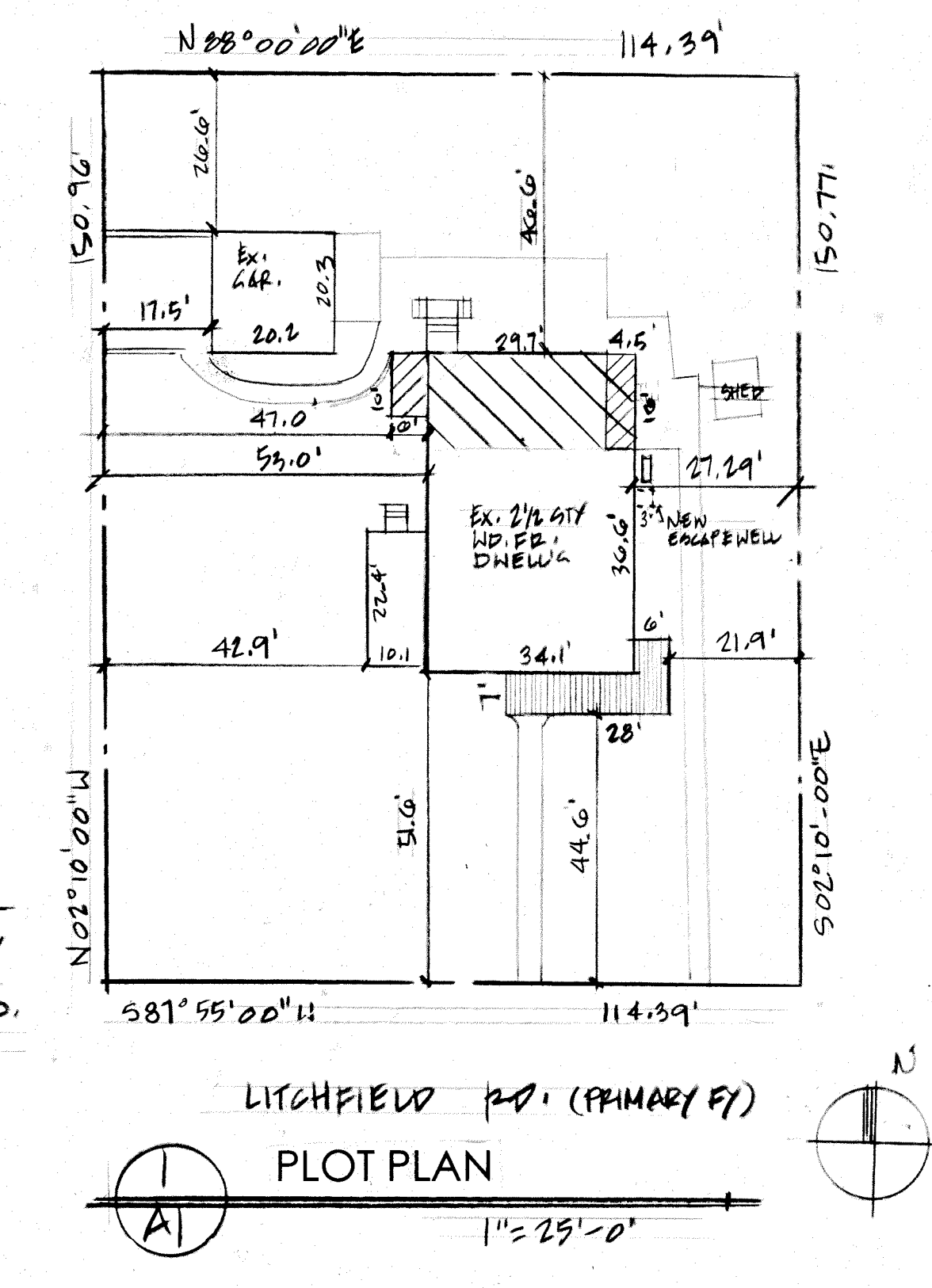
FOUNDATION NOTES:

- Contractor shall inspect point of contact at foundation supporting columns for cracks or other deficiencies and advise architect immediately.
- The bottom surface of stepped footings shall not have a slope exceeding 10% as per the requirements of R403.1.5.
- The bottom of all exterior footings shall be placed 12" below the undisturbed ground surface as per R403.1.4.
- Contractor shall verify the depth of all existing foundations at any existing porches under proposed columns, at unexcavated areas and any crawl space foundations any new structure and verify if the thickness (min. 8-10" wide) and depth of the footing (minimum of 3'-0" below grade) with spread 'tee' shaped footings. Notify owner and architect immediately if conditions vary.
- Underpinning shall be required at any existing concrete footing that is directly adjacent to any new footing that is lower in elevation. New footing shall be poured concrete at a depth to match the new footing elevation. Width of underpinning to match size of existing footing. All sections worked on are not to be greater than 3'-0" wide and worked in alternate sections. Contractor shall verify all elevations and provide adequate shoring and bracing as required under general notes.

### ZONING ANALYSIS

TOWN OF NORTH HEMPSTEAD  
REQUIREMENT 'A' DISTRICT  
SECTION 55 BLOCK 20 LOT 191

ISSUE	PERMITTED	EXIST	PROPOSED
MIN. LOT AREA	8500 SF	17,268 SF	17,268 SF
LOT COVERAGE	4317 SF 49.7%	1949 SF (PROV) 410 SF (GAR) 2358 SF 13.6%	2080 SF 410 SF 2490 SF 14.4%
MIN. FRONT YARD (MINIMUM)	35'	51.0'	24.6'
MIN. FRONT YARD (MINIMUM)	30'	42.9'	42.9'
AVG. FRONT YARD		43.36'	
MIN. REAR YARD	15'	46.0'	46.0'
MIN. SIDE YARD	10'	27.29'	27.29'
MAX. HEIGHT	30'	31.85'	24.83'
MAX. EAVE HGT.	22'	21'	21'
GROSS FL. AREA	1st FL. 2ND FL. GARAGE TOTAL	1949 SF 1298 SF 410 SF 3657 SF 20.8%	2080 SF 1794 SF 410 SF 4284 SF 24.8%

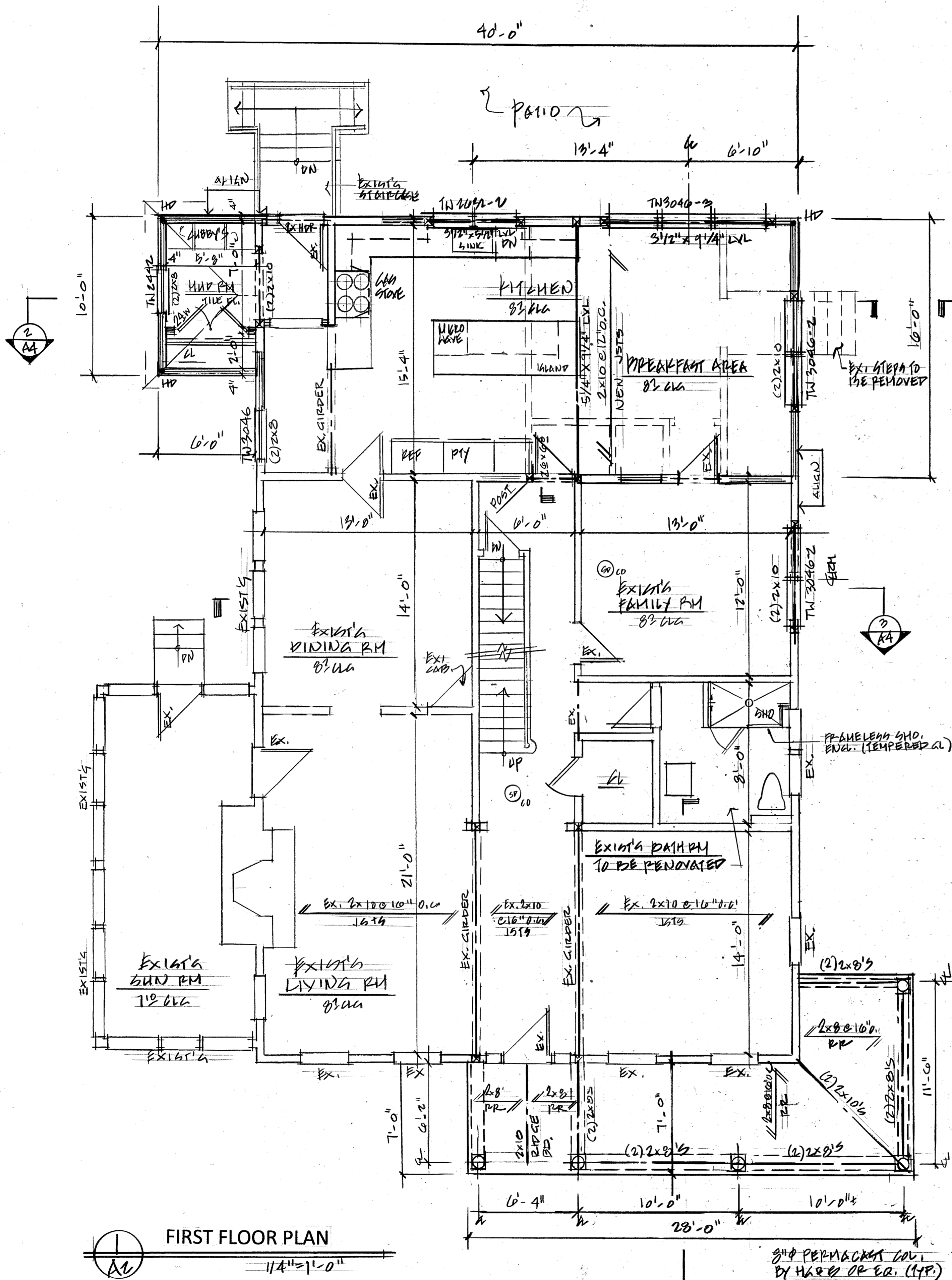


NOTES:

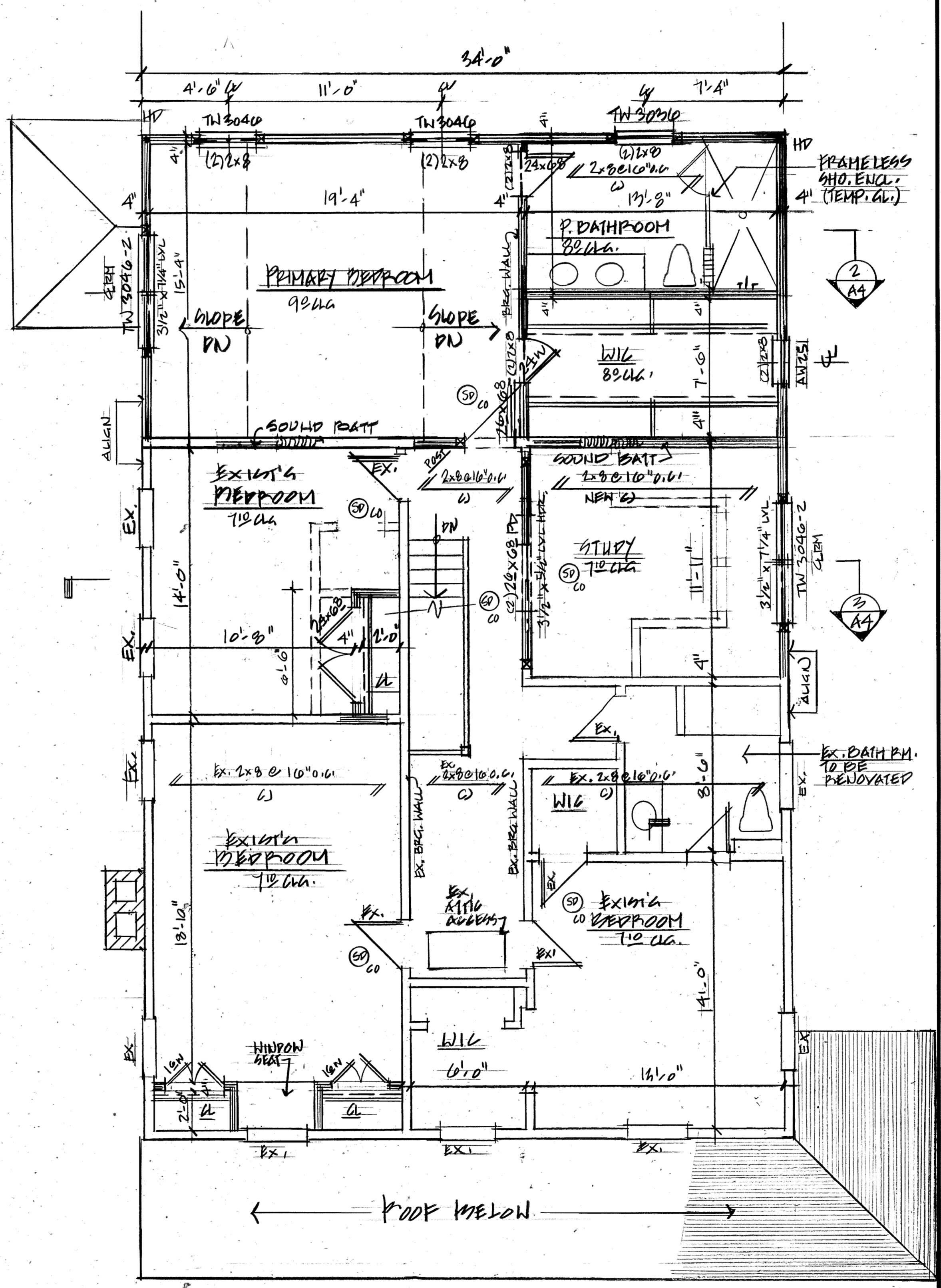
- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL BUILDING SETBACK LINES BY A LICENSED SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR SHALL LOCATE ALL SERVICE, ELECTRICAL, TELEPHONE, H.V.A.C.
- PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL VERIFY ALL FINISH FLOOR ELEVATIONS IN NEW AND EXISTING AREAS AND ADJUST TOP OF NEW FOUNDATION WALL.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL VERIFY ADEQUATE DEPTH OF FOUNDATION WALL (3') UNDER PRIOR TO POURING NEW FOUNDATION WALL.
- CONTRACTOR SHALL ENSURE PROPER DRAINAGE AND WATERPROOFING AT PERIMETER OF NEW CONSTRUCTION AND REGRADE AS REQUIRED.

- ### GENERAL NOTES
- These general notes are part of the plans and specs and are to be complied with in all respects. More restrictive notes mentioned elsewhere are to take precedence over these notes.
  - All construction shall comply with the rules and regulations of the building code of N.Y. state and local towns and/or villages and other agencies having jurisdiction over the required work for this project. This shall not be construed to mean that any requirements set forth on the drawings may be modified because they are not specifically required by code.
  - Contractor shall inspect premises and verify all dimensions and job conditions prior to submitting bid. Any discrepancies or ambiguities shall be brought to the attention of the architect.
  - No construction or demolition work to commence before building department having jurisdiction issues a building permit.
  - All contractors shall be fully covered by workers' compensation insurance and such insurance as may be required by local laws.
  - Contractor shall guarantee for a period of (1) year from the date of final completion and acceptance by the owner all work performed under their respective contracts.
  - Owner to provide building permit, survey and final survey.
  - Contractor to expedite the work and establish with owner a completion date.
  - Do not scale drawings, written dimensions supercede scaled dimensions.
  - If during the course of construction, a condition exists which differs from that indicated on the plans, contractor to notify owner/architect of any discrepancies prior to continuation of the work. Should he fail to follow this procedure he assumes all responsibility and liability arising therefrom.
  - All work listed on the construction plans and shown or implied on all drawings shall be supplied by the contractor whose building trade status requires same.
  - Contractor shall provide all necessary support, bracing, shoring, etc. as may be required for the construction of the project and restore any portion of building damaged during alteration.
  - Contractor shall provide and install temporary partitions, fencing, lighting, etc. to protect existing construction so the owner may continue to occupy the building in a safe and sanitary manner.
  - Construction and removal of debris shall be carried out progressively in order to keep adjacent spaces as clean as possible.
  - Contractor shall repair, or replace, to match existing condition, all surfaces, trim, doors, etc. damaged during the progress of the work or the removal of which necessitated by the work.
  - Architect shall not be responsible for the contractor's execution of the work not according to plans and specifications.
  - Contractors shall, upon completion of their respective work, remove from the premises all debris, tools, excess materials and appurtenances, and to leave the premises in "room clean" condition. These drawings are to be utilized only for this project.
  - SITWORK**
  - Contractor shall strip topsoil from location of new construction and upon completion of construction topsoil to be replaced and raked clean, free of debris.
  - Grading around new construction shall slope away from house and blend into existing.
  - Excess fill to be removed from site, unless otherwise directed.
  - Final landscape by owner.
  - Contractor shall repair or replace existing walks, driveways, etc. damaged by construction.
  - Do not backfill against foundation walls unless they are properly braced by floor slabs, temporary shoring or balanced fill. Slabs to be placed on undisturbed soil or compacted fill free of all organic materials.
  - Provide 15M felt membrane over trowelled-on mastic for waterproofing on all foundation walls.
  - Upon backfilling foundation, treat soil for termite protection in addition to providing termite shields and wolmanized sills.
  - STRUCTURAL WORK**
  - Dimensions shown on these plans are nominal.
  - Contractor shall field verify actual dimensions.
  - Dimensions for framing are for rough framing.
  - Contractor to provide any temporary shoring, underpinning, and/or temporary structural work required for the adequate execution to the job.
  - CONCRETE & FOUNDATIONS**
  - Soil bearing capacity assumed to be 3000 PSI, should poorer conditions be encountered, actual bearing capacity to be determined and footings to be redesigned.
  - All concrete work to conform to latest ACI code.
  - All concrete to be a minimum 3500 PSI at 28 days, reinforcing steel shall conform to ASTM A-615 Grade 60. All foundations to be adequately braced prior to backfilling.
  - Contractor to provide and coordinate installation of all sleeves required to accommodate plumbing, mechanical and electrical trades.
  - Wall forms to be in place 3 days minimum.
  - Provide 2" x 4" keyway between footing and foundation wall.
  - All footings shall bear directly on undisturbed soil having a minimum safe bearing capacity of 2 tons/SF.
  - All footings to have a 6" to 8" projection on each side of the wall above. Provide 3 #5 continuous rebars unless otherwise noted.
  - All slabs on grade shall rest on 6" compacted base of clean sand or gravel. Install 6 mil polyethylene vapor barrier prior to casting slab.
  - All slabs on grade to have 6 x 6 W1.4 x W1.4 W/M reinforcing conforming to ASTM A135.
  - Bottom of footings shall be carried down at least 3 ft. below lowest level of adjoining ground or pavement surface.
  - Anchor bolts to be spaced 5/8" dia. x 12" long with 3" hook and 3" x # washer spaced 36" o/c maximum. Provide 2 bolts at each corner spaced 1'-0" apart.
  - STEEL**
  - All structural steel to be A-36 22,000 PSI, latest edition.
  - All steel fitch plates to be through bolted with 5/8" steel bolts @ 16" O.C. staggered.
  - All steel to be shop painted prior to delivery.
  - All reinforcing bars to be continuous unless specific lengths are shown.
  - Typical cover for all reinforcing bars to be 3" for bars placed against earth and 2" for bars placed against forms unless otherwise noted.
  - WOOD**
  - All framing shall conform to the N.Y. state construction code. All beams construction grade, studs standard, rafters standard.
  - All wood in contact with concrete or masonry shall be pressure treated unless otherwise noted.
  - All joists, headers, beams and rafters to have 2" minimum bearing.
  - Provide collar ties at roof rafters as per state and local codes.
  - All framing lumber to be Douglas Fir #2 or better, grade marked.
  - All beams construction grade, studs standard, rafters standard construction mix. Structural lumber with higher grading will be indicated on plans.
  - Nominal sizes of lumber noted, actual sizes used for stress calculations.
  - Sheathing shall be 1/2" o/c exterior grade fir plywood under roofing and finish siding.
  - Install bridging in all floor and flat roof joists, ceiling joists and beams where the nominal depth to thickness ratio of joist exceeds 6. Bridging shall be installed at 8'-0" o.c. max. and shall be 1" gauge metal cross bridging.
  - Wood joists supported by steel beams to be connected to 2" x 6" wood blocking bolted to steel beams with (2) 1/2" diameter bolts 4'-0" o.c. minimum wood joist lap is 4".
  - All dimensions are to stud faces or centerline of beams.
  - Double joists under all partitions parallel to same and around openings in floors and roofs.
  - All floor joists supporting bathroom fixtures shall be doubled or 12" o.c. whichever condition is deemed practical in the field.
  - All headers to be 2" x 8" unless otherwise noted.
  - FINISH & MISCELLANEOUS WORK**
  - Drywall shall be 5/8" gypsum wallboard at walls and ceilings with (3) coats tape and spackle finish, ready for paint.
  - All drywall outside corners shall have metal bead.
  - Gypsum wall construction shall conform to the applicable requirements of standard specifications for the application and finishing of wallboard as approved by the ANSA.

<b>JANICE MILLER ARCHITECT</b>		<b>STOLPER RESIDENCE</b>	
516-944-9371		59 Litchfield Rd. Port Washington, N.Y.	
<b>PLOT PLAN, FOUNDATION PLAN</b>			
DESIGN'S	DATE	DRAWING	
11/26/25	11/1/24	A1	
DRAWN	SCALE	FILE	
JLM	AS NOTED	2405	



FIRST FLOOR PLAN  
1/4" = 1'-0"



SECOND FLOOR PLAN  
1/4" = 1'-0"

65. Contractor shall repair, or replace all surfaces, trim, doors, etc. damaged during the progress of the work.
66. All gypsum wallboard to be screw applied.
67. Provide caulking at all wood/masonry and metal joints, exterior doors and windows.
68. Place foam backer rod where required at deep joints.
69. All shower doors and other glass less than 24" A.F.F. to be tempered (min. 3/16" thickness.)
70. Chimney construction shall conform to chapter 10 IRC.
71. Chimney outlets shall not be lower than the top of any window within 20 feet, nor less than 2' above the combustible part of the roof or building within 10' but shall not be less than 3' above the highest point where the chimney passes through the roof IRC.
72. Install metal flashing around all roof penetrations.
73. Attics to have access and cross ventilation as per IRC.
74. Stairs, doors and exits shall comply with R311, R312 and R314 of IRC.
75. Place hurricane clips on all roof rafters.
76. Place double headers and trimmers around all stair and skylight openings.
77. All supply and exhaust intake and outlets to be equipped with tight shut damper at building envelope to minimize air leakage.
78. Provide minimum 100 cfm mechanical exhaust from bathrooms and 150 cfm mechanical ventilation in kitchen areas.
79. Provide combustion air for fuel burning equipment as per IRC.
80. Boilers, hot water heaters and fuel gas equipment as per IRC.
81. Provide Simpson strong tie joist hangers at all flush header conditions.
82. Provide carbon monoxide detector on each floor as per Nassau County Public Health ordinance.
83. All windows that serve as emergency egress shall comply with R310 IRC.

- WINDOW NOTES**
1. ALL WINDOW UNITS SIZES AND MANUFACTURER CATALOG NUMBERS ARE ANDERSEN - 400 SERIES (UNLESS OTHERWISE NOTED), WITH PERMASHIELD FINISH, ARGON FILLED INSULATING GLASS, WOOD GRILLES AND INSECT SCREENS.
  2. UNIT DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. ROUGH OPENING DIMENSIONS SHALL BE VERIFIED AND DETERMINED IN THE FIELD.
  3. CONSULT WITH OWNER FOR ANY EXISTING WINDOW REPLACEMENTS.
  4. WINDOWS TO BE HIGH PERFORMANCE LOW-E TYPE-NITR-CERTIFIED WITH "U" VALUE OF .35 OR LESS.
  5. SEE FLOOR PLAN FOR WINDOWS DESIGNATED FOR EGRESS. EGRESS WINDOWS TO BE CASEMENT UNITS BY ANDERSEN WITH MODIFIED COLONIAL DIVIDED LIGHT TO MATCH PROFILE OF DOUBLE HUNG UNITS.
  6. EGRESS WINDOW UNITS SHALL MEET OR EXCEED THE FOLLOWING DIMENSIONS:
    - CLEAR OPERABLE AREA OF 5.70 AT FIRST FLOOR
    - CLEAR OPERABLE WIDTH OF 20 INCHES
    - CLEAR OPERABLE HEIGHT OF 24 INCHES
  7. CONSULT WITH WINDOW MANUFACTURER REGARDING APPROPRIATE HARDWARE FOR EGRESS WINDOWS STRAIGHT ARM OR SLIT ARM WHEN SPECIFYING CASEMENT WINDOWS FOR REQUIRED OPENING AREA.
  8. ALL GLAZING AND ASSEMBLIES SHALL COMPLY WITH SECTION R808 OF THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE. PROVIDE SAFETY GLAZING IN THE FOLLOWING LOCATIONS - PARTIAL LIST (SEE CODE FOR ADDITIONAL LOCATIONS)
    - a. INDIVIDUAL SIDELITES WITH 24" OF DOOR ARC & BOTTOM IS < 60" ABOVE FLOOR GRADE.
    - b. GLAZING ADJACENT TO WITHIN 36" OF STAIR, LANDINGS & RAMPS & BOTTOM IF < 60" ABOVE FLOOR GRADE.
    - c. GLAZING ADJACENT TO STAIRS WITHIN 60" HORIZ. OF BOTTOM TREAD.
    - d. SIDE-HINGED DOORS AND STORM DOORS
    - e. GLAZING IN RAILINGS
    - f. GLAZING WITHIN TUBS AND SHOWERS
    - g. GLAZING IN INDIVIDUAL PANELS MEETING ALL:
      - EXPOSED AREA > 9 S.F.
      - BOTTOM EDGE < 18" ABOVE FLOOR
      - TOP EDGE > 36" ABOVE FLOOR
      - AT LEAST ONE WALKING SURFACE WITHIN 36"
  9. FOR ANY WINDOWS WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
  10. GLAZING IN FIXED AND SLIDING OR HINGED PANELS OF GLASS DOORS.



SYMBOL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW WOOD FRAME WALLS: 2" x 4" WOOD STUDS @ 16" O.C. w/5/8" GYP BD. EACH SIDE.
	NEW EXTERIOR WALLS: 2" x 4" WOOD STUDS @ 16" O.C. INSULATION AS SPECIFIED, 1/2" CDX PLYWOOD SHEATHING, TYVEK HOUSEWRAP, SIDING AS SPECIFIED.
	NEW POURED CONCRETE FOUNDATION WALLS
	BRICK VENEER
	STONE VENEER
	NEW HARD WIRED SMOKE/CARBON MONOXIDE DETECTOR
	EGRESS WINDOW
	HOLD DOWN
	POCKET DOOR

**JANICE MILLER**  
ARCHITECT  
516-941-9571

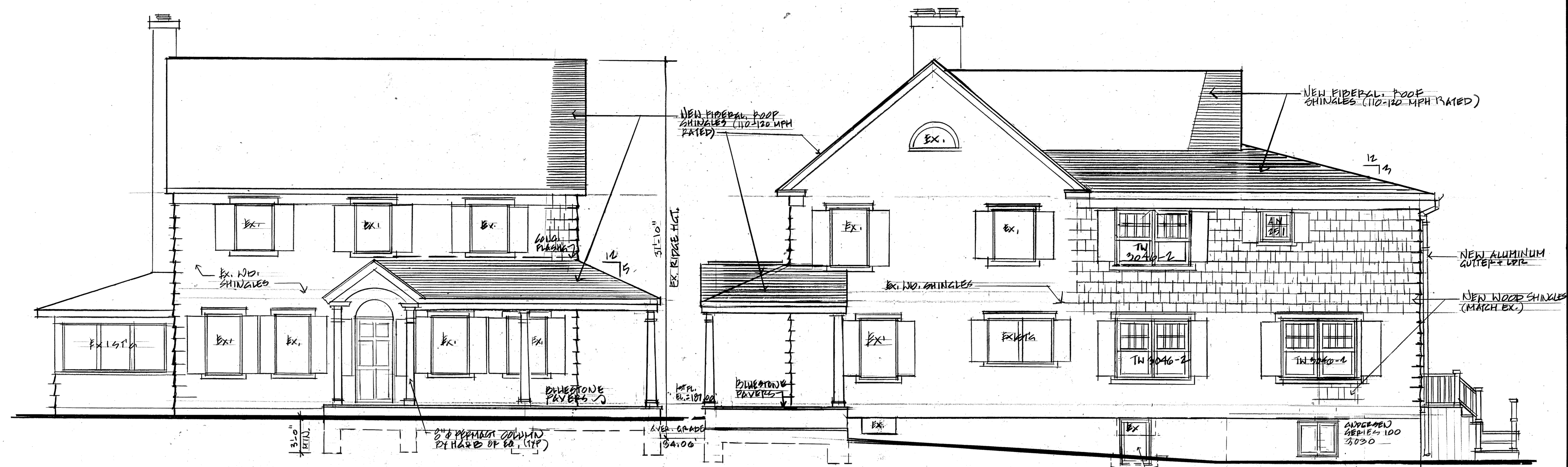
**STOLPER RESIDENCE**  
59 Litchfield Rd. Port Washington, N.Y.

FIRST & SECOND FL. PLANS

REVISIONS	DATE	DRAWING
	11/1/24	A2
DRAWN	SCALE	FILE
JLM	1/4" = 1'-0"	2405

2 LINCOLN PLACE  
PORT WASHINGTON, NY 11050

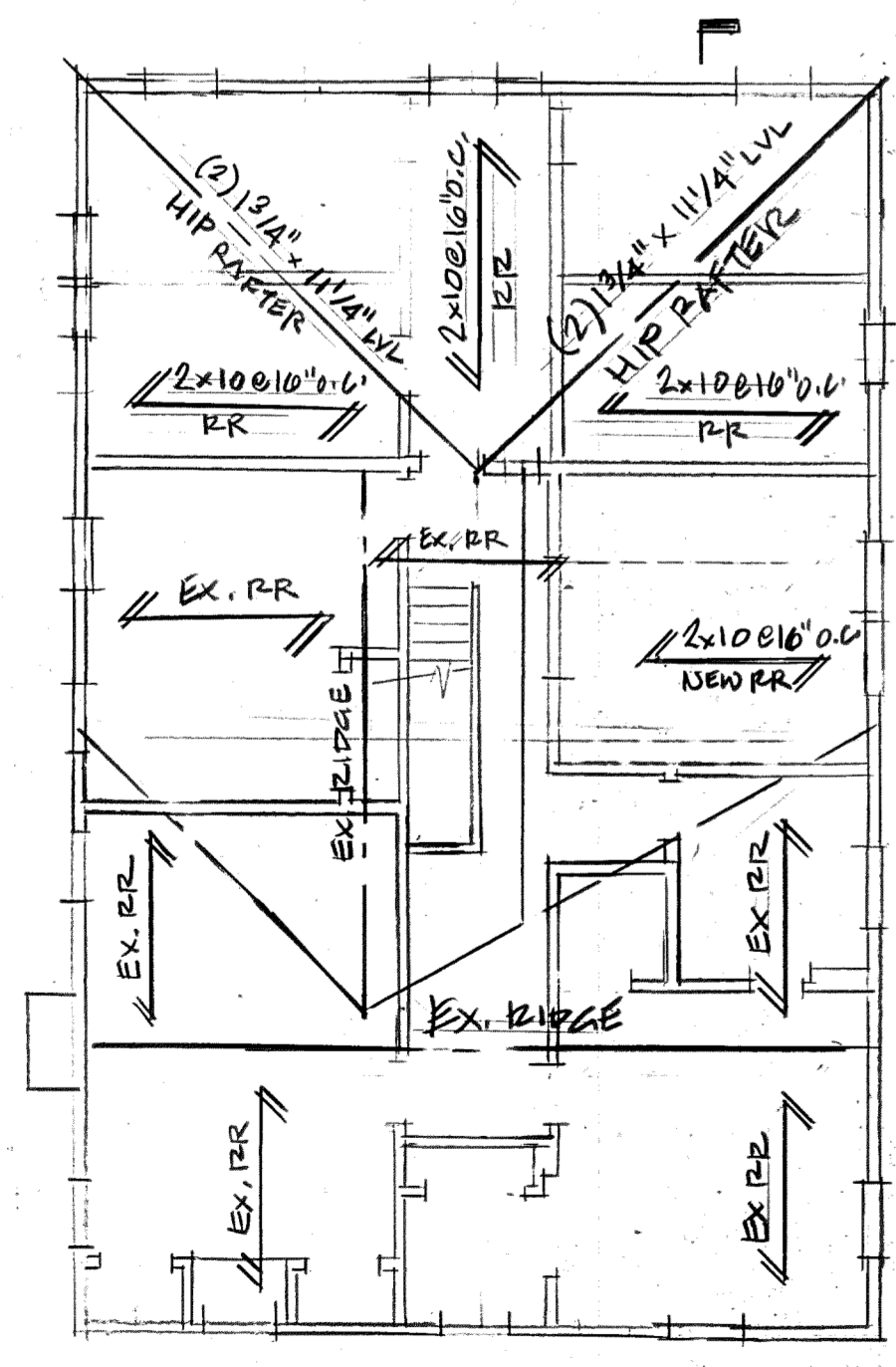
**Important Note:**  
Contractor shall verify all window and patio door sizes and options with owner prior to placing order with window supplier.



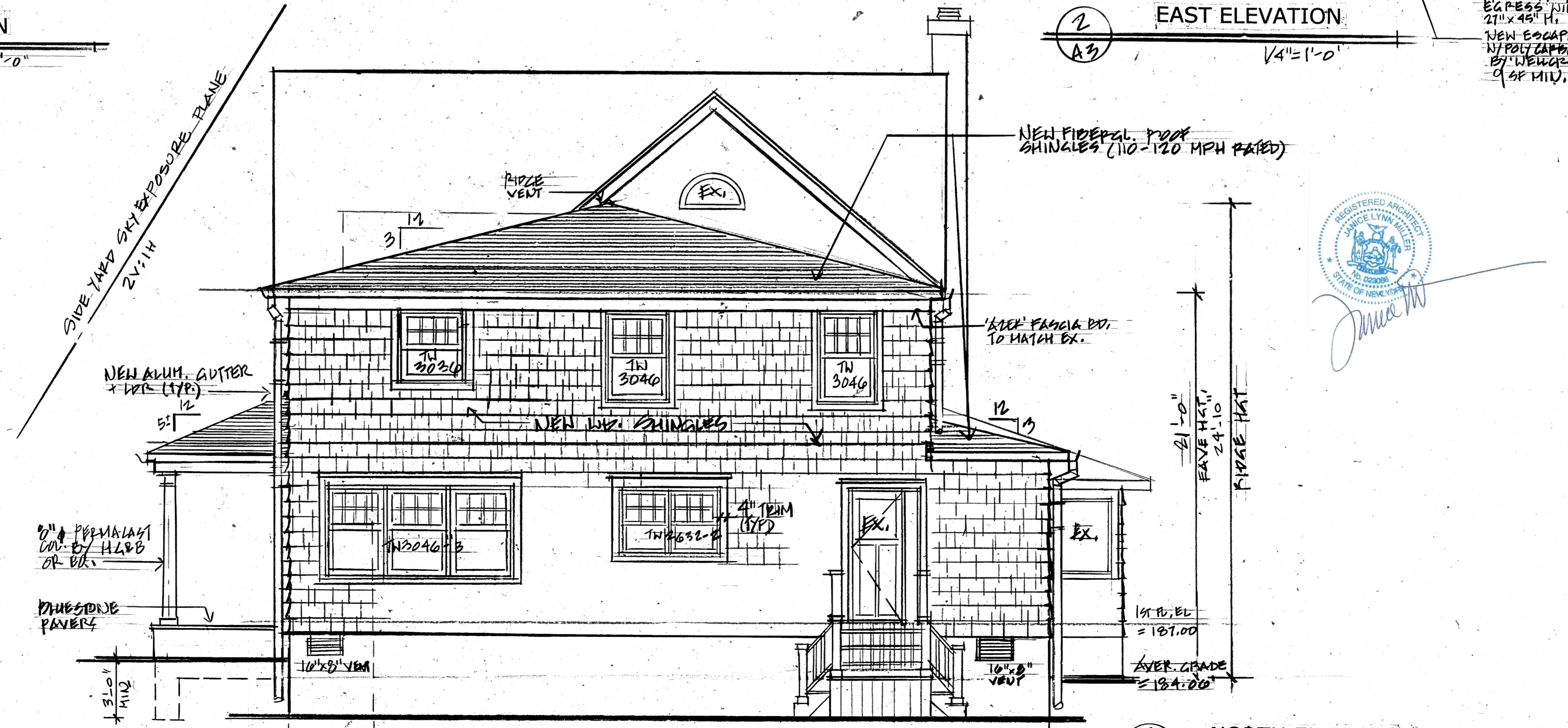
FREEFORM WING  
EGRESS WINDOW  
27" x 45" H.  
NEW ESCAPE WINDOW LADDER  
W/ POLY CARBONATE COVER  
BY NEWCASTLE OR EQ.  
9 OF MIN.

1 SOUTH ELEVATION  
1/4" = 1'-0"

2 EAST ELEVATION  
1/4" = 1'-0"



A ROOF FRAMING PLAN  
1/8" = 1'-0"

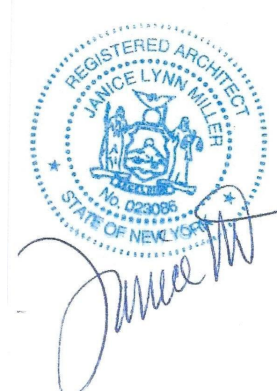


3 NORTH ELEVATION  
1/4" = 1'-0"



- ROOF NOTES:**
1. SEE BUILDING ELEVATIONS FOR ALL ROOF PITCHES.
  2. ADJUST BIRDSMOUTH OR PLATE HEIGHT TO ALIGN NEW AND EXISTING EAVES, OVERHANGS AND SOFFITS.
  3. PROVIDE ACCESS TO NEW ATTIC FROM DWELLING OR FROM ANY EXISTING ATTIC.
  4. PROVIDE COPPER CRICKETS, FLASHING AND COUNTERFLASHING WHERE WALLS OR CHIMNEY MEET THE ROOF.
  5. PROVIDE 4" x 4" WOOD POST TO UNDERSIDE OF RIDGE BOARDS AND TO SIT ON DOUBLE WOOD FRAMING IN ATTIC FOR SUPPORT.
  6. PROVIDE DOUBLE WOOD FRAMING AT CHIMNEY OPENING. SEE GENERAL NOTES FOR MINIMUM AIR SPACE CLEARANCES AND FIREBLOCKING REQUIREMENTS.
  7. PROVIDE FLASHING IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING WALL AND ROOF THROUGH JOINTS, MOISTURE PERMEABLE MATERIALS AND INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH ROOF PLANE.

<b>JANICE MILLER</b> ARCHITECT 516-944-9371 2 LINCOLN PLACE PORT WASHINGTON, NY 11050		<b>STOLPER RESIDENCE</b> 59 Litchfield Rd. Port Washington, N.Y.	
		<b>ELEVATIONS</b>	
REVISIONS	DATE 11/1/24	DRAWING <b>A3</b>	
DRAWN JLM	SCALE 1/4" = 1'-0"	FILE 2405	

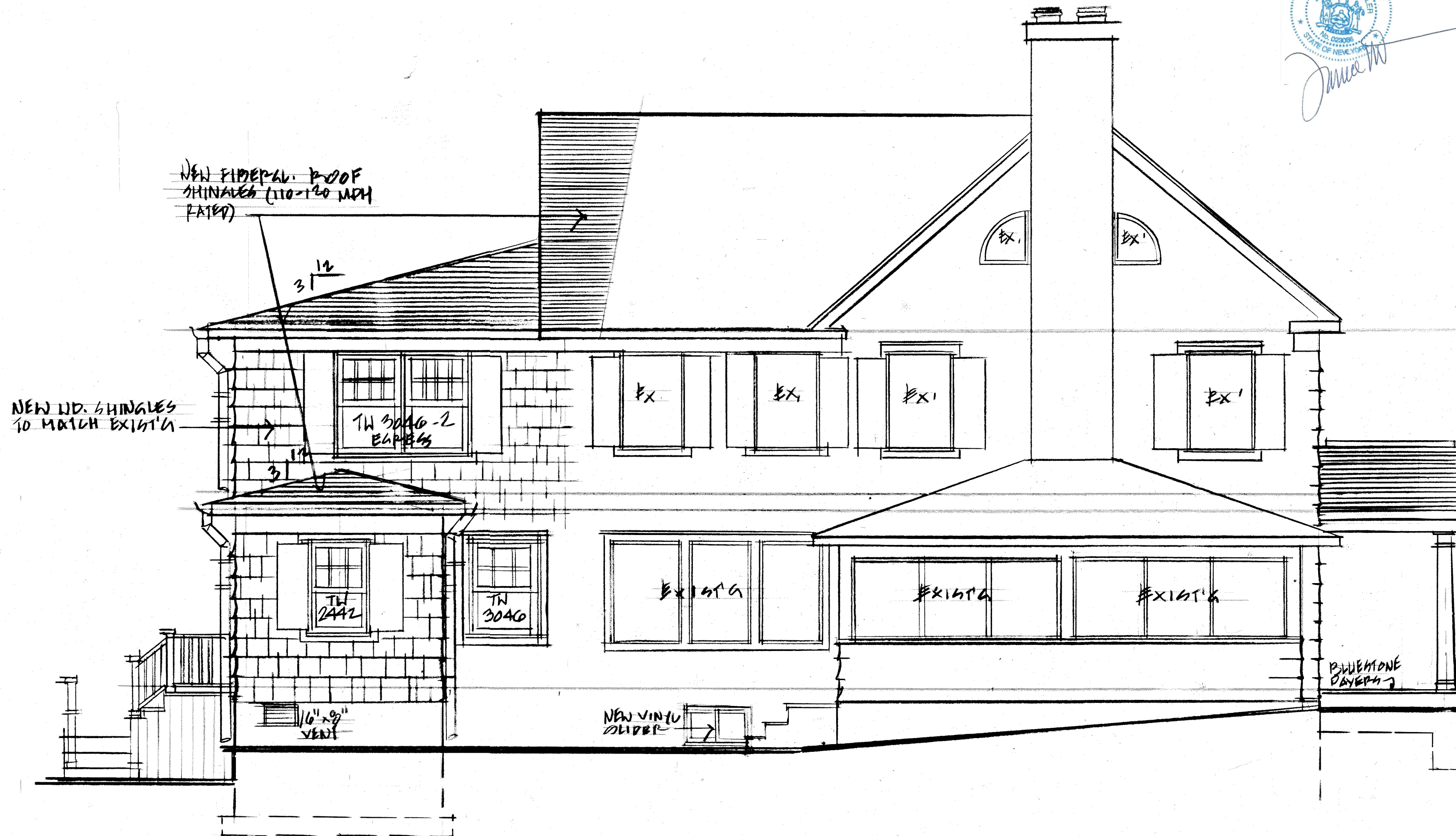


**INTERIOR NOTES**

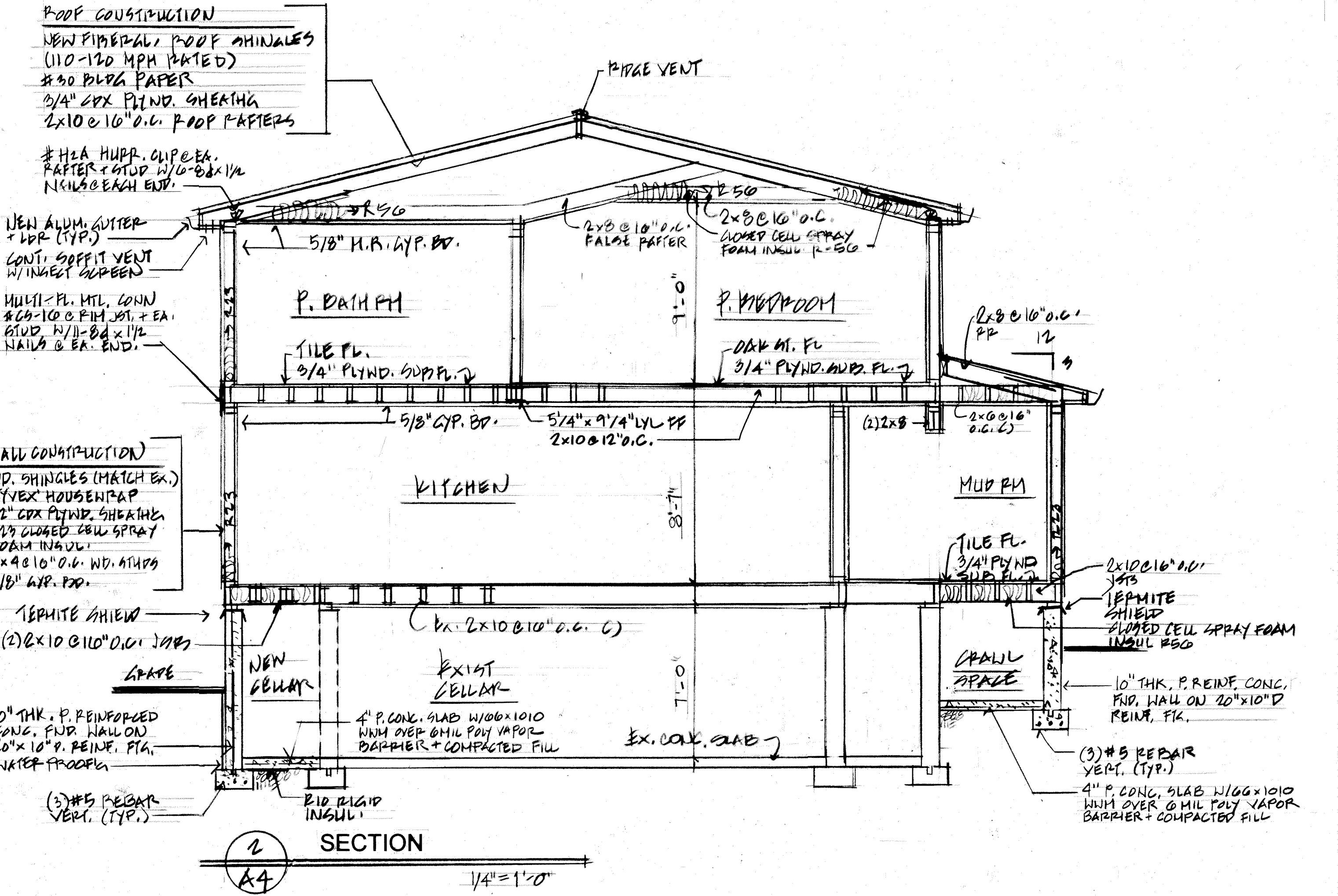
- WALLBOARD & WALL FINISHES**
- Gypsum wallboard shall be screw applied (no nails)
  - All new walls and ceiling to receive 5/8" gypsum wallboard shall, (3) coats tape and spackle and be made ready for paint by owner.
  - Moisture resistant wallboard in bathrooms and primary bathroom.
  - Wall tile in bathrooms to be selected and purchased by owner and installed by contractor.
  - Provide 1/2" wonderboard at showers.
- FLOORING**
- Provide new oak plank flooring @ kitchen, primary bedroom, WIC & study. Floor to be sanded and stained w/ (3) coats polyurethane finish.
  - Primary bathroom, bathrooms, and mud room floors to be tile in cement bed, to be selected and purchased by owner and installed by contractor.
- INTERIOR DOORS**
- All interior doors to be 1 3/8" thick pine doors sized as indicated on the plans, to match existing
  - Doors shall not be pre-bored for locksets
  - Hardware as provided by owner, installed by contractor.

**MILLWORK**

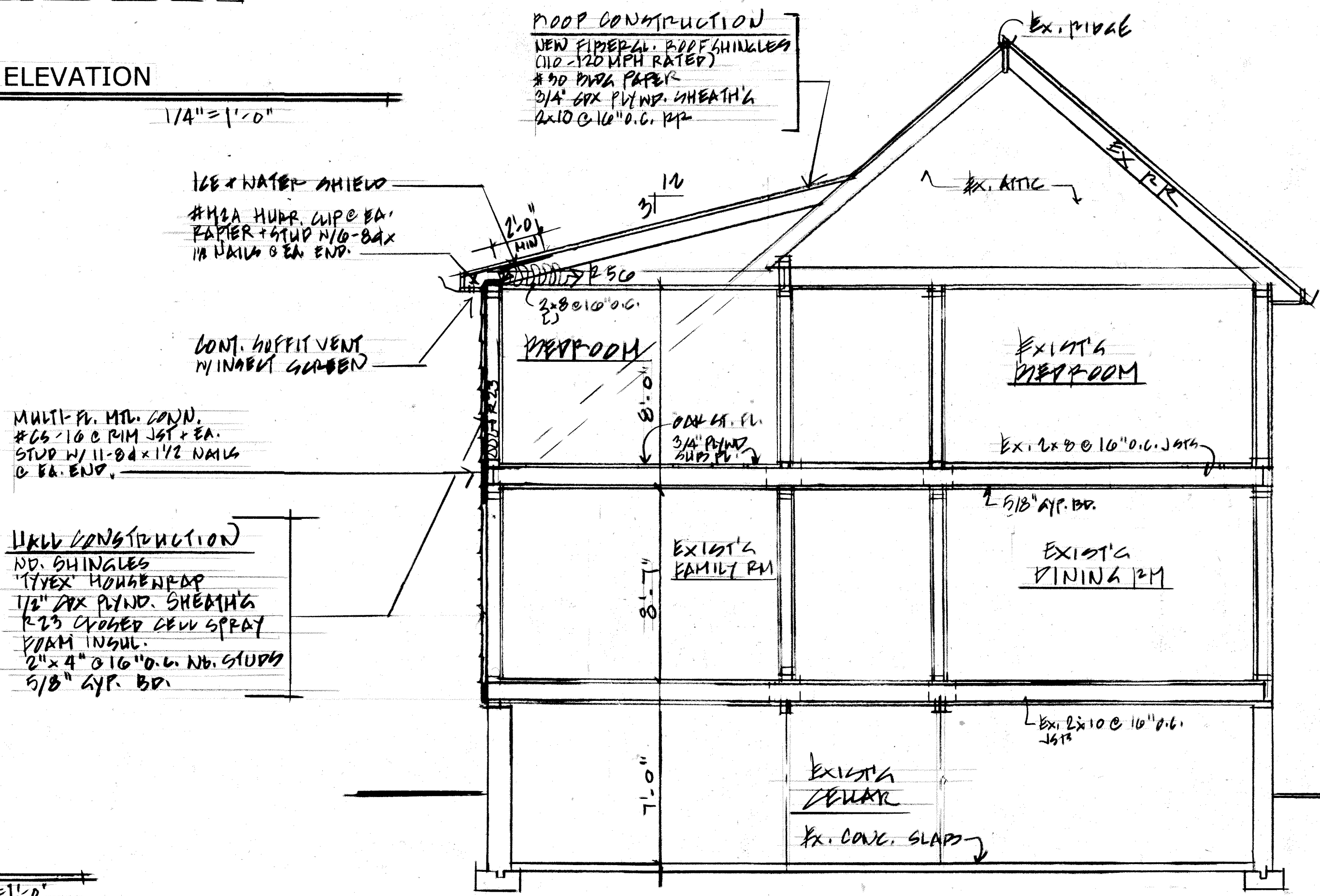
- All doors and windows to be trimmed to match existing.
  - Renovated spaces to receive 4 1/2" crown molding. Base molding to match existing.
  - Contractor to supply owner with samples of millwork prior to ordering.
- MISCELLANEOUS**
- Contractor to submit separate price for interior painting.
  - Contractor to include supply and installation of bathroom showers, complete with vinyl pan base and frameless tempered glass enclosures in base bid
  - Bathrooms to have thin set ceramic tile at showers. Tile as selected by owner, installed by contractor
  - Plumbing fixtures, faucets, trim pieces & bath vanities to be supplied by owner, contractor to install and make all required electrical and mechanical connections.
  - Closets to be finished similar to the major space they serve
  - Kitchen cabinets to be supplied by owner. Contractor to install and make all electrical and mechanical connections
  - Kitchen appliances to be purchased by owner, installed by contractor.
  - Kitchen countertops to be purchased by owner, installed by stone contractor.
  - Tile backsplash to be supplied by owner, installed by contractor.



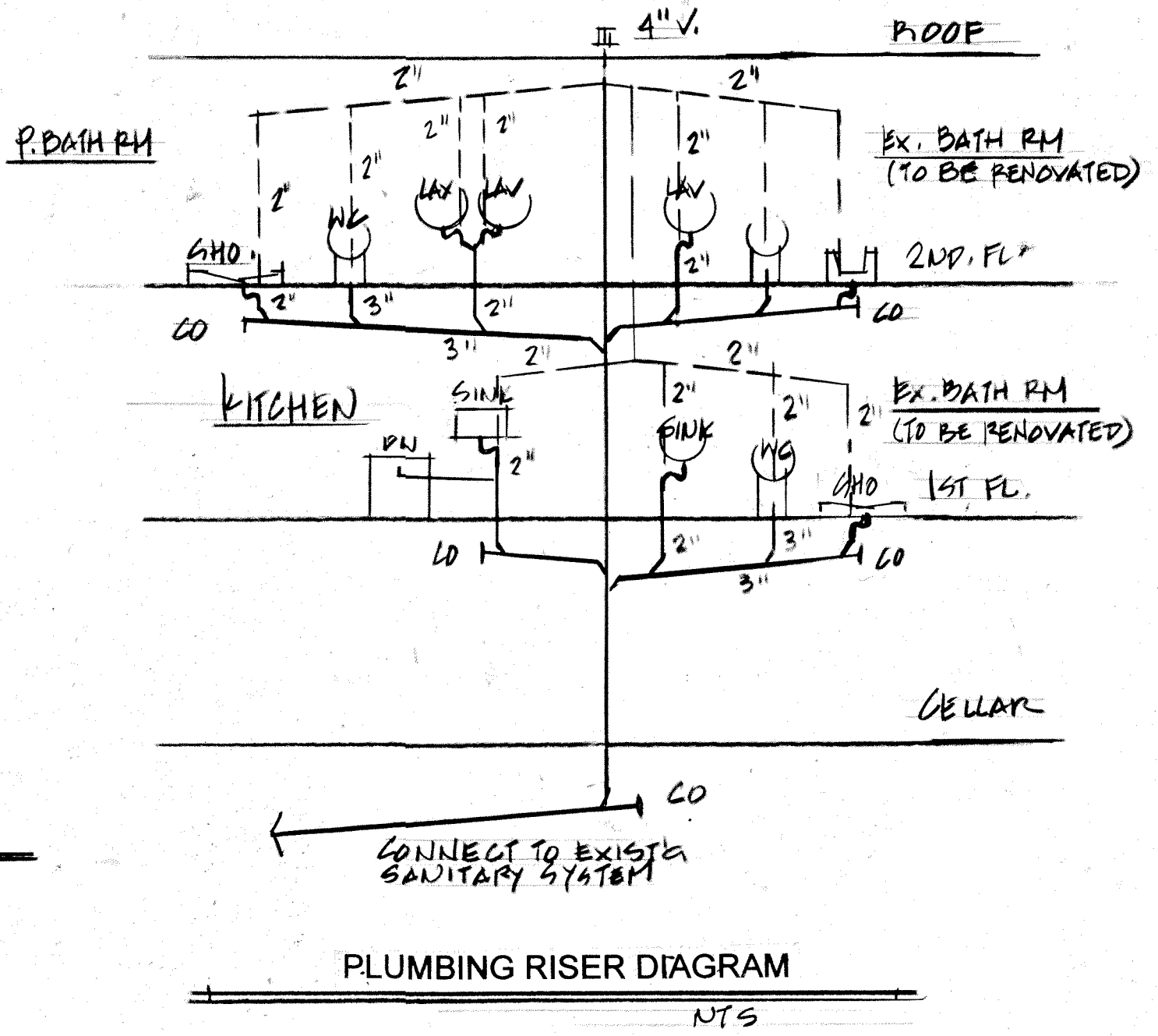
**1 WEST ELEVATION**  
1/4" = 1'-0"



**2 SECTION**  
1/4" = 1'-0"



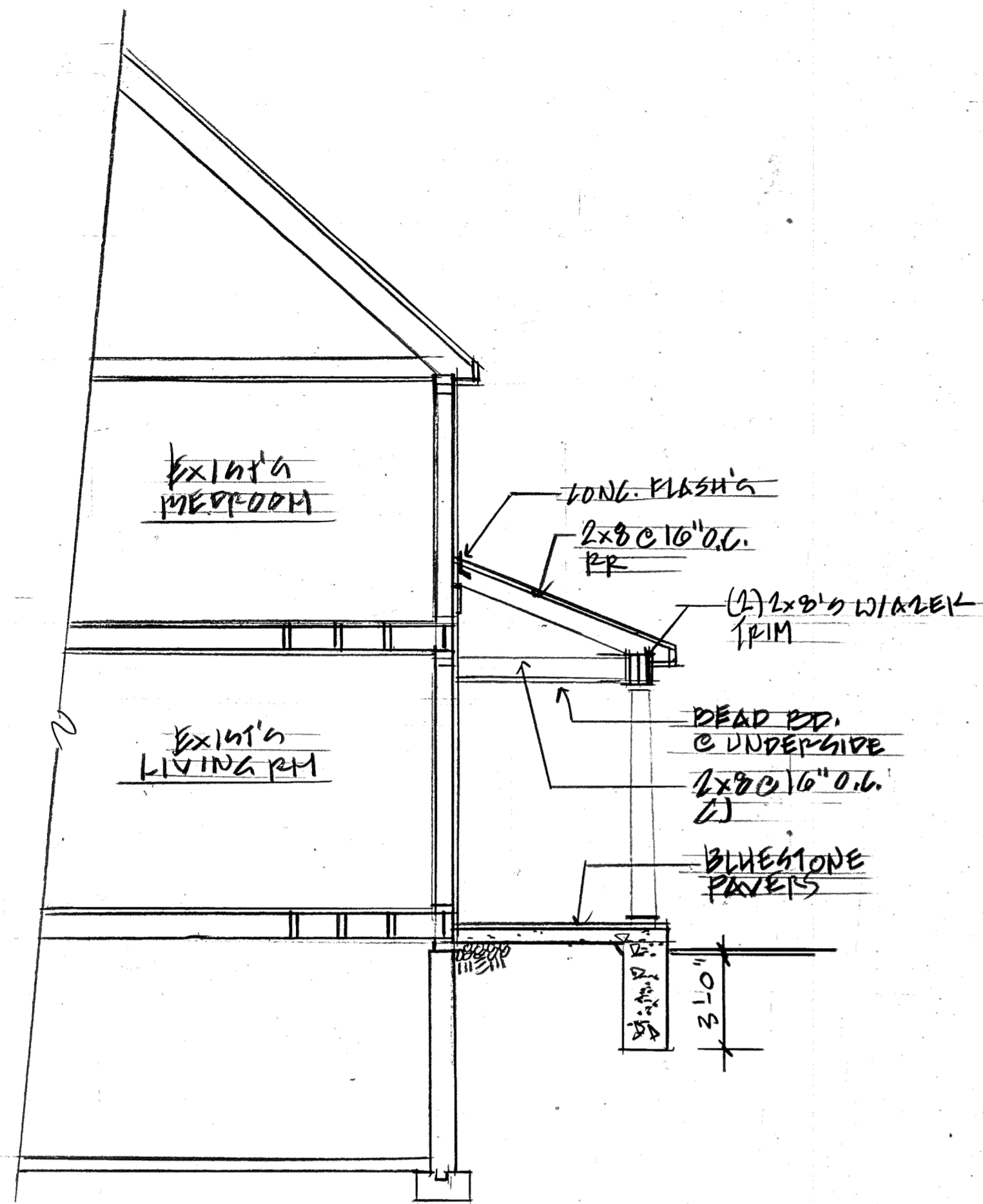
**3 SECTION**  
1/4" = 1'-0"



**PLUMBING NOTES:**

- ALL PLUMBING WORK SHALL COMPLY WITH NYS BUILDING CODES AND ALL APPLICABLE LOCAL CODES.
- ALL PLUMBING SHALL BE PERFORMED BY OR UNDER THE DIRECTION OF LICENSED PLUMBER.
- REMOVE ALL ABANDONED SOIL, VENT AND WATER LINES.
- PROVIDE SHUT-OFF VALVES FOR ALL FIXTURES. FURNISH AND INSTALL ALL WASTE, SOIL, VENT AND WATER LINES FOR NEW FIXTURES. EXTEND HOT WATER SYSTEM TO PROVIDE DOMESTIC HOT WATER AS REQUIRED.
- INSULATE ALL PIPING AND DUCTWORK IN ATTIC AND CRAWL SPACES WITH 1" INSULATION ON ALL DUCTS, 1 1/2" INSULATION ON ALL PIPING, 3/4" INSULATION ON ALL SERVICE SUPPLY PIPING.

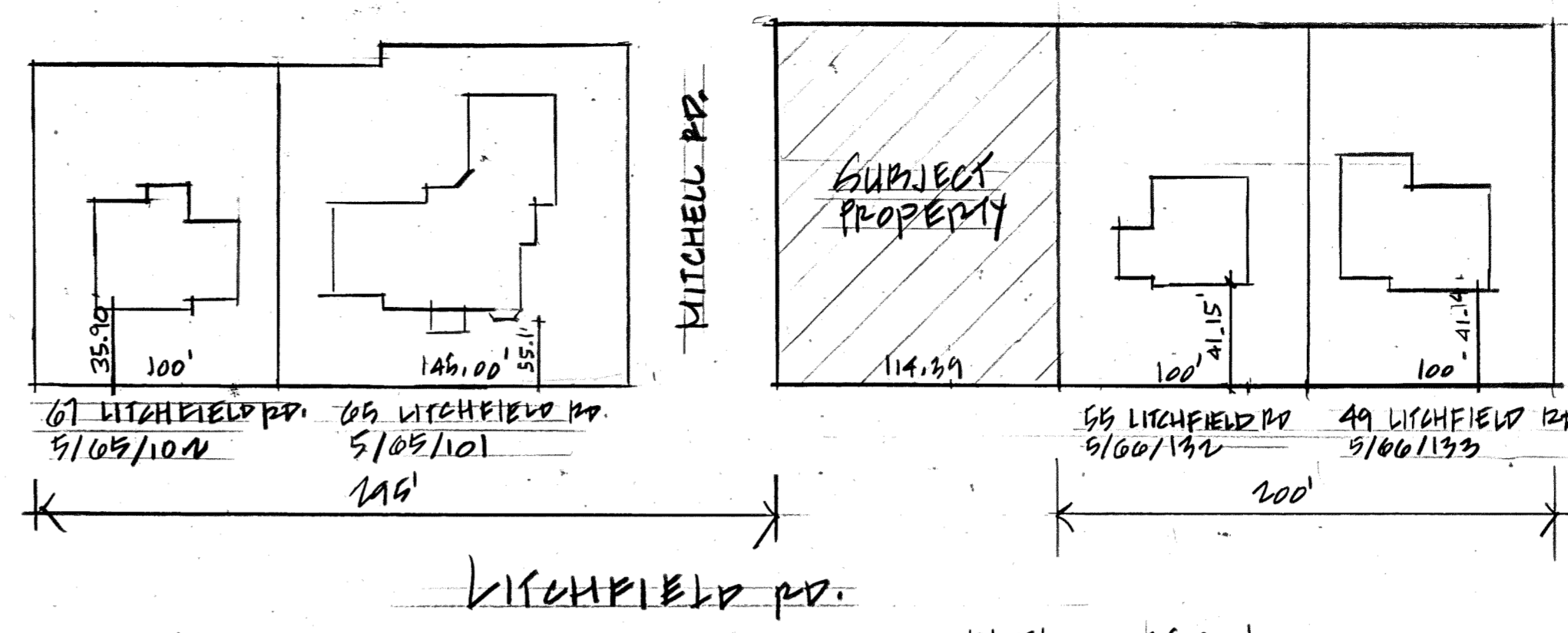
<b>STOLPER RESIDENCE</b>			
59 Litchfield Rd. Port Washington, N.Y.			
<b>ELEVATION, SECTIONS</b>			
<b>JANICE MILLER ARCHITECT</b>		516-944-9371	
REVISIONS	DATE	DRAWING	
	11/1/24	A4	
DRAWN	SCALE	FILE	
JLM	AS NOTED	2405	
2 LINCOLN PLACE PORT WASHINGTON, NY 11856			



SECTION  
AS  
1/4" = 1'-0"



Janice Miller

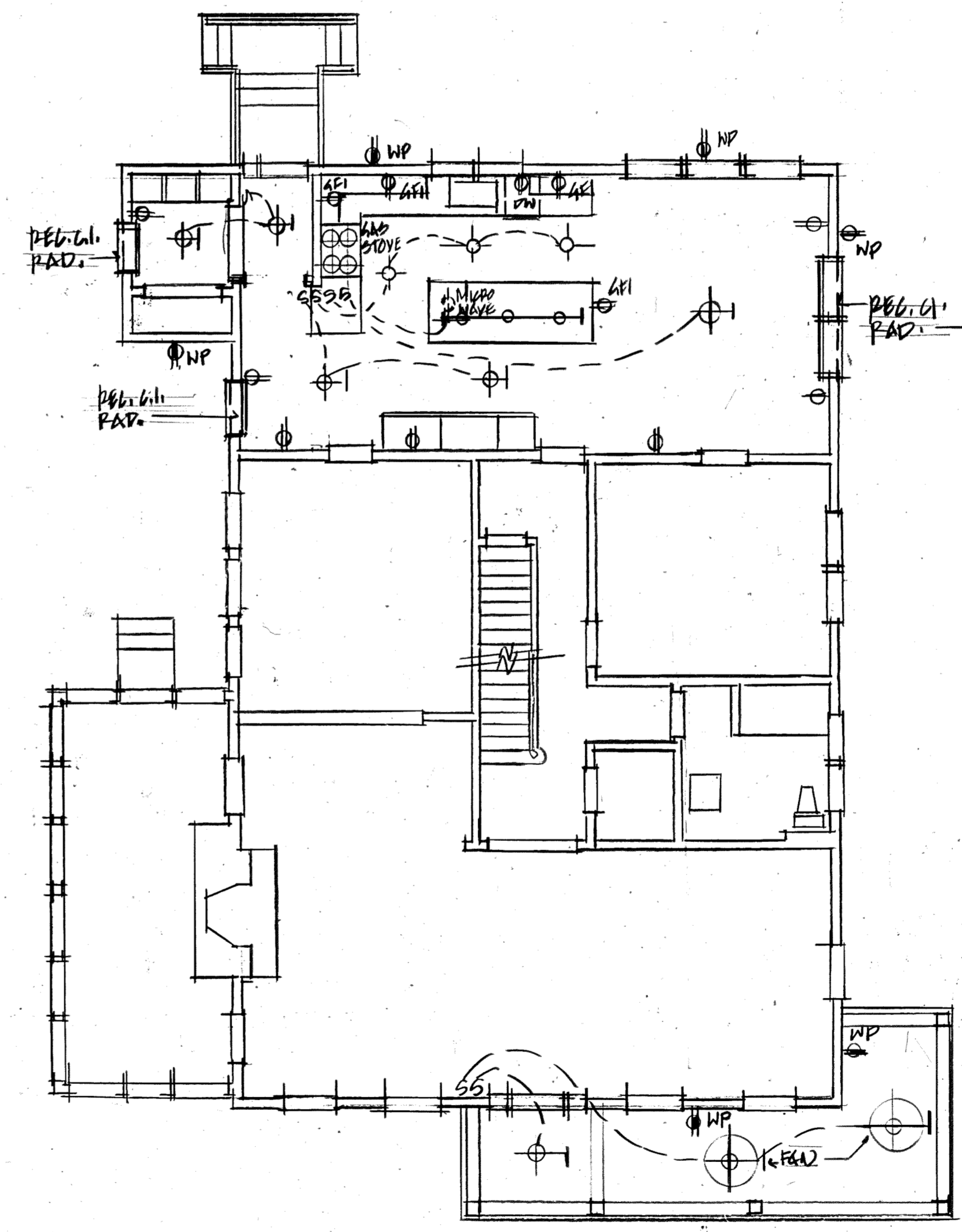


AVERAGE FRONTYARD WITHIN 200'

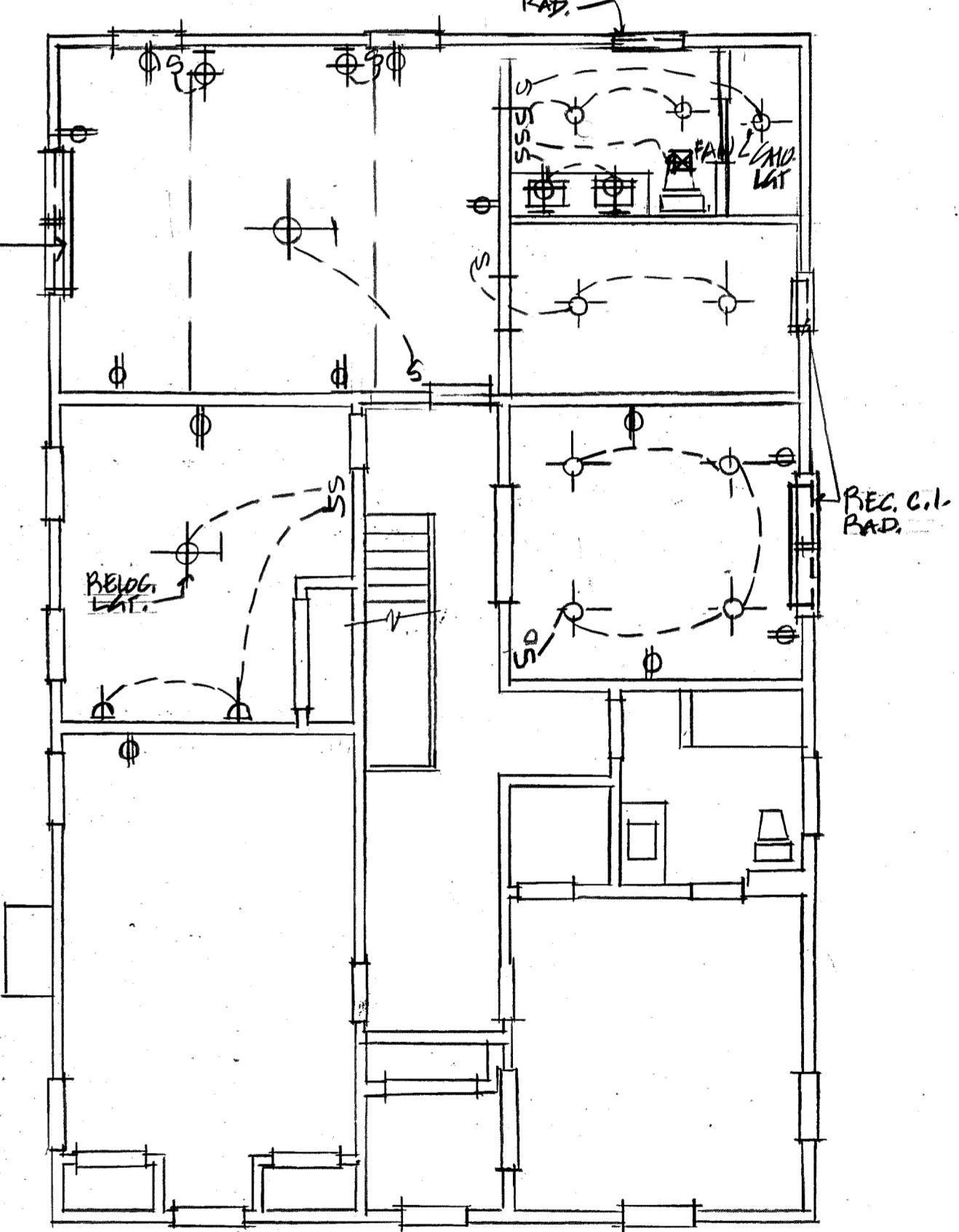
51051100	35.90'
51051101	35.71'
51001132	41.15'
51001133	41.14'
173.29/4 = 43.32'	

- ELECTRICAL SYMBOL LEGEND**
- ⊕ DUPLEX OUTLET
  - ⊕ WEATHERPROOF DUPLEX OUTLET
  - ⊕ GFI PROTECTED DUPLEX OUTLET
  - ⊕ CABLE OUTLET
  - ⊕ SINGLE POLE SWITCH
  - ⊕ (3) WAY SWITCH
  - ⊕ DIMMER SWITCH
  - ⊕ DOOR ACTIVATED SWITCH
  - ⊕ SMOKE DETECTOR
  - ⊕ SURFACE MOUNTED LIGHT FIXTURE
  - ⊕ 6" RECESSED HIGH HAT (HALO OR EQ.)
  - ⊕ 4" RECESSED HIGH HAT (HALO OR EQ.)
  - ⊕ LOW VOLTAGE (PIN SPOT)
  - ⊕ EXHAUST FAN
  - ⊕ (ULTRA QUIET TEST BY NUTONE OR EQ.)
  - ⊕ CEILING MOUNTED FAN
  - ⊕ UNDER COUNTER LIGHTS

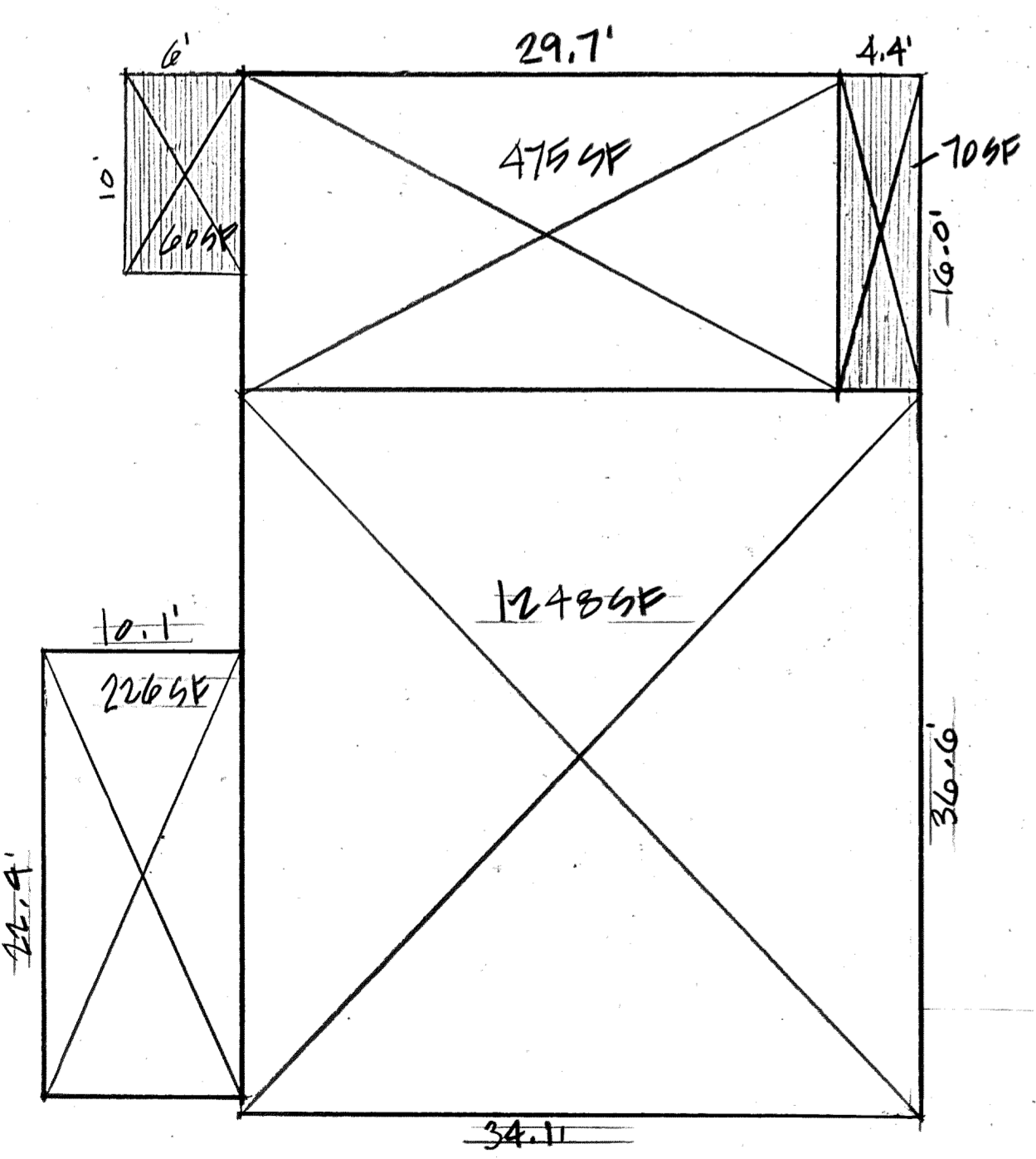
- ELECTRICAL NOTES**
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF A LICENSED ELECTRICIAN.
  - CONTRACTOR SHALL OBTAIN 'UNDERWRITER'S CERTIFICATE COVERING ALL ELECTRICAL WORK PERFORMED AS PART OF THIS CONTRACT.
  - ELECTRICIAN SHALL VERIFY LOCATION OF ROUGHING BOXES WITH OWNER/ARCHITECT PRIOR TO WIRING.
  - CONTRACTOR SHALL SUPPLY AND INSTALL WHITE BAFFLE HI-HAT FIXTURES WHERE INDICATED ON PLANS.
  - OUTLETS SHALL BE DUPLEX GROUNDED TYPE, GFI AND/OR WEATHERPROOF WHERE INDICATED (LEVITON OR APPROVED EQUAL).
  - SWITCHES TO BE SILENT TYPE ROCKER SWITCHES, WHITE FINISH (LEVITON OR APPROVED EQUAL).
  - SURFACE MOUNTED FIXTURES SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
  - GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL SMOKE DETECTION DEVICES IN COMPLIANCE WITH SECTIONS 72.1 AND 1060.10 OF THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE. DEVICES SHALL BE HARD WIRED AND INTERCONNECTED AND BE LOCATED A MINIMUM OF 18 INCHES FROM ADJACENT WALLS.
  - CONTRACTOR SHALL IDENTIFY AND LABEL ALL NEW CIRCUITS UPON COMPLETION OF THE JOB.
  - CONTRACTOR SHALL VERIFY AND EVALUATE EXISTING ELECTRIC SERVICE AND PROPOSE UPGRADE IF NECESSARY.
  - A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS AS PER SECTION 404.1 NYS ENERGY CODE.



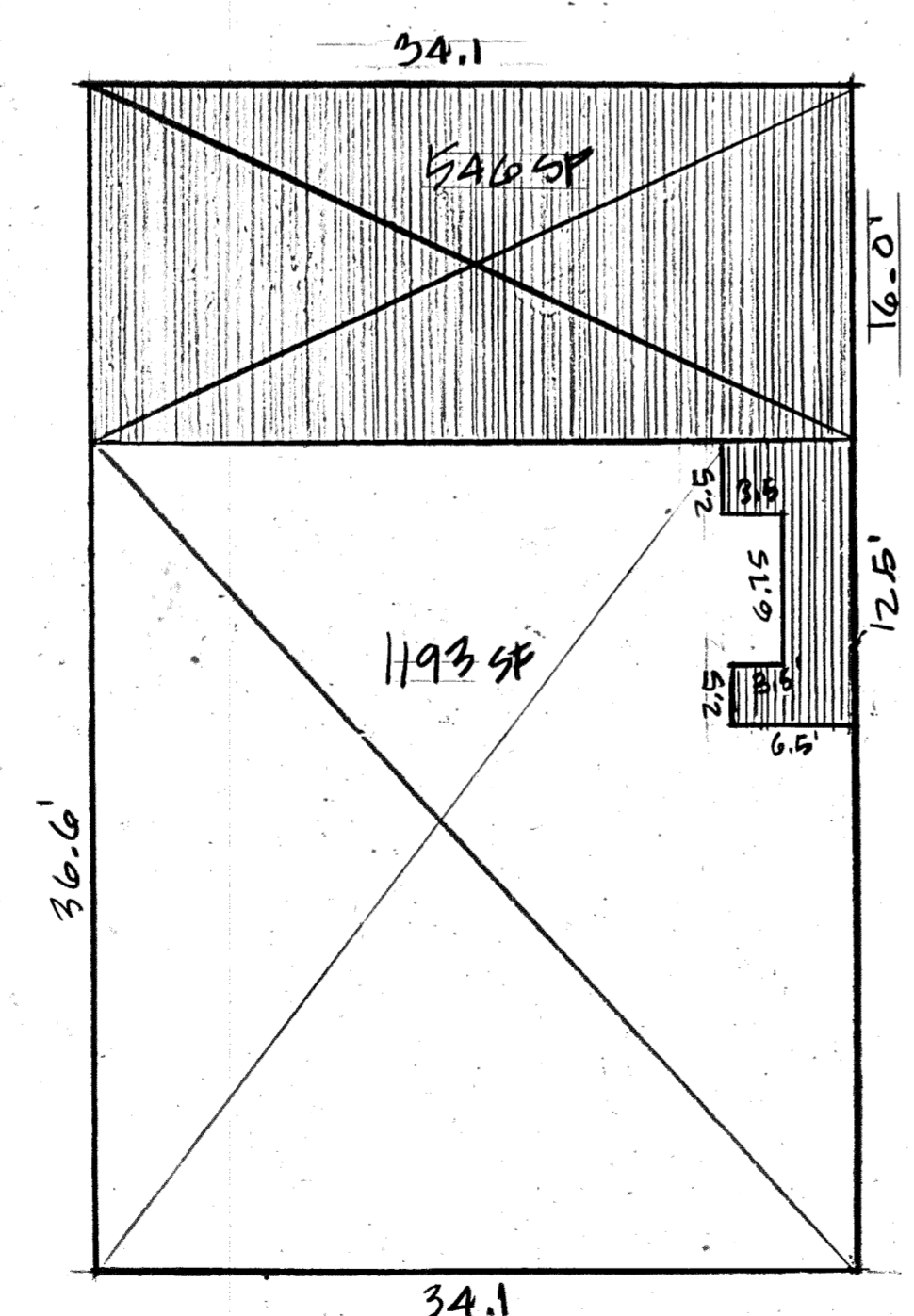
5 FIRST FLOOR ELECTRICAL PLAN  
AS



6 SECOND FLOOR ELECTRICAL PLAN  
AS



3 FIRST FLOOR GROSS FLOOR AREA = 2019 SF  
AS  
1/8" = 1'-0"



4 SECOND FLOOR GROSS FLOOR AREA = 1194 SF  
AS  
1/8" = 1'-0"

**HEATING & AIR CONDITIONING NOTES:**

- CONTRACTOR TO PROVIDE BID TO INSTALL ALL NECESSARY EQUIPMENT, CONDENSING UNIT, AIR HANDLER, DUCTWORK, REFRIGERANT LINES, AIR FILTERS, DAMPERS, ETC. FOR HVAC SYSTEM @ NEW ADDITION & EXISTING SECOND FLOOR.
- WHITE METAL GRILLES TO BE INSTALLED AT ALL REGISTERS.
- INSTALL NEW RECESSED CAST IRON RADIATORS WHERE INDICATED ON PLANS.
- PROVIDE ALTERNATE BID FOR NEW HW RADIANT HEAT SYSTEM AT PRIMARY BATHROOM FLOOR TO BE SERVED BY SEPARATE ZONE COMPLETE WITH TEMPERATURE MIXING VALVE, CIRCULATOR AND THERMOSTAT.
- PROVIDE ALTERNATE BID FOR FORCED HOT AIR SYSTEM AT ENTIRE HOUSE.

**Smoke alarms shall be installed in the following locations:**

- In each sleeping room.
  - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
  - On each additional story of the dwelling, including basements and habitable attics and not installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- Carbon monoxide alarms in dwelling units shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.
- Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.

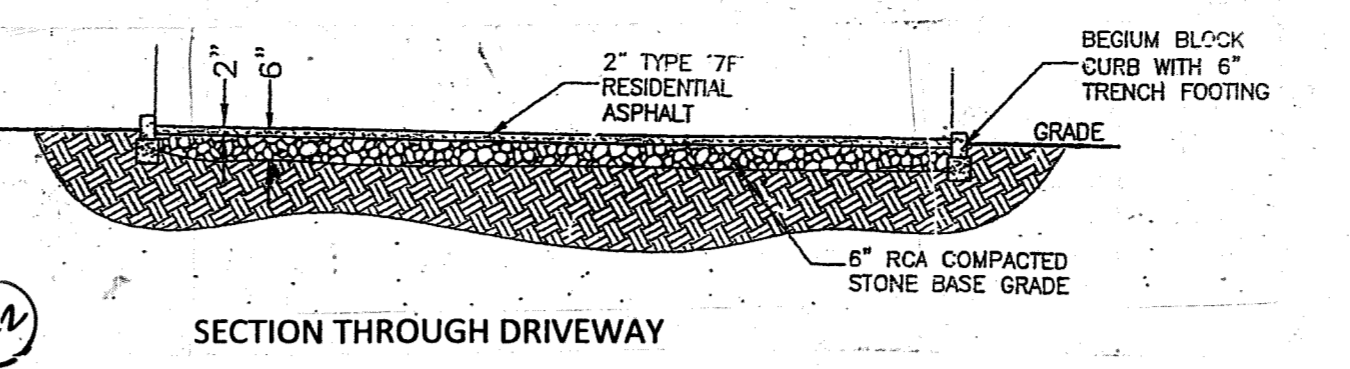
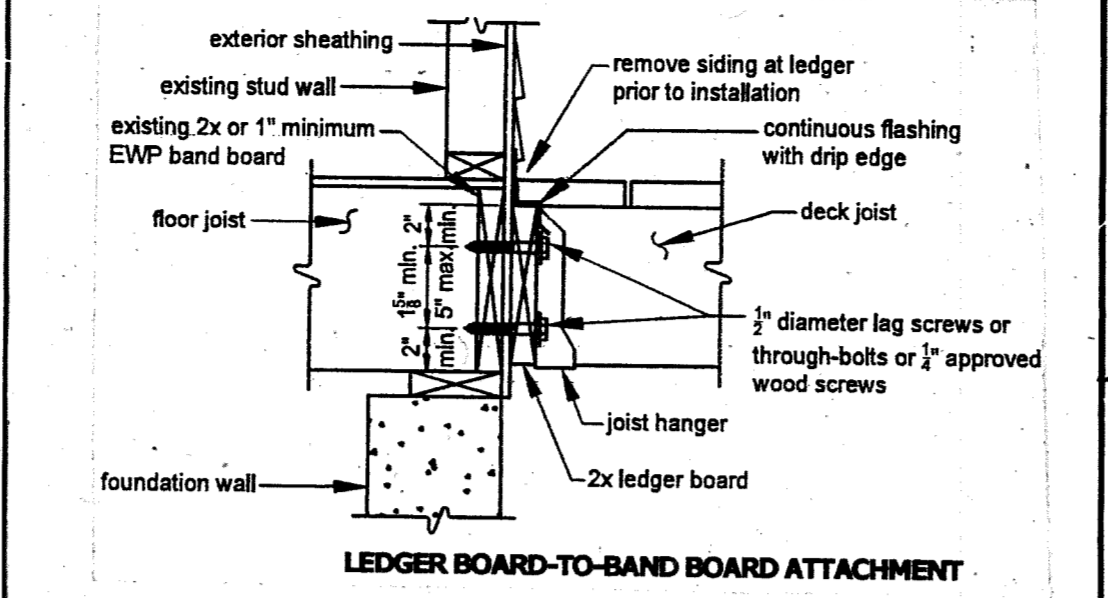
<b>JANICE MILLER</b> ARCHITECT 516-944-9371		<b>STOLPER RESIDENCE</b> 59 Litchfield Rd. Port Washington, N.Y.	
		SECTION 4, 6 FLOOR PL. AREA VIA ELECTRICAL PLANS	
REVISIONS	DATE 11/1/24	DRAWING <b>A5</b>	
DRAWN JLM	SCALE AS NOTED	FILE 2405	



**TABLE R301.2(1): CLIMACTIC AND GEOGRAPHIC DESIGN CRITERIA**

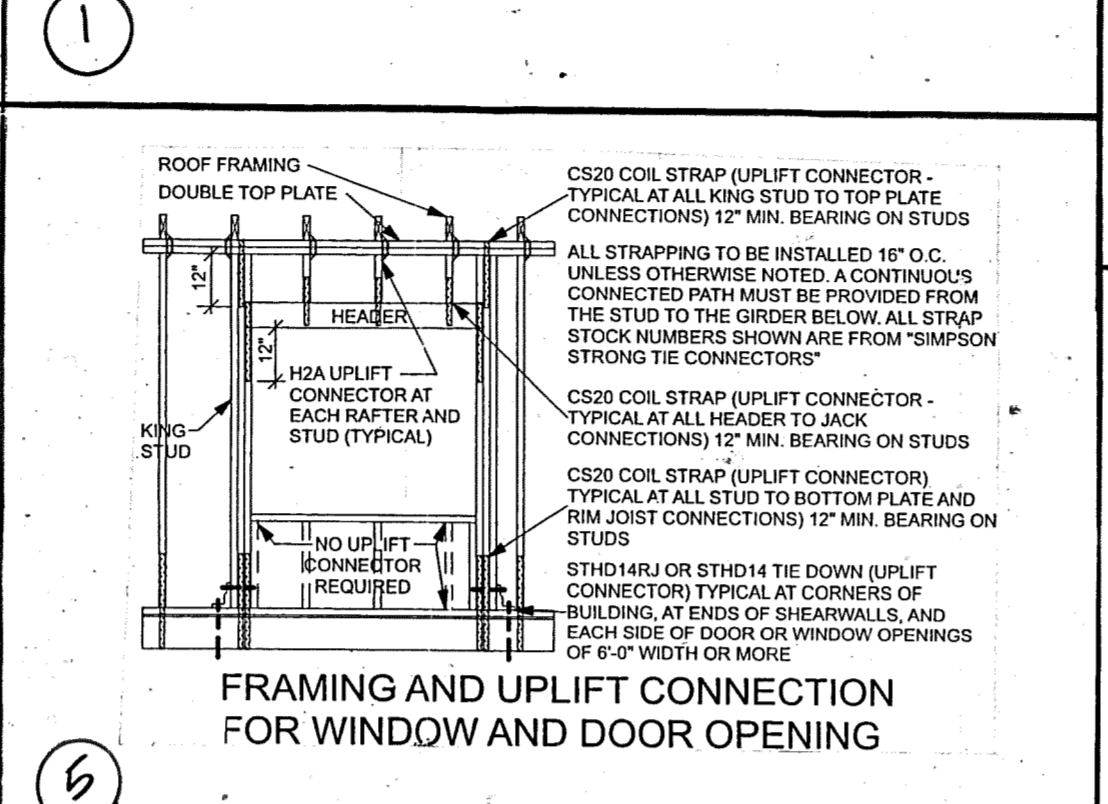
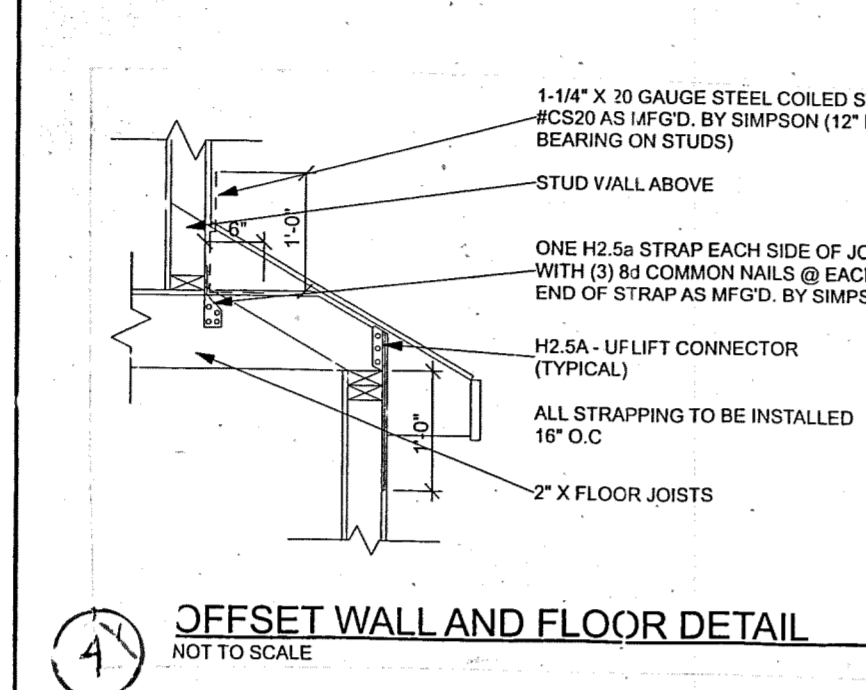
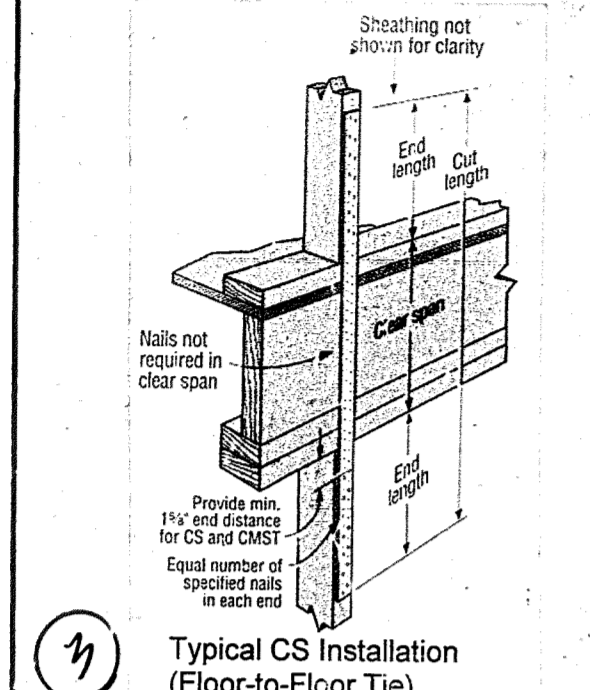
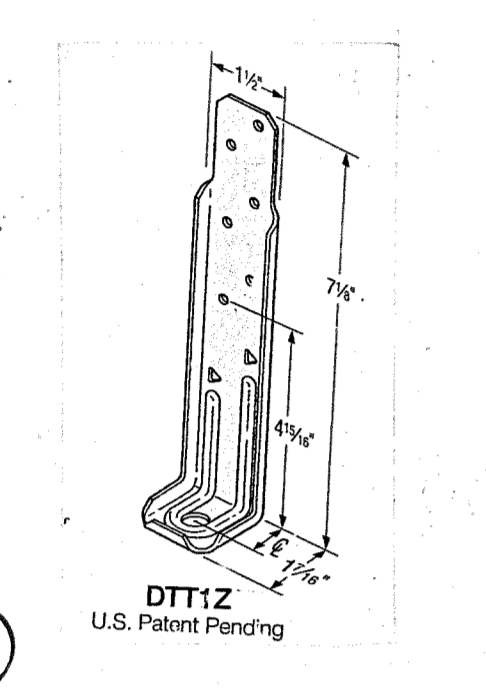
GROUND SNOW LOAD	WIND DESIGN:			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
25 PSF	120	N/A	WIND < 130 MPH	NASSAU: B	SEVERE	36" MIN.	MOD / HEAVY	NASSAU: 15° F	24"	VARIABLES	1500 OR <	52.9° F

R301.2(1) DESIGN CRITERIA: AREA LOCATED WHERE WIND SPEEDS EQUAL OR EXCEEDS 120 MILES PER HOUR. DESIGN CRITERIA BASED ON AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM)

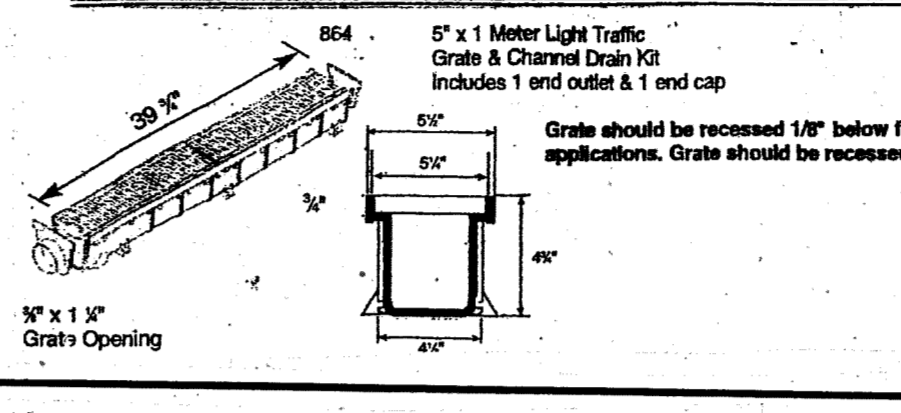


**TABLE R502.9(1) FASTENING SCHEDULE**

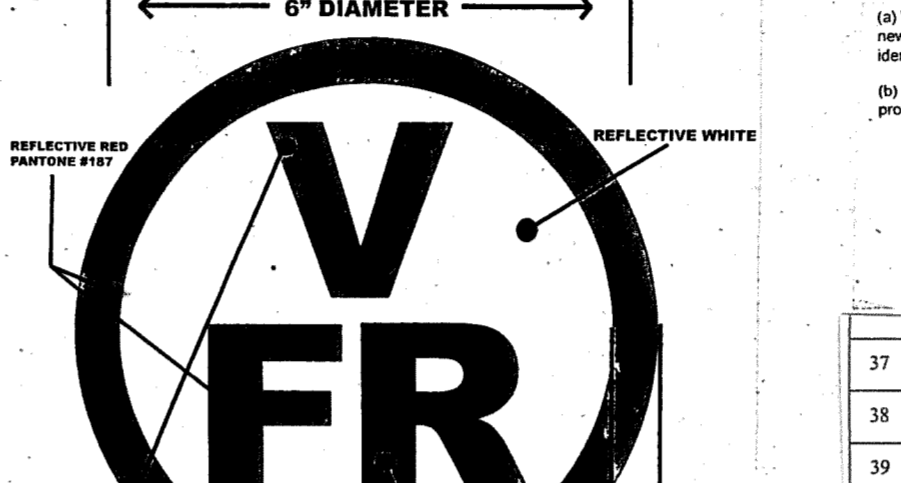
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 1/2" x 0.131") or 3-8d common (2 1/2" x 0.131") or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 1/2" x 0.131") or 3-8d common (2 1/2" x 0.131") or 3-10d box (3" x 0.128") or 3-3" x 0.131" nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter, laps over partitions (see Section R302.5.2 and Table R502.9.2)	4-10d box (3" x 0.128") or 3-10d common (3" x 0.148") or 4-3" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (see Section R302.5.2 and Table R502.9.2)	Table R502.9.2	Face nail
5	Collar tie to rafter, face nail or 1/4" x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128") or 3-10d common (3" x 0.148") or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3 1/2" x 0.135") or 4-10d box (3" x 0.148") or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafter to ridge, valley or hip rafter or roof rafter to minimum 2" ridge beam	3-16d box (3 1/2" x 0.135") or 3-10d common (3" x 0.148") or 4-10d box (3" x 0.128") or 3-10d box (3" x 0.128") or 3-3" x 0.131" nails	Toe nail
			End nail



**CHANNEL DRAIN DETAIL (MODULAR)**

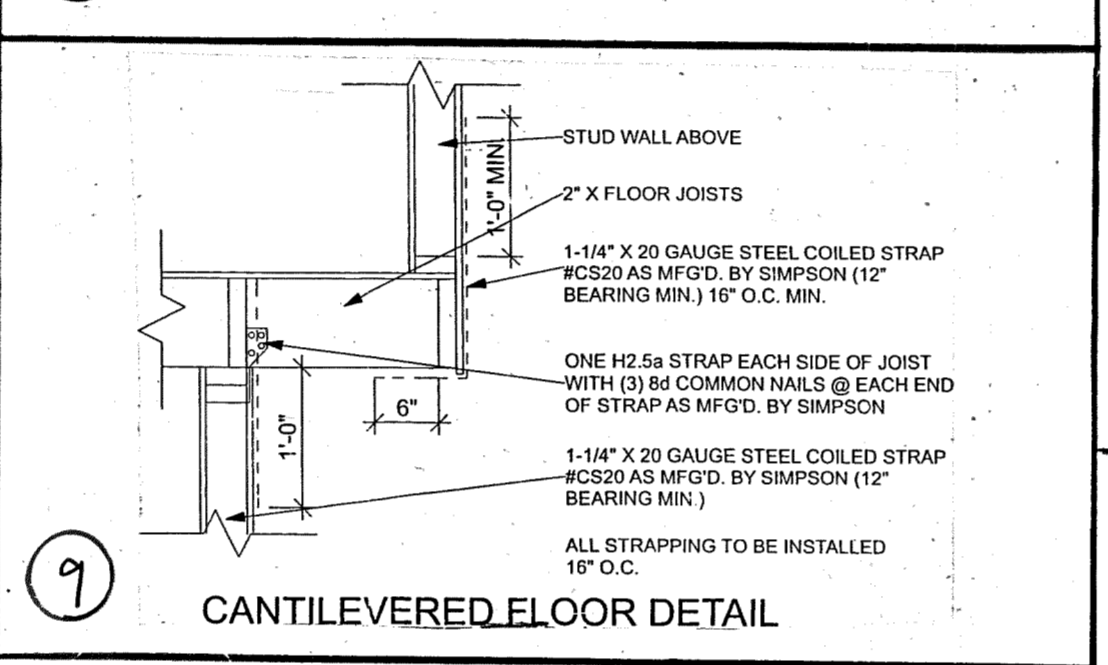
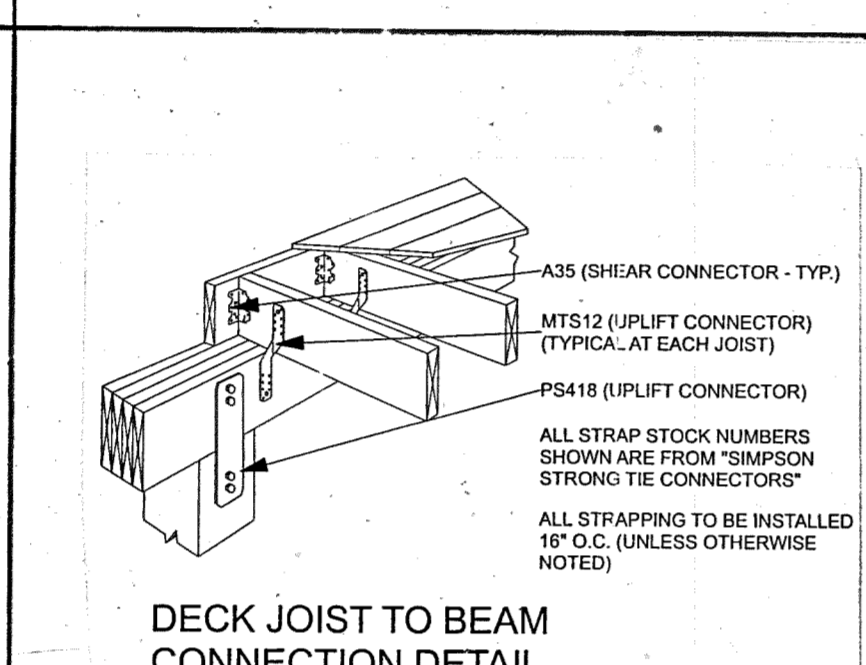
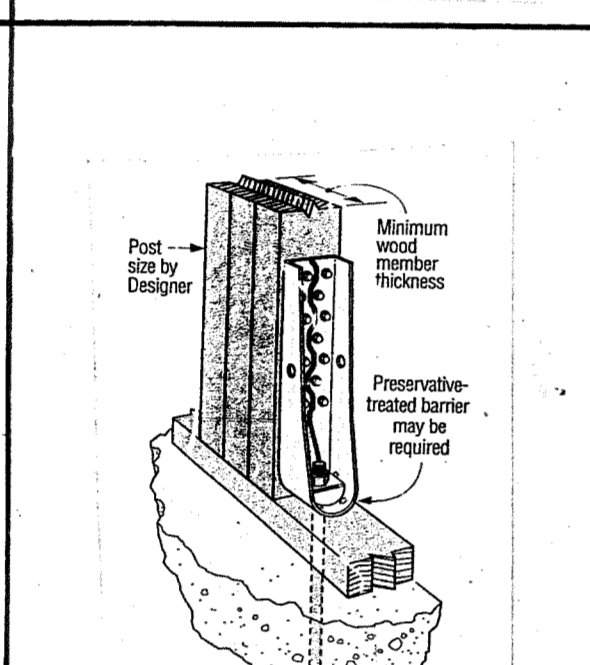
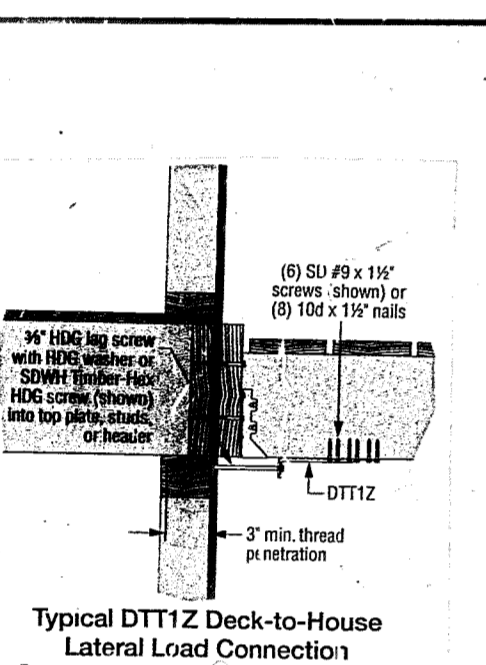


**Specifications**  
NDS #864, 6\"/>



**DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION**

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION
37	1/4" and less	6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6 12
38	1/2" - 1"	8d common (2 1/2" x 0.131") nail or 6d deformed (2" x 0.120") nail	6 12
39	1 1/4" - 1 1/2"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.120") nail	6 12



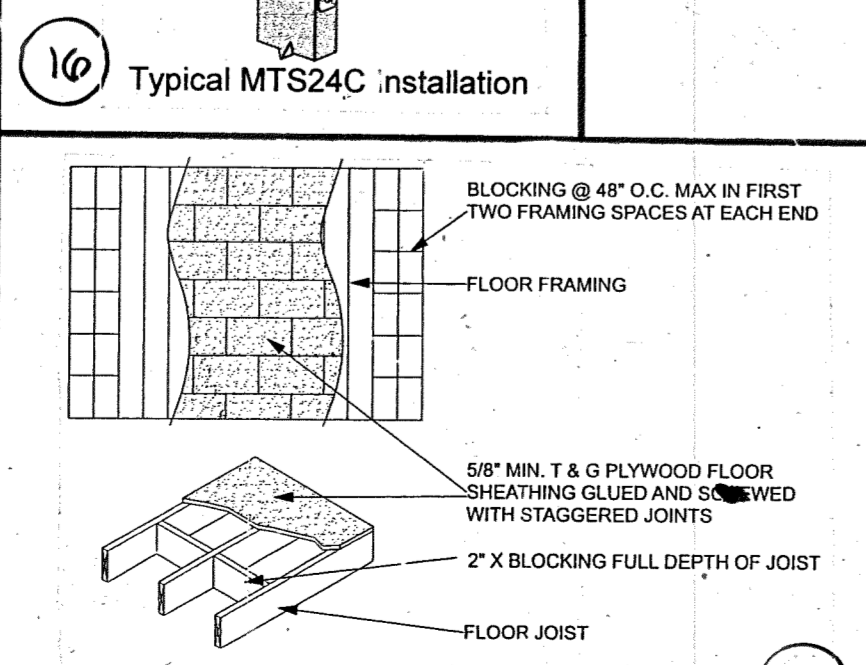
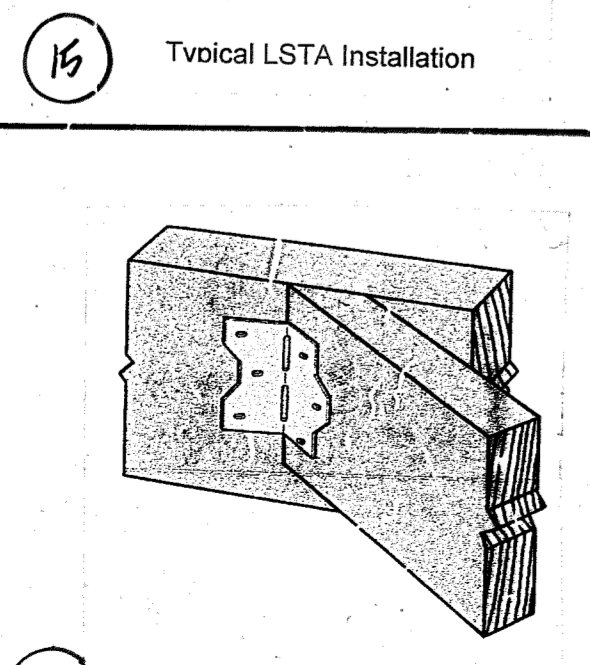
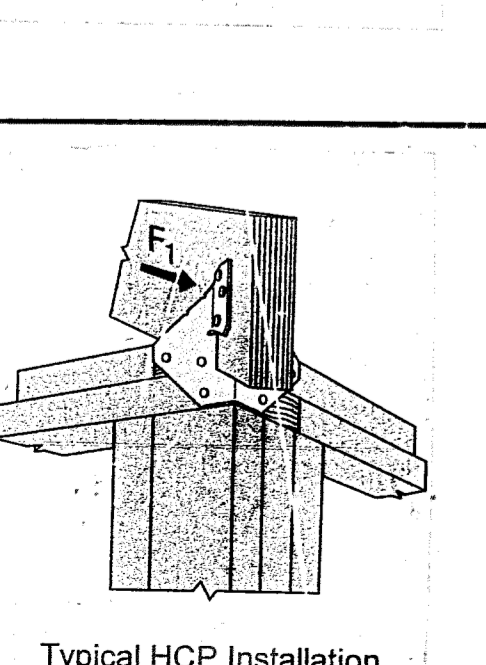
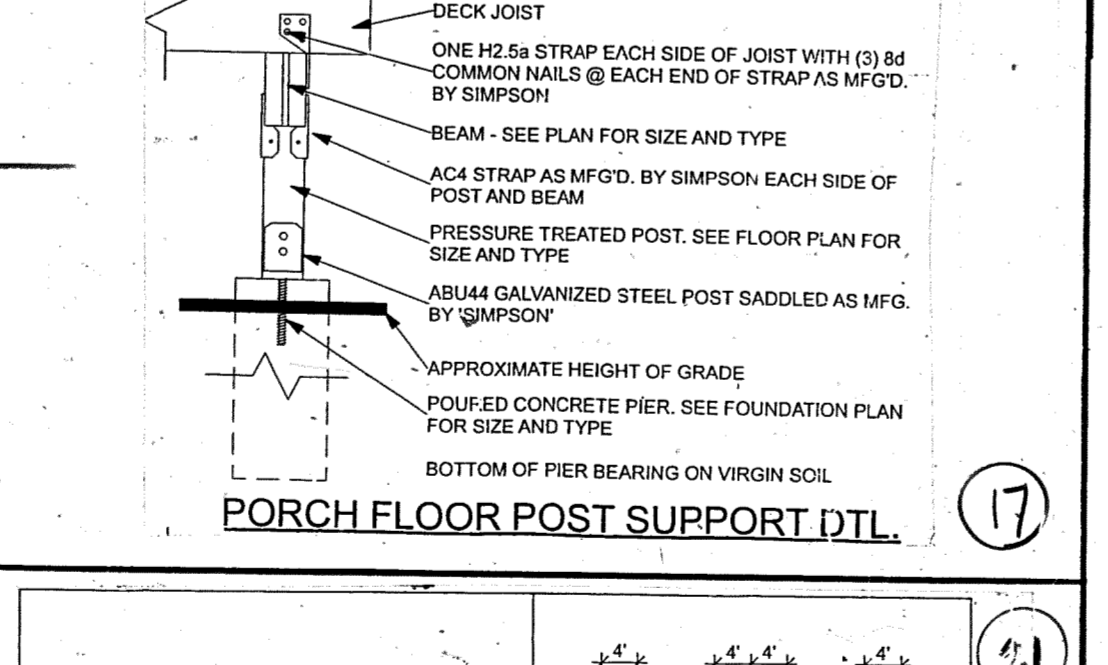
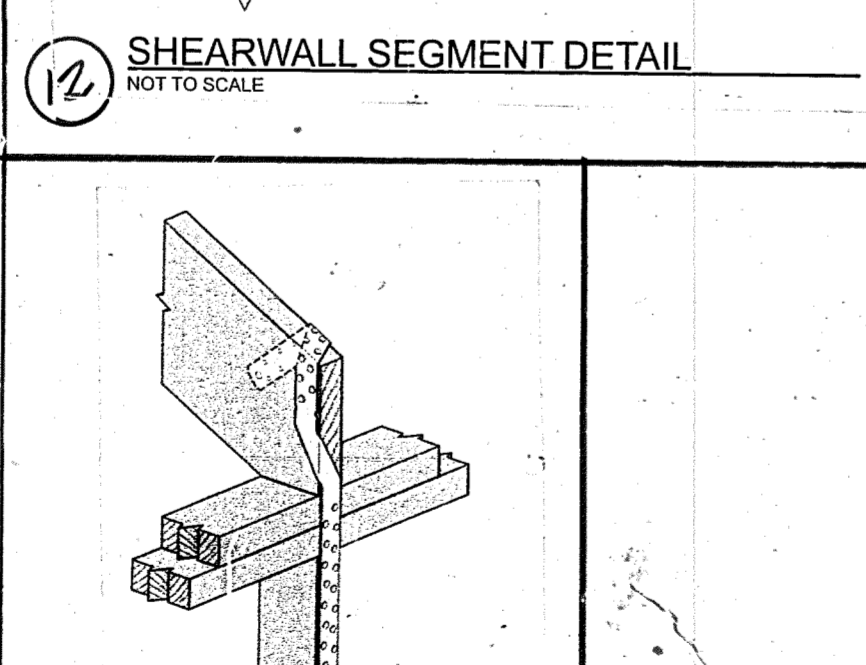
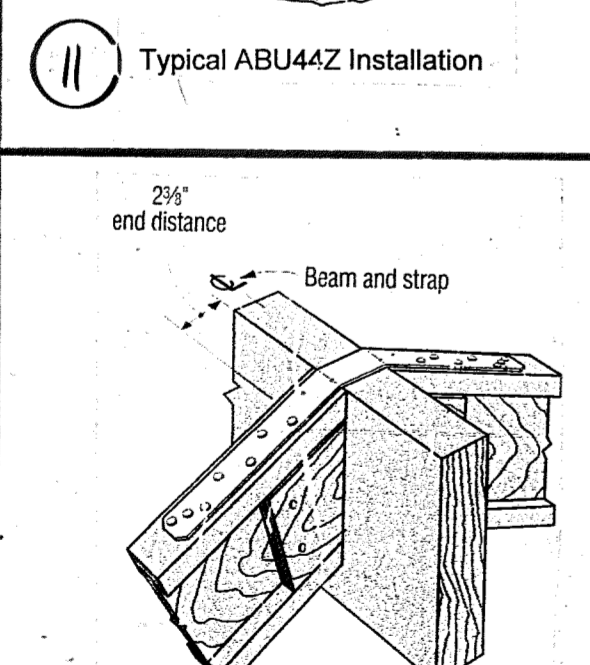
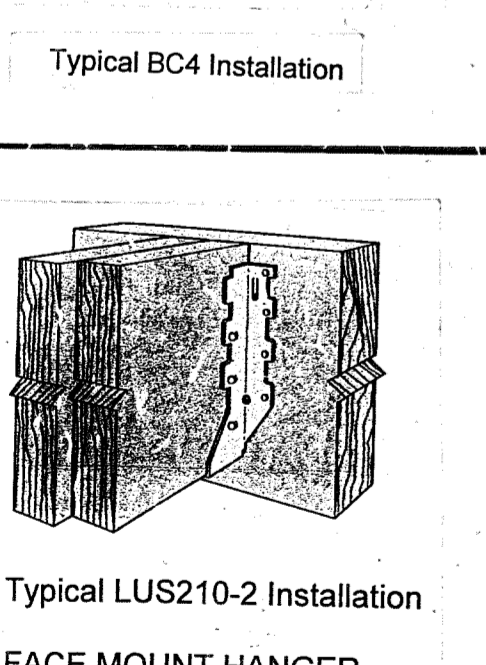
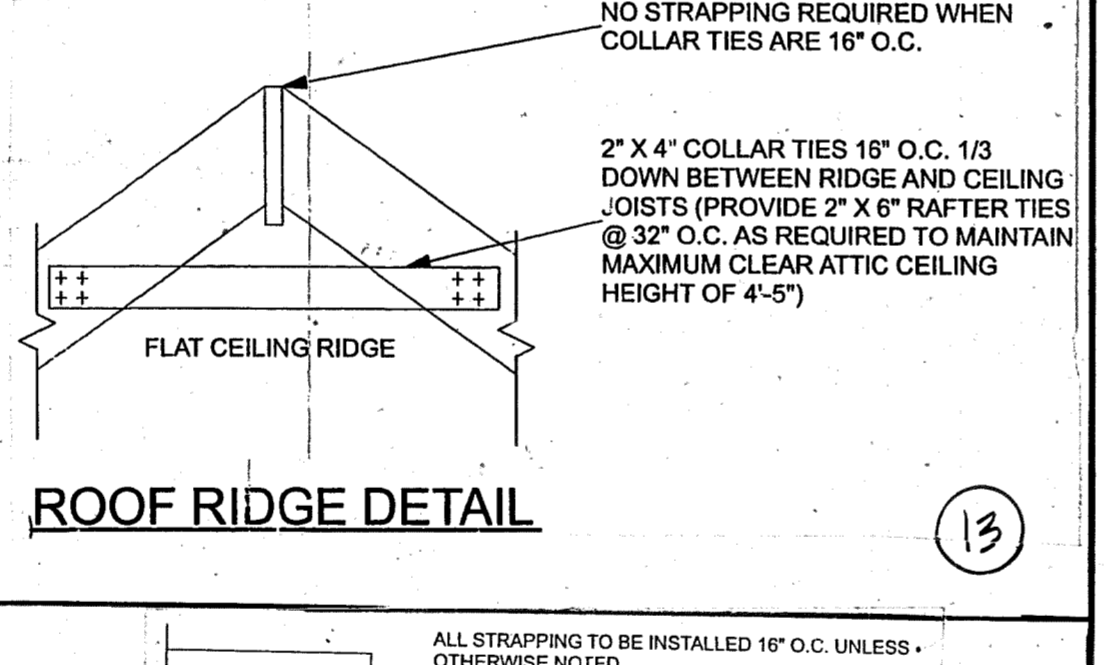
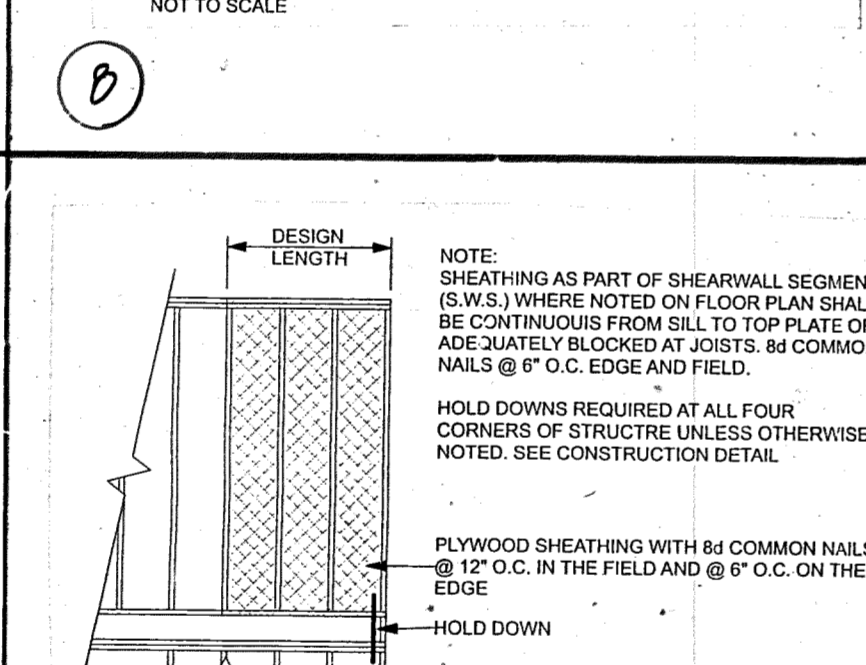
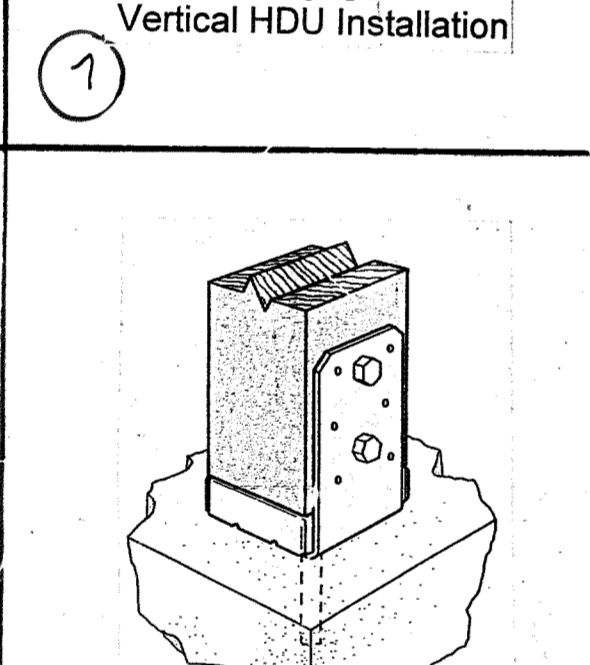
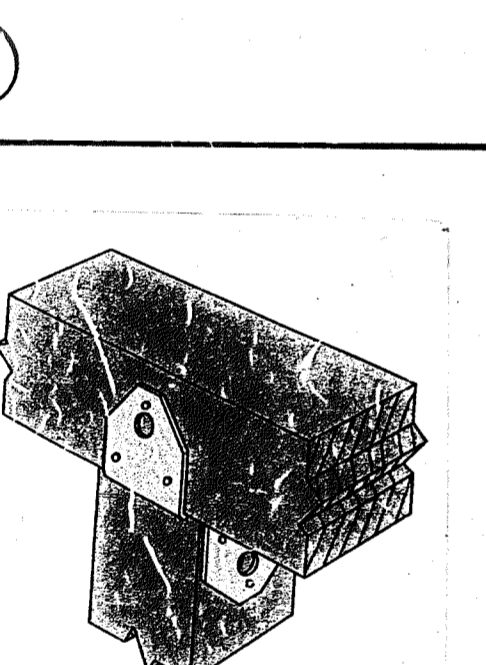
**MINIMUM UNIFORM DISTRIBUTED LOADS**

USE	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES	60 PSF	10 PSF
DECKS	40 PSF	10 PSF
PASSENGER VEHICLE GARAGES	50 PSF	AS PER PLAN
ATTICS WITHOUT STORAGE (LESS THAN 42" CLEAR HT.)	10 PSF	10 PSF
ATTICS WITH STORAGE (MORE THAN 42" CLEAR HT.)	20 PSF	10 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF	10 PSF
SLEEPING ROOMS	30 PSF	10 PSF
STAIRS	43 PSF	10 PSF
GUARDRAILS AND HANDRAILS	20C PSF	10 PSF
ROOF LOADING (LIVE = GROUND SNOW LOAD ADJUSTMENTS AS PER TABLE R301.5 OF THE RESIDENTIAL CODE OF NEW YORK STATE)	20 PSF	12 PSF FOR ATTIC 15 PSF FOR CATHEDRAL

**ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS**

REFER TO TABLE R301.7 OF THE RESIDENTIAL CODE OF NEW YORK STATE.)

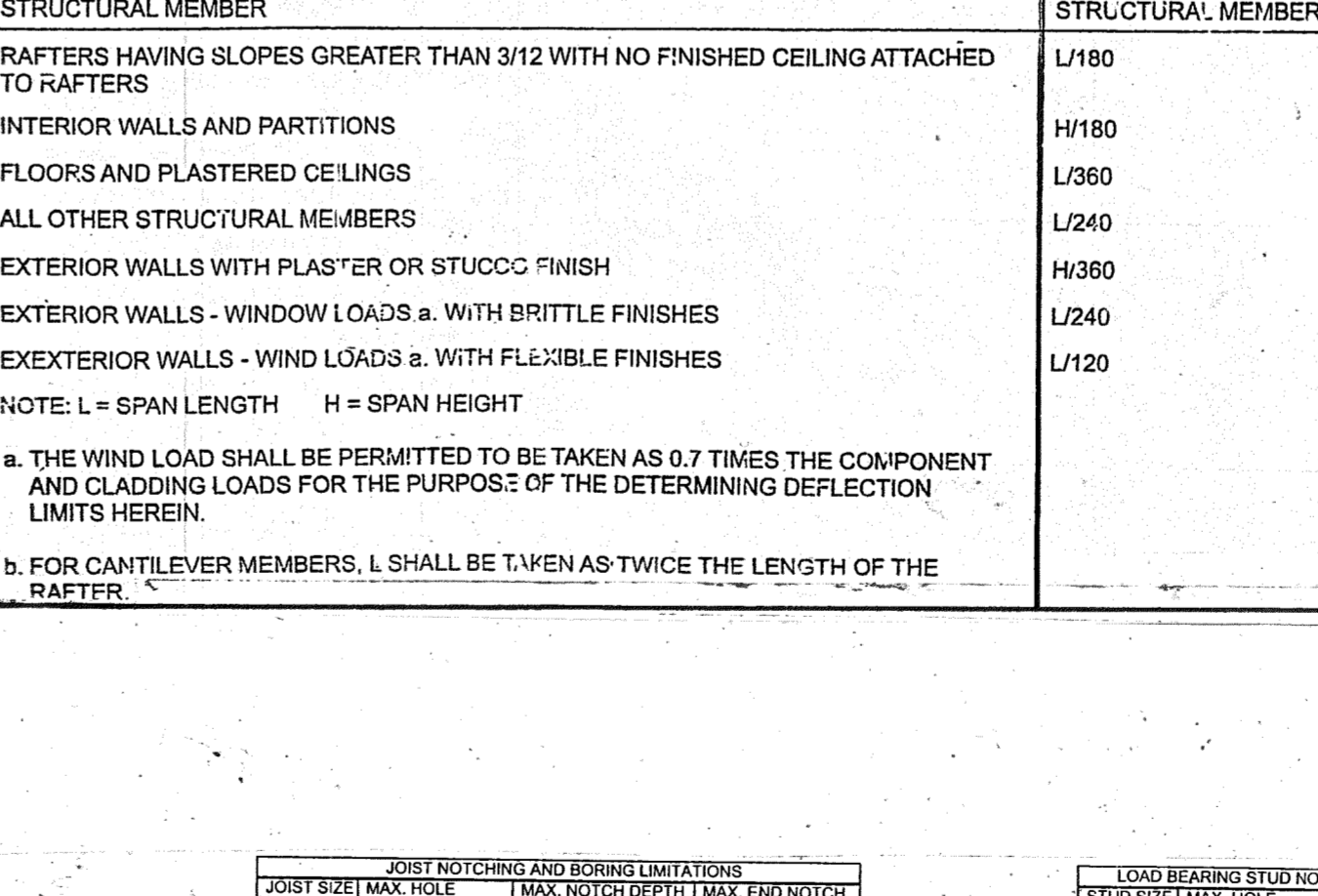
STRUCTURAL MEMBER	STRUCTURAL MEMBER
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILINGS	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS - WINDOW LOADS a. WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS - WINDOW LOADS a. WITH FLEXIBLE FINISHES	L/120



**ROOF AND WALL SHEATHING NAILING SCHEDULE**

PLYWOOD SHEATHING NAILING SCHEDULE	WALL SHEATHING	A. ALL 1/2\"/>
FIELD 12\"/>		
EDGE 6\"/>		

**NOTCHING LIMITATIONS**



**JANICE ARCHITECT MILLER**  
516-944-9571  
1 LINCOLN PLACE  
PORT WASHINGTON, NY 11050

**STOLPER RESIDENCE**  
59 Litchfield Rd. Port Washington, N.Y.

**PLOT PLAN, FOUNDATION PLAN**

REVISIONS	DATE	DRAWING
	11/1/24	A6

SCALE: AS NOTED  
FILL: 2405

NOTE: BOTTOM OF NEW FOOTINGS TO BEAR ON UNDISTURBED SOIL. BRING ALL NEW FOOTINGS DOWN MINIMUM LEVEL W/EXISTING CELLAR FOOTINGS AS REQ'D.

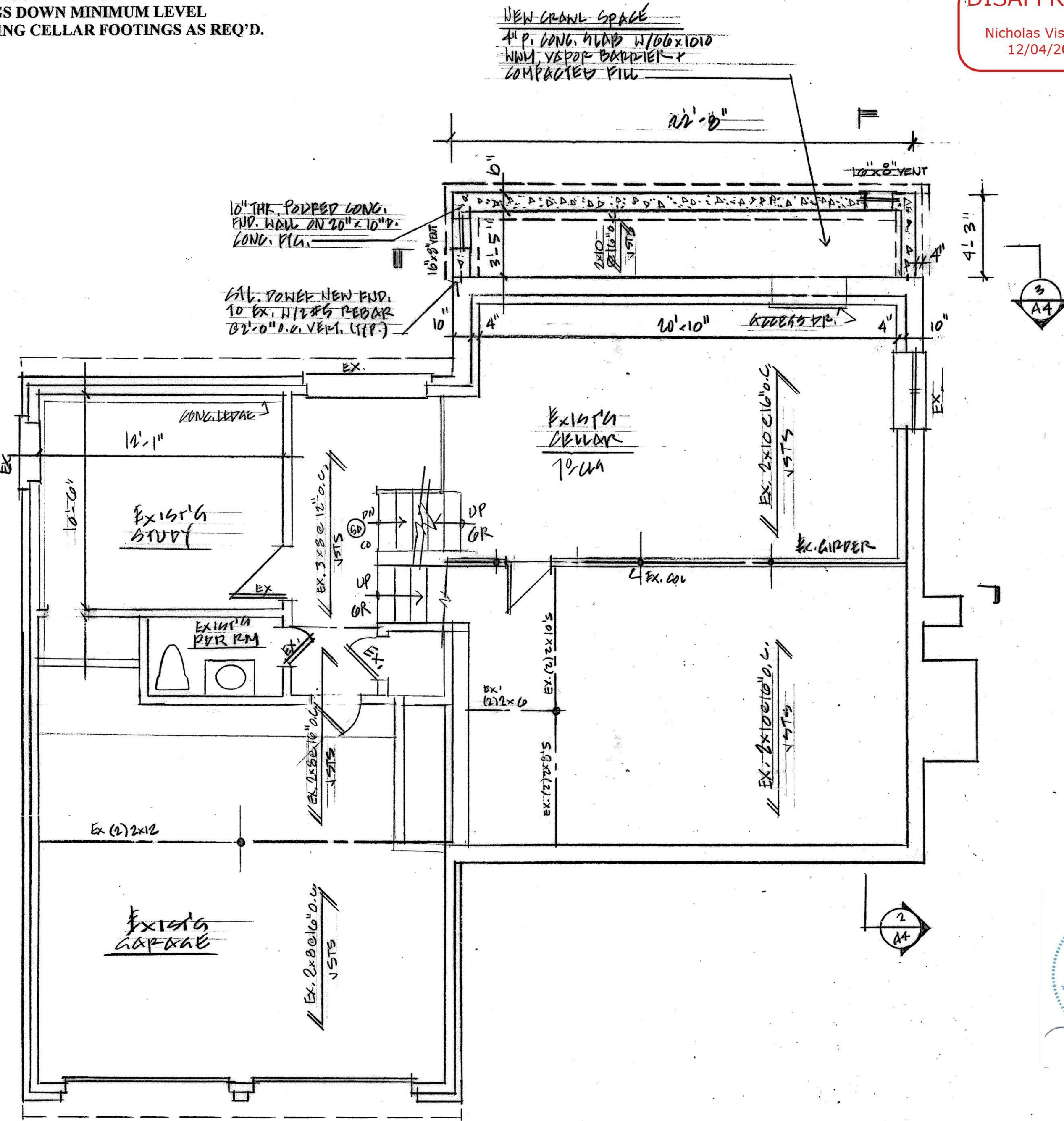
DISAPPROVED

Nicholas Vissicelli  
12/04/2024

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

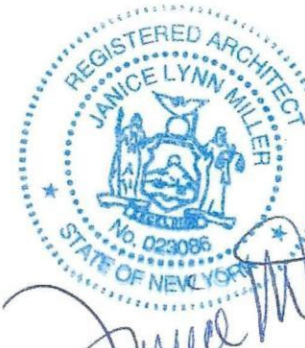
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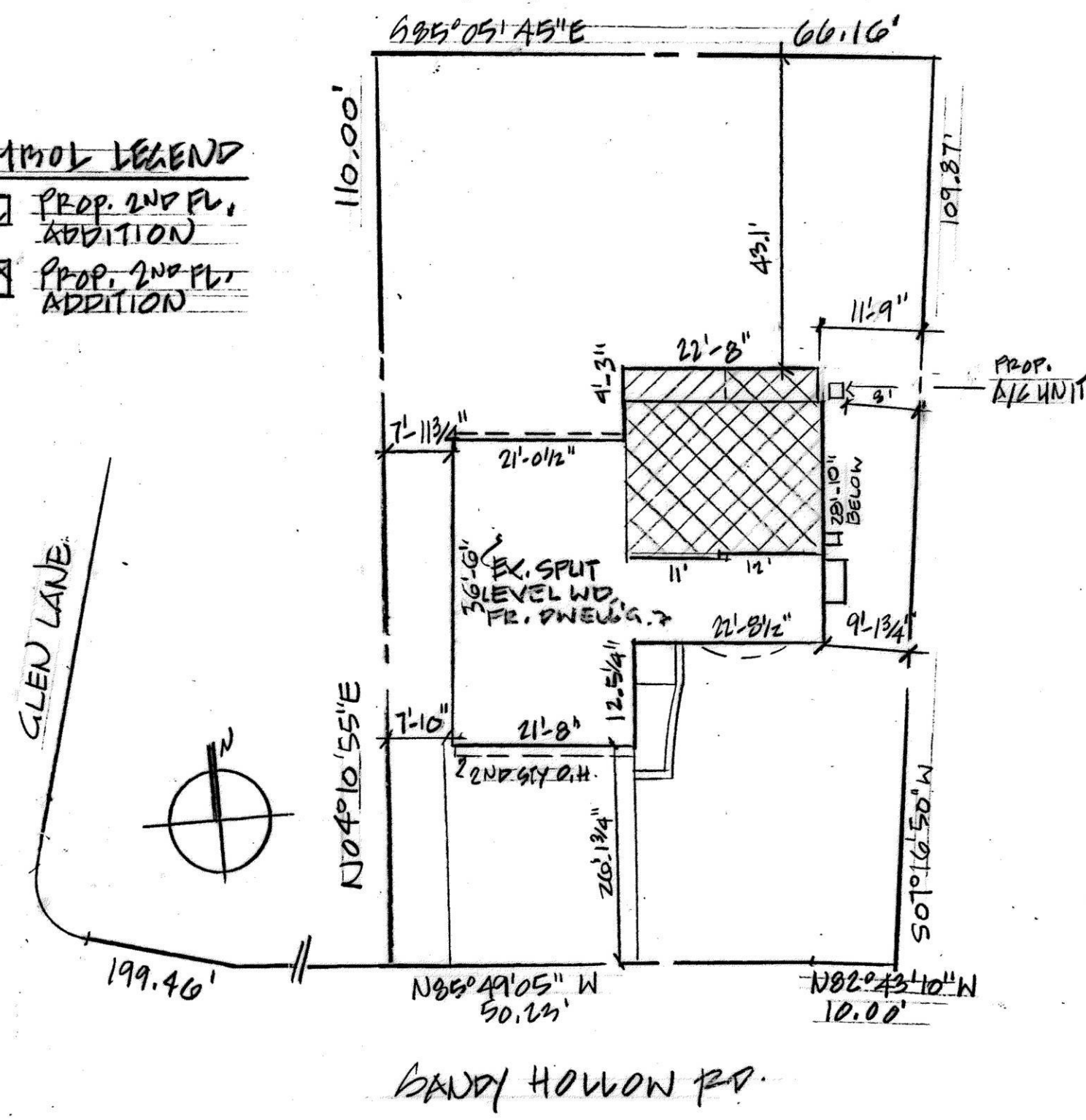


ZONING ANALYSIS			
TOWN OF NORTH HEMPSTEAD REVENUE 12 DISTRICT SECTION 5 BLOCK 100 LOT 90			
LEGUE	BEING PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	5,000 SF	6,557 SF	6,557 SF
LOT COVERAGE	35% 1,749 SF	22.8% 1,498 SF	23.6% 1,547 SF
MIN. FRONT YARD	25'	20.15'	20.15'
AVER. FRONT YARD		20.05'	
MIN. REAR YARD	15'	43.1'	43.1'
MIN. SIDE YARD	MIN. 5'	12.5' 7.83, 9.9'	19.75' 7.83, 11.9'
MAX. HEIGHT	30'	21.0'	20.83'
MAX. EAVE HAT	22'	16.4'	20.83'
APPROX. FL. AREA	LOWER LEVEL 1ST FL. 50% (9219 SF) 7,800 SF MAX.	791 SF 708 SF 818 SF 2,317 SF 36,390	791 SF 767 SF 818 SF 502 SF 20,606 SF 43,712

FOUNDATION PLAN  
1/4" = 1'-0"



SYMBOL LEGEND  
 [Hatched Box] PROP. 2ND FL. ADDITION  
 [Cross-hatched Box] PROP. 2ND FL. ADDITION



PLOT PLAN  
1" = 10'-0"  
DRY WELL NOT REQUIRED

$EL. D = 40.00$   
 $EL. E = 40.10$   
 $EL. F = 41.03$   
 $EL. G = 39.10$   
 $EL. B = 39.61$   
 $EL. A = 41.30$   
 $40.30 + 39.01 = 39.71 / 2 = 40.49$   
 $39.10 + 39.10 = 78.20 / 2 = 39.10$   
 $39.10 + 40.60 = 79.70 / 2 = 40.35$   
 $40.00 + 40.60 = 80.60 / 2 = 40.30$   
 $40.00 + 41.03 = 81.03 / 2 = 40.51$   
 $41.03 + 41.30 = 82.33 / 2 = 41.16$   
 $40.45 / 154.21 = 40.5$   
**PRE-EXISTING AVERAGE GRADE = 40.5'**

**FOUNDATION NOTES:**

- Contractor shall inspect point of contact at foundation supporting columns for cracks or other deficiencies and advise architect immediately.
- The bottom surface of stepped footings shall not have a slope exceeding 10% as per the requirements of R403.1.5.
- The bottom of all exterior footings shall be placed 12" below the undisturbed ground surface as per R403.1.4.
- Contractor shall verify the depth of all existing foundations at any existing porches under proposed columns, at unexcavated areas and any crawl space foundations any new structure and verify if the thickness (min. 8-10" wide) and depth of the footing (minimum of 3'-0" below grade) with spread 'tee' shaped footings. Notify owner and architect immediately if conditions vary.
- Underpinning shall be required at any existing concrete footing that is directly adjacent to any new footing that is lower in elevation. New footing shall be poured concrete at a depth to match the new footing elevation. Width of underpinning to match size of existing footing. All sections worked on are not to be greater than 3'-0" wide and worked in alternate sections. Contractor shall verify all elevations and provide adequate shoring and bracing as required under general notes.

**NOTES:**

- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL BUILDING SETBACK LINES BY A LICENSED SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR SHALL LOCATE ALL SERVICE, ELECTRICAL, TELEPHONE, H.V.A.C.
- PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL VERIFY ALL FINISH FLOOR ELEVATIONS IN NEW AND EXISTING AREAS AND ADJUST TOP OF NEW FOUNDATION WALL. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL VERIFY ADEQUATE DEPTH OF FOUNDATION WALL (3') UNDER PRIOR TO POURING NEW FOUNDATION WALL.
- CONTRACTOR SHALL ENSURE PROPER DRAINAGE AND WATERPROOFING AT PERIMETER OF NEW CONSTRUCTION AND REGRADE AS REQUIRED.

**GENERAL NOTES**

- These general notes are part of the plans and specs and are to be complied with in all respects. More restrictive notes mentioned elsewhere are to take precedence over these notes.
- All construction shall comply with the rules and regulations of the building code of N.Y. state and local towns and/or villages and other agencies having jurisdiction over the required work for this project. This shall not be construed to mean that any requirements set forth on the drawings may be modified because they are not specifically required by code.
- Contractor shall inspect premises and verify all dimensions and job conditions prior to submitting bid. Any discrepancies or ambiguities shall be brought to the attention of the architect.
- No construction or demolition work to commence before building department having jurisdiction issues a building permit.
- All contractors shall be fully covered by workmen's compensation insurance and such insurance as may be required by local laws.
- Contractor shall guarantee for a period of (1) year from the date of final completion and acceptance by the owner all work performed under their respective contracts.
- Owner to provide building permit, survey and final survey.
- Contractor to expedite the work and establish with owner a completion date.
- Do not scale drawings, written dimensions supercede scaled dimensions.
- If during the course of construction, a condition exists which differs from that indicated on the plans, contractor to notify owner/architect of any discrepancies prior to continuation of the work. Should he fail to follow this procedure he assumes all responsibility and liability arising therefrom.
- All work listed on the construction plans and shown or implied on all drawings shall be supplied by the contractor whose building trade status requires same.
- Contractor shall provide all necessary support, bracing, shoring, etc. as may be required for the construction of the project and restore any portion of building damaged during alteration.
- Contractor shall provide and install temporary partitions, fencing, lighting, etc. to protect existing construction so the owner may continue to occupy the building in a safe and sanitary manner.
- Construction and removal of debris shall be carried out progressively in order to keep adjacent spaces as clean as possible.
- Contractor shall repair, or replace, to match existing condition, all surfaces, trim, doors, etc. damaged during the progress of the work or the removal of which necessitated by the work.
- Architect shall not be responsible for the contractor's execution of the work not according to plans and specifications.
- Contractors shall, upon completion of their respective work, remove from the premises all debris, tools, excess materials and appearances, and to leave the premises in "broom clean" condition.
- These drawings are to be utilized only for this project.

**SITEWORK**

- Contractor shall strip topsoil from location of new construction and upon completion of construction topsoil to be replaced and raked clean, free of debris.
- Grading around new construction shall slope away from house and blend into existing.
- Excess fill to be removed from site, unless otherwise directed.
- Final landscape by owner.
- Contractor shall repair or replace existing walks, driveways, etc. damaged by construction.
- Do not backfill against foundation walls unless they are properly braced by floor slabs, temporary shoring or balanced fill. Slabs to be placed on undisturbed soil or compacted fill free of all organic materials.
- Provide 15# felt membrane over troweled-on mastic for dampproofing on all foundation walls.
- Upon backfilling foundation, treat soil for termite protection in addition to providing termite shields and wolmanized sills.

**STRUCTURAL WORK**

- Dimensions shown on these plans are nominal.
- Contractor shall field verify actual dimensions.
- Dimensions for framing are for rough framing.
- Contractor to provide any temporary shoring, underpinning, and/or temporary structural work required for the adequate execution to the job.

**CONCRETE & FOUNDATIONS**

- Soil bearing capacity assumed to be 3000 PSI, should poorer conditions be encountered, actual bearing capacity to be determined and footings to be redesigned.
- All concrete work to conform to latest ACI code.
- All concrete to be a minimum 3,500 PSI at 28 days, reinforcing steel shall conform to ASTM A-615 Grade 60. All foundations to be adequately braced prior to backfilling.
- Contractor to provide and coordinate installation of all sleeves required to accommodate plumbing, mechanical and electrical trades.
- Wall forms to be in place 3 days minimum.
- Provide 2" x 4" keyway between footing and foundation wall.
- All footings shall bear directly on undisturbed soil having a minimum safe bearing capacity of 2 tons/SF.
- All footings to have a 6" to 8" projection on each side of the wall above. Provide 3 #5 continuous rebars unless otherwise noted.
- All slabs on grade shall rest on 6" compacted base of clean sand or gravel. Install 6 mil polyethylene vapor barrier prior to casting slab.
- All slabs on grade to have 6 x 6 W1.4 x W1.4 WWM reinforcing conforming to ASTM A185.
- Bottom of footings shall be carried down at least 3 ft. below lowest level of adjoining ground or pavement surface.
- Anchor bolts to be spaced 5/8" dia. x 12" long with 3" hook and 3" x #8 spacer spaced 36" o/c maximum. Provide 2 bolts at each corner spaced 1'-0" apart.
- All structural steel to be A-36 22,000 PSI, latest edition.
- All steel flitch plates to be through bolted with 5/8" steel bolts @ 16" O.C. staggered.
- All steel to be shop painted prior to delivery.
- All reinforcing bars to be continuous unless specific lengths are shown.
- Typical cover for all reinforcing bars to be 3" for bars placed against earth and 2" for bars placed against forms unless otherwise noted.

**WOOD**

- All framing shall conform to the N.Y. state construction code. All beams construction grade, studs standard, rafters standard.
- All wood in contact with concrete or masonry shall be pressure treated unless otherwise noted.
- All joists, headers, beams and rafters to have 2" minimum bearing.
- Provide collar ties at roof rafters as per state and local codes.
- All framing lumber to be Douglas Fir #2 or better, grade marked.
- All beams construction grade, studs standard, rafters standard construction mix. Structural lumber with higher grading will be indicated on plans.
- Nominal sizes of lumber noted, actual sizes used for stress calculations.
- Sheathing shall be 1/2" cdx exterior grade fir plywood under roofing and finish siding.
- Install bridging in all floor and flat roof joists, ceiling joists and beams where the nominal depth to thickness ratio of joist exceeds 6. Bridging shall be installed at 8'-0" o.c. max. and shall be 1" gauge metal cross bridging.
- Wood joists supported by steel beams to be connected to 2" x 6" wood blocking bolted to steel beams with (2) 1/2" diameter bolts 4'-0" o.c. minimum wood joist lap is 4".
- All dimensions are to stud faces or centerline of beams.
- Double joists under all partitions parallel to same and around openings in floors and roofs.
- All floor joists supporting bathroom fixtures shall be doubled or 12" o.c. whichever condition is deemed practical in the field.
- All headers to be 2" x 8" unless otherwise noted.

**FINISH & MISCELLANEOUS WORK**

- Drywall shall be 5/8" gypsum wallboard at walls and ceilings with (3) coats tape and spackle finish, ready for paint.
- All drywall outside corners shall have metal bead.
- Gypsum wall construction shall conform to the applicable requirements of standard specifications for the application and finishing of wallboard as approved by the ANSA.

**JANICE MILLER ARCHITECT**  
516-944-9371

**GROSDIDIER RESIDENCE**  
39 Sandy Hollow Rd. Port Washington, N.Y.

**PLOT PLAN, FOUNDATION PLAN**

REVISIONS	DATE	DRAWING
1/12/24	11/14/24	A1
DRAWN	SCALE	FILE
JLM	AS NOTED	2409

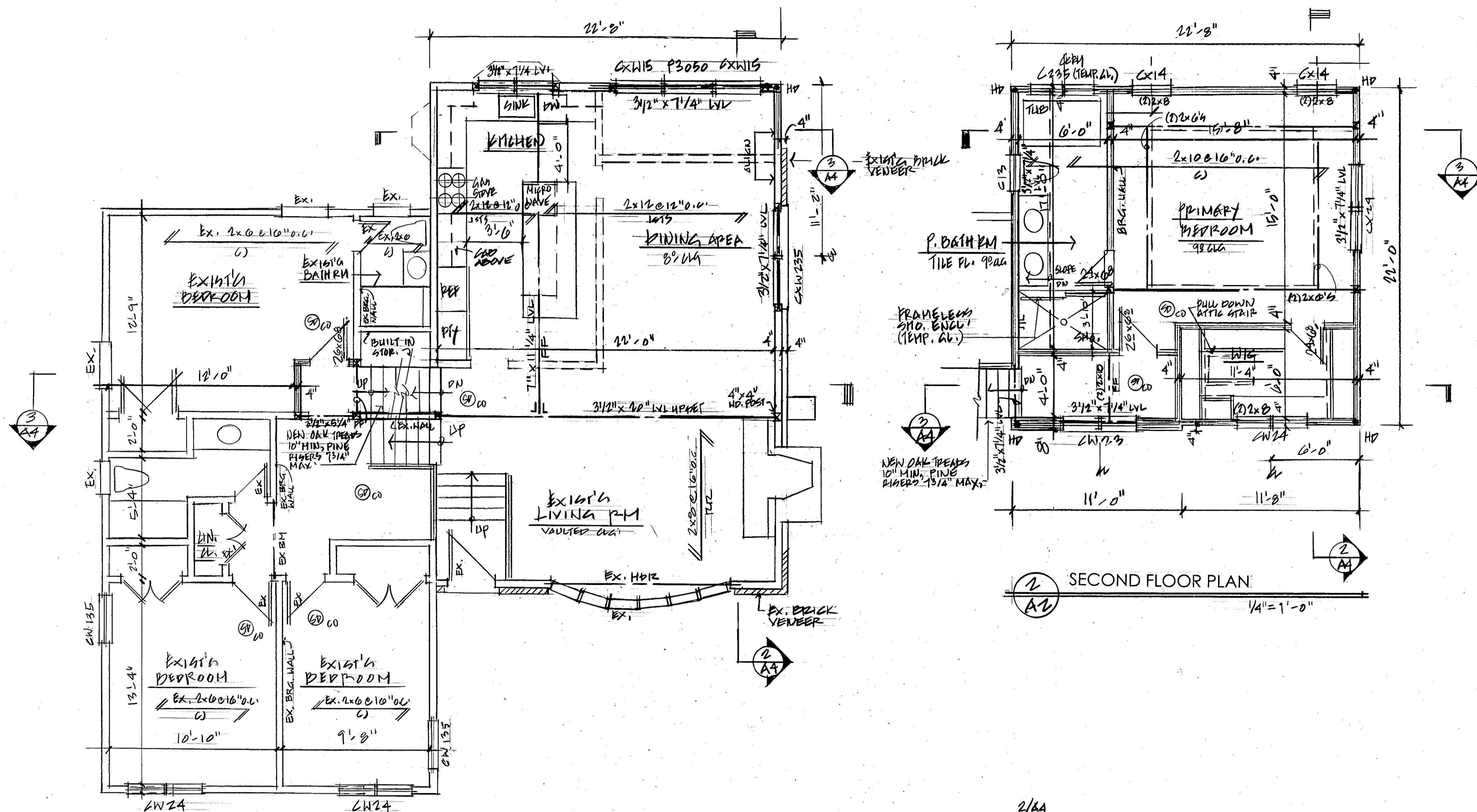
3 LINCOLN PLACE  
PORT WASHINGTON, NY 11058

DISAPPROVED

Nicholas Vissicelli  
12/04/2024

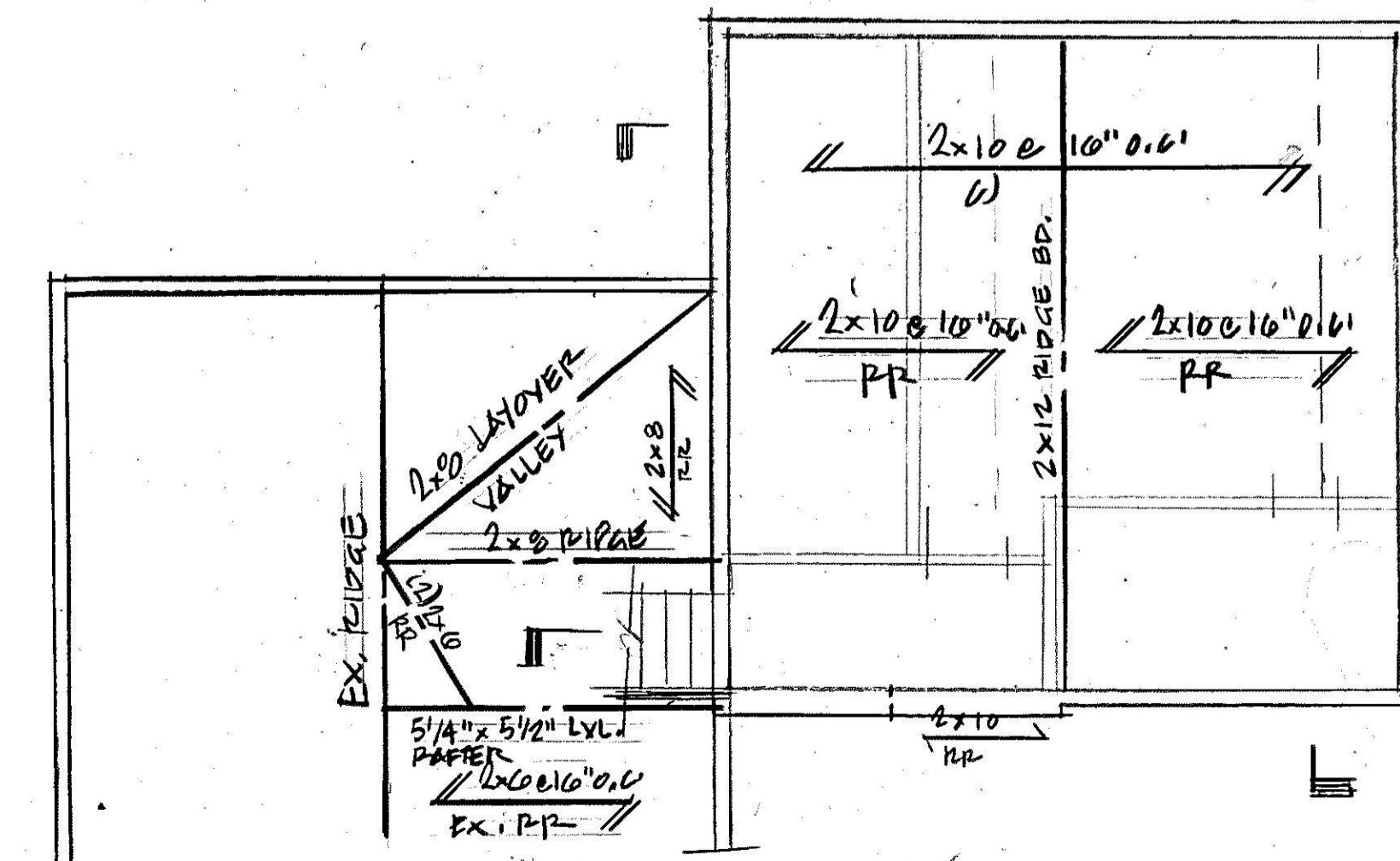
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RBP24-001124



1 FIRST FLOOR PLAN/UPPER LEVEL PLAN

2 SECOND FLOOR PLAN



3 ROOF FRAMING PLAN

SYMBOL LEGEND	
[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	EXISTING CONSTRUCTION TO BE REMOVED
[Symbol]	NEW WOOD FRAME WALLS: 2" x 4" WOOD STUDS @ 16" O.C. w/ 5/8" GYP BD. EACH SIDE.
[Symbol]	NEW EXTERIOR WALLS: 2" x 4" WOOD STUDS @ 16" O.C. INSULATION AS SPECIFIED, 1/2" CDX PLYWOOD SHEATHING, TYVEX HOUSEWRAP, SIDING AS SPECIFIED.
[Symbol]	NEW POURED CONCRETE FOUNDATION WALLS
[Symbol]	BRICK VENEER
[Symbol]	STONE VENEER
[Symbol]	NEW HARD WIRED SMOKE/CARBON MONOXIDE DETECTOR
[Symbol]	EGRESS WINDOW
[Symbol]	HOLD DOWN
[Symbol]	POCKET DOOR

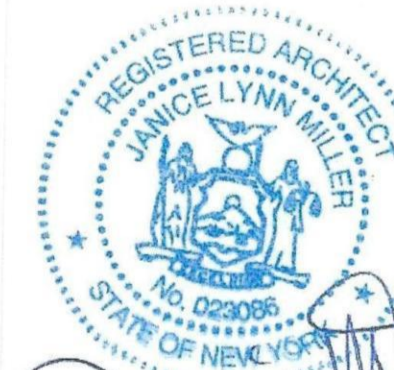
- Contractor shall repair, or replace all surfaces, trim, doors, etc. damaged during the progress of the work.
- All gypsum wallboard to be screw applied.
- Provide caulking at all wood/masonry and metal joints, exterior doors and windows.
- Provide foam backer rod where required at deep joints.
- All shower doors and other glass less than 24" A.F.F. to be tempered (min. 3/16" thickness).
- Chimney construction shall conform to chapter 10 IRC.
- Chimney outlets shall not be lower than the top of any window within 20 feet, nor less than 2' above the combustible part of the roof or building within 10' but shall not be less than 3' above the highest point where the chimney passes through the roof IRC.
- Install metal flashing around all roof penetrations.
- Attics to have access and cross ventilation as per IRC.
- Stairs, doors and exits shall comply with R311, R312 and R314 of IRC.
- Place hurricane clips on all roof rafters.
- Place double headers and trimmers around all stair and skylight openings.
- All supply and exhaust intake and outlets to be equipped with tight shut damper at building envelope to minimize air leakage.
- Provide minimum 100 cfm mechanical exhaust from bathrooms and 150 cfm mechanical ventilation in kitchen areas.
- Provide combustion air for fuel burning equipment as per IRC.
- Boilers, hot water heaters and fuel gas equipment as per IRC.
- Provide Simpson strong tie joist hangers at all flush header conditions.
- Provide carbon monoxide detector on each floor as per Nassau County Public Health ordinance.
- All windows that serve as emergency egress shall comply with R310 IRC.

WINDOW NOTES

- ALL WINDOW UNITS SIZES AND MANUFACTURER CATALOG NUMBERS ARE ANDERSEN - 400 SERIES (UNLESS OTHERWISE NOTED.) WITH PERMASHIELD FINISH, ARGON FILLED INSULATING GLASS, WOOD GRILLES AND INSECT SCREENS.
- UNIT DIMENSIONS ARE GIVEN FOR INFORMATIONAL PURPOSES ONLY. ROUGH OPENING DIMENSIONS SHALL BE VERIFIED AND DETERMINED IN THE FIELD.
- CONSULT WITH OWNER FOR ANY EXISTING WINDOW REPLACEMENTS.
- WINDOWS TO BE HIGH PERFORMANCE LOW-E TYPE - NFRC CERTIFIED WITH 'U' VALUE OF .35 OR LESS.
- SEE FLOOR PLAN FOR WINDOWS DESIGNATED FOR EGRESS. EGRESS WINDOWS TO BE CASEMENT UNITS BY ANDERSEN WITH MODIFIED COLONIAL DIVIDED LIGHT TO MATCH PROFILE OF DOUBLE HUNG UNITS.
- EGRESS WINDOW UNITS SHALL MEET OR EXCEED THE FOLLOWING DIMENSIONS:
  - CLEAR OPERABLE AREA OF 5.00 AT FIRST FLOOR
  - CLEAR OPERABLE WIDTH OF 20 INCHES
  - CLEAR OPERABLE HEIGHT OF 24 INCHES
- CONSULT WITH WINDOW MANUFACTURER REGARDING APPROPRIATE HARDWARE FOR EGRESS WINDOWS (STRAIGHT ARM OR SPLIT ARM) WHEN SPECIFYING CASEMENT WINDOWS FOR REQUIRED OPENING AREA.
- ALL GLAZING AND ASSEMBLIES SHALL COMPLY WITH SECTION R308 OF THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE. PROVIDE SAFETY GLAZING IN THE FOLLOWING LOCATIONS - PARTIAL LIST (SEE CODE FOR ADDITIONAL LOCATIONS):
  - INDIVIDUAL SIDELITES WITH 24" OF DOOR ARC & BOTTOM IS < 60" ABOVE FLOOR GRADE.
  - GLAZING ADJACENT TO WITHIN 36" OF STAIR, LANDINGS & RAMPS & BOTTOM IF < 60" ABOVE FLOOR GRADE.
  - GLAZING ADJACENT TO STAIRS WITHIN 60" HORIZ. OF BOTTOM TREAD.
  - SIDE-HINGED DOORS AND STORM DOORS.
  - GLAZING IN RAILINGS.
  - GLAZING WITHIN TUBS AND SHOWERS.
  - GLAZING IN INDIVIDUAL PANELS MEETING ALL:
    - EXPOSED AREA > 9 S.F.
    - BOTTOM EDGE < 18" ABOVE FLOOR
    - TOP EDGE > 36" ABOVE FLOOR
    - AT LEAST ONE WALKING SURFACE WITHIN 36"
  - FOR ANY WINDOWS WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, GLAZING IN FIXED AND SLIDING OR HINGED PANELS OF GLASS DOORS.

INTERIOR NOTES

- WALLBOARD & WALL FINISHES**
- Gypsum wallboard shall be screw applied (no nails).
  - All new walls and ceiling to receive 5/8" gypsum wallboard shall, (3) coats tape and spackle and be made ready for paint by owner.
  - Moisture resistant wallboard in primary bathroom.
  - Wall tile in bathroom to be selected and purchased by owner and installed by contractor.
  - Provide 1/2" wonderboard at shower.
- FLOORING**
- Provide new oak strip flooring in kitchen and dining room extension. Floor to be feathered into existing. Entire floor to be sanded and stained w/ (3) coats polyurethane finish.
  - Provide new oak strip floor @ second floor, to be sanded and stained w/(3) coats polyurethane finish.
  - Primary bathroom to be tile in cement bed, to be selected and purchased by owner and installed by contractor.
- INTERIOR DOORS**
- All interior doors to be 1 3/8" thick pine doors sized as indicated on the plans, to match existing.
  - Doors shall not be pre-bored for locksets.
  - Hardware as provided by owner, installed by contractor.
- MILLWORK**
- All doors and windows to be trimmed to match existing.
  - Base molding to match existing.
  - Contractor to supply owner with samples of millwork prior to ordering.
- MISCELLANEOUS**
- Contractor to submit separate price for interior painting.
  - Contractor to include supply and installation of bathroom shower, complete with vinyl pan base and frameless tempered glass enclosures in base bid.
  - Bathroom o have thin set ceramic tile at showers. Tile as selected by owner, installed by contractor.
  - Plumbing fixtures, faucets, trim pieces & bath vanities to be supplied by owner, contractor to install and make all required electrical and mechanical connections.
  - Closets to be finished similar to the major space they serve.
  - Kitchen cabinets to be supplied by owner. Contractor to install and make all electrical and mechanical connections.
  - Kitchen appliances to be purchased by owner, installed by contractor.
  - Kitchen countertops to be purchased by owner, installed by stone contractor.



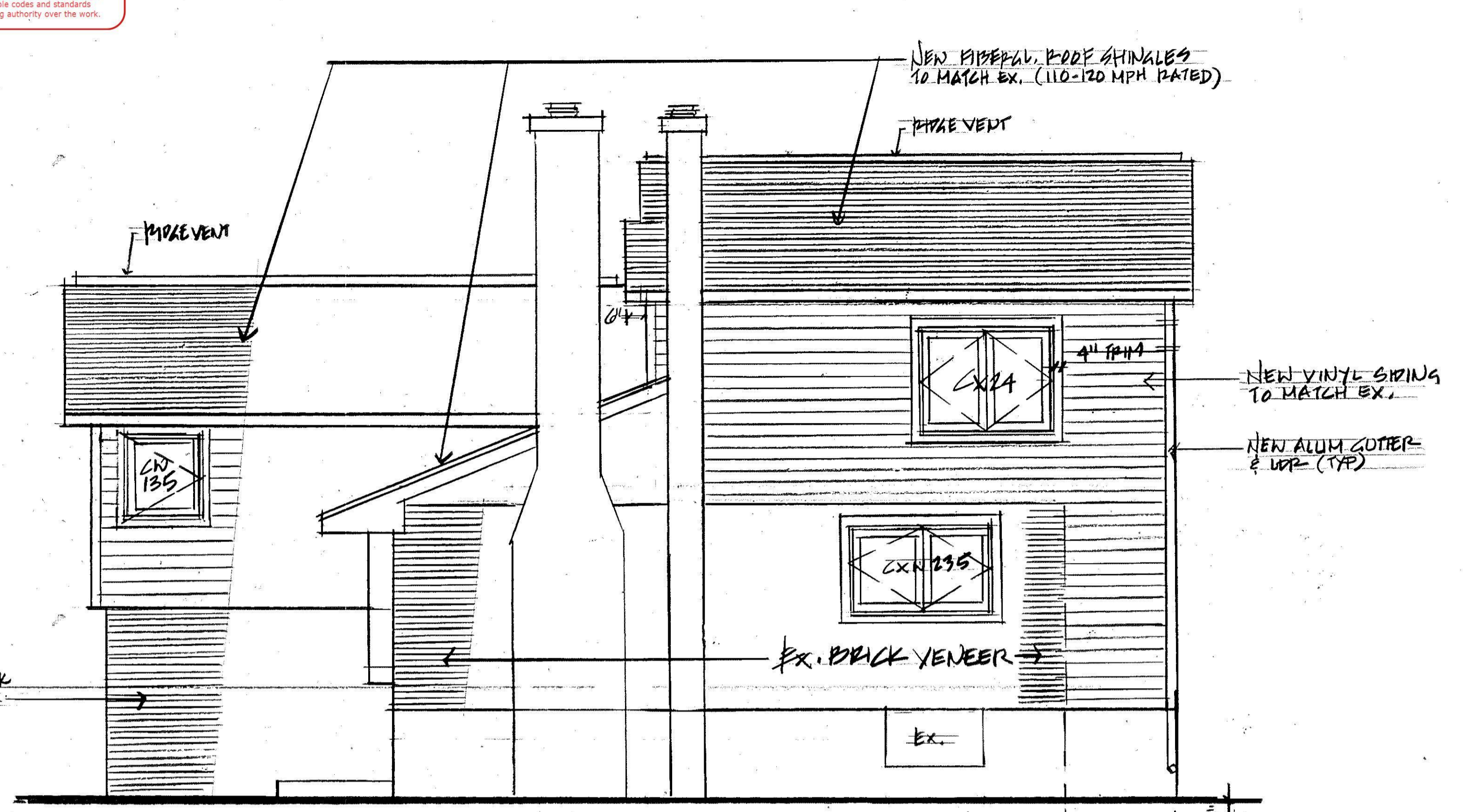
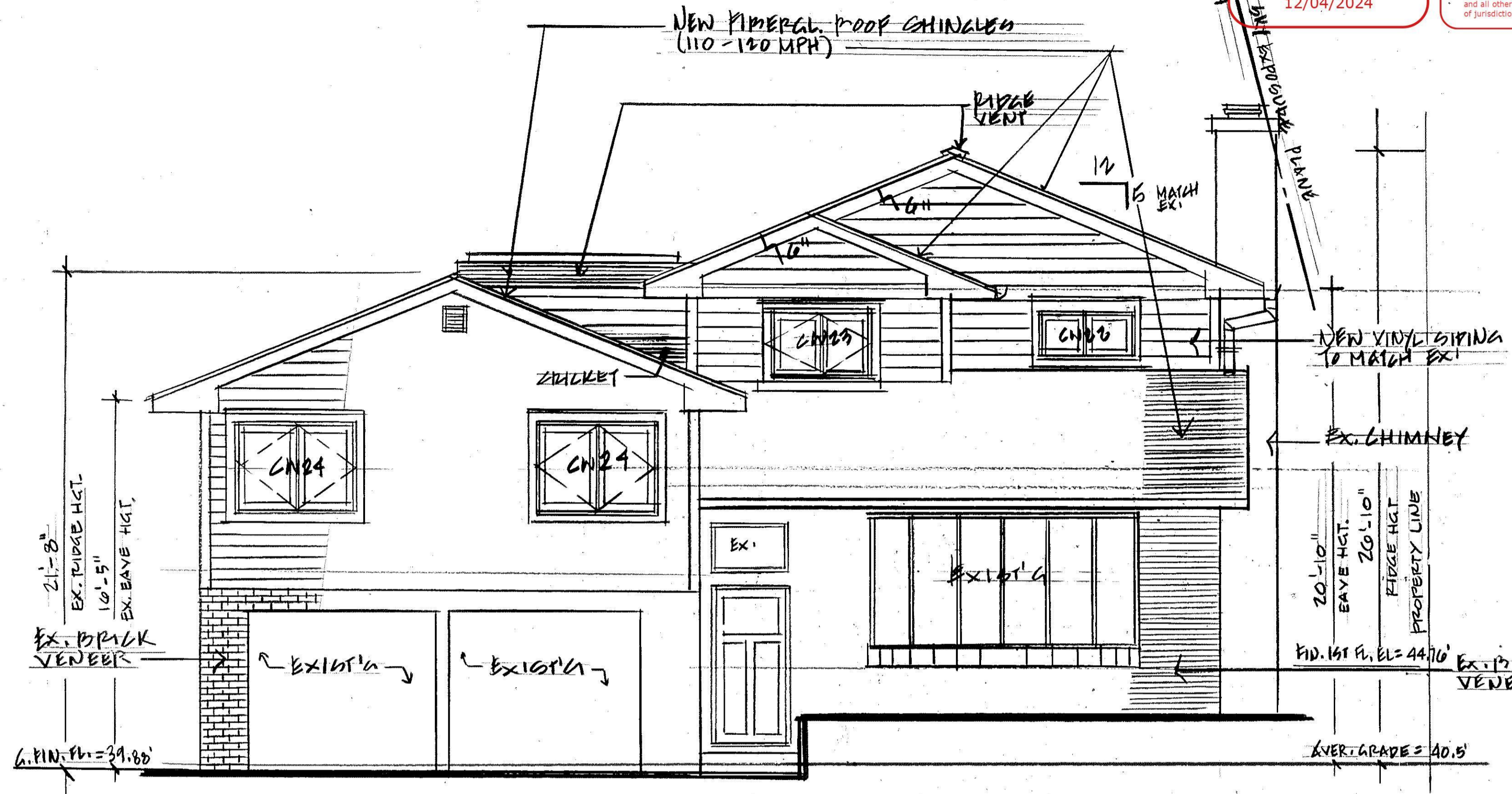
*Janice M*

<b>JANICE MILLER</b> ARCHITECT 516-941-9571		<b>GROSDIDIER RESIDENCE</b> 39 Sandy Hollow Rd. Port Washington, N.Y.	
FIRST FL. PLAN/UPPER LEVEL PLAN, SECOND FL. PLAN, ROOF FRAMING PLAN			
REVISIONS	DATE	DRAWING	
	11/14/24	A2	
DRAWN	SCALE	FILE	
JLM	1/4" = 1'-0"	2409	

**DISAPPROVED**  
 Nicholas Vissicelli  
 12/04/2024

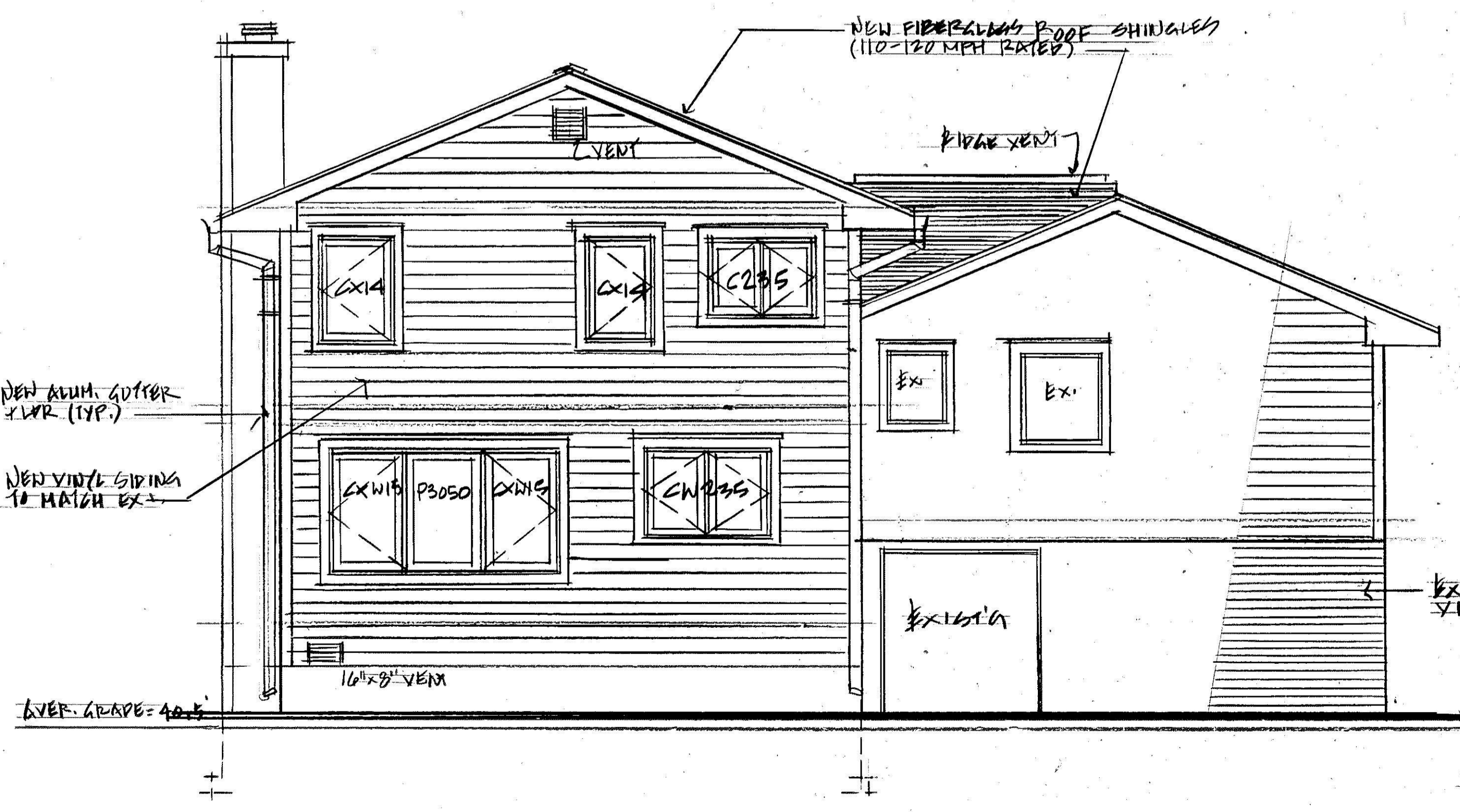
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RBP24-001124

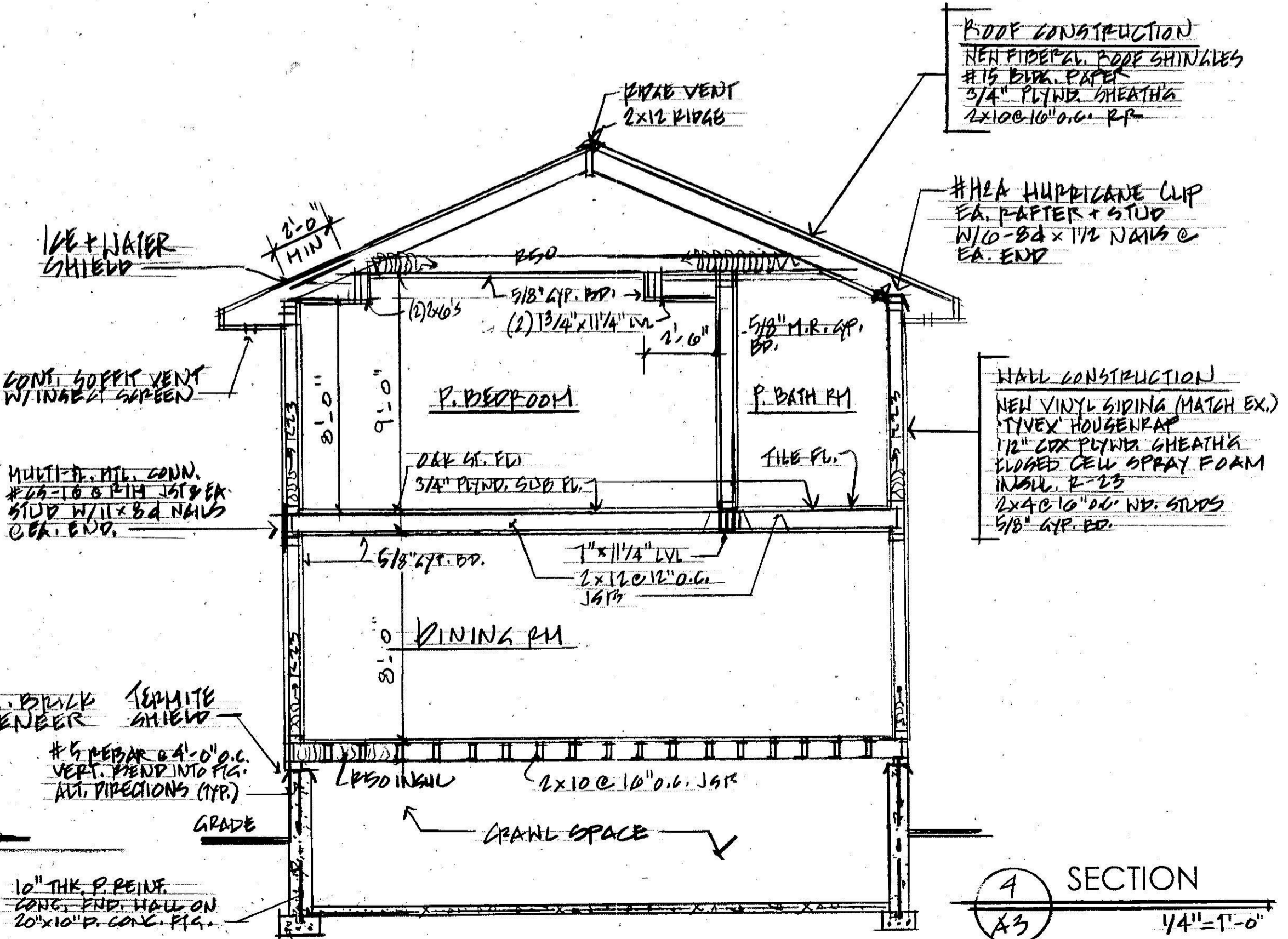


1 SOUTH ELEVATION  
 1/4" = 1'-0"

2 EAST ELEVATION  
 1/4" = 1'-0"



3 NORTH ELEVATION  
 1/4" = 1'-0"



4 SECTION  
 1/4" = 1'-0"

- ROOF NOTES:**
- SEE BUILDING ELEVATIONS FOR ALL ROOF PITCHES.
  - ADJUST BIRDSMOUTH OR PLATE HEIGHT TO ALIGN NEW AND EXISTING EAVES, OVERHANGS AND SOFFITS.
  - PROVIDE ACCESS TO NEW ATTIC FROM DWELLING OR FROM ANY EXISTING ATTIC.
  - PROVIDE COPPER CRICKETS, FLASHING AND COUNTERFLASHING WHERE WALLS OR CHIMNEY MEET THE ROOF.
  - PROVIDE 4" x 4" WOOD POST TO UNDERSIDE OF RIDGE BOARDS AND TO SIT ON DOUBLE WOOD FRAMING IN ATTIC FOR SUPPORT.
  - PROVIDE DOUBLE WOOD FRAMING AT CHIMNEY OPENING. SEE GENERAL NOTES FOR MINIMUM AIR SPACE CLEARANCES AND FIREBLOCKING REQUIREMENTS.
  - PROVIDE FLASHING IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING WALL AND ROOF THROUGH JOINTS, MOISTURE PERMEABLE MATERIALS AND INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH ROOF PLANE.



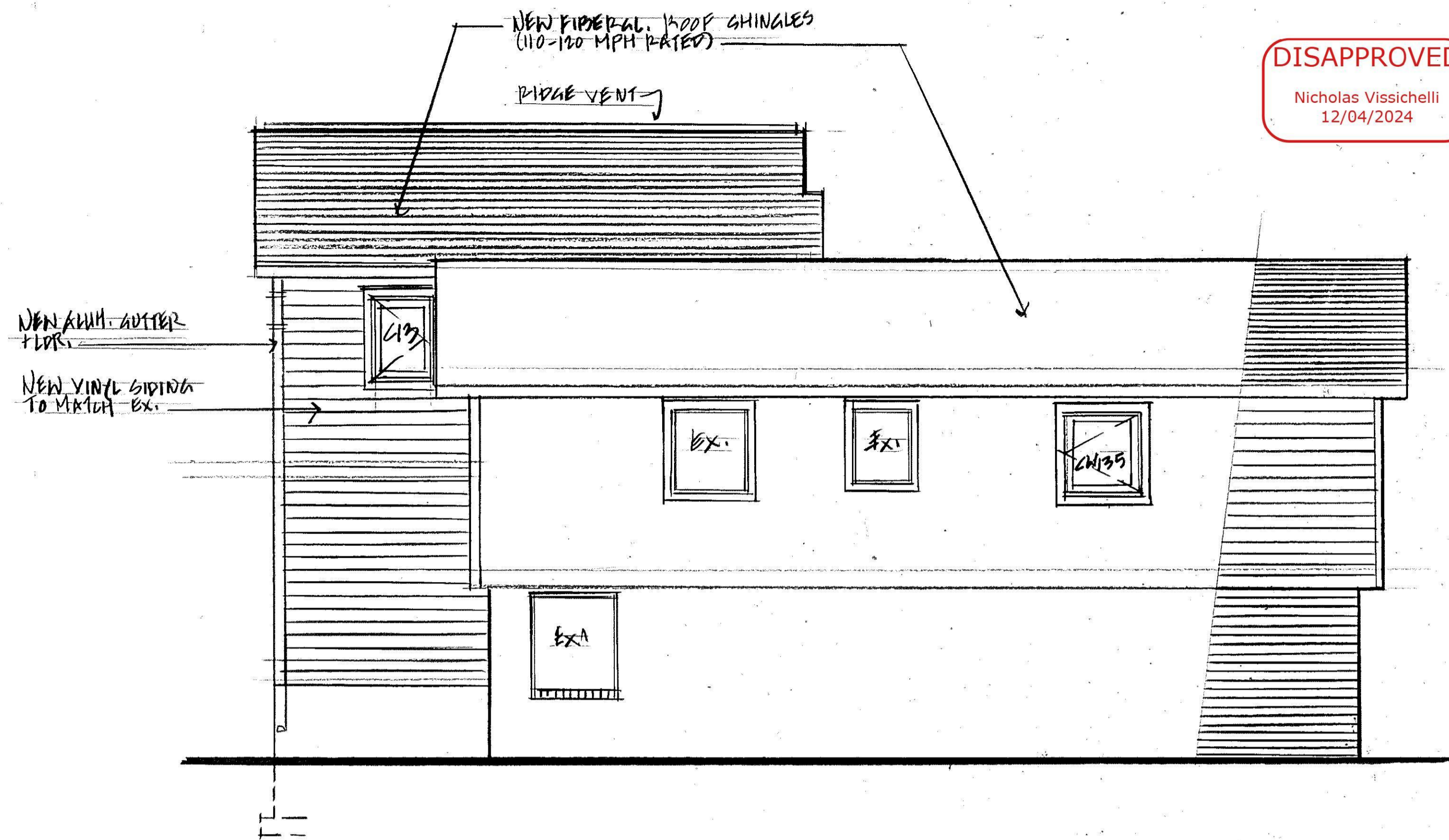
<b>JANICE MILLER</b> ARCHITECT 516-944-9571		<b>GROSSDIER RESIDENCE</b> 39 Sandy Hollow Rd. Port Washington, N.Y.	
<b>ELEVATIONS</b>		DATE 11/19/24 DRAWING A3	
REVISIONS DRAWN JLM	SCALE 1/4" = 1'-0" FILE 2409	DATE 11/19/24	DRAWING A3

DISAPPROVED

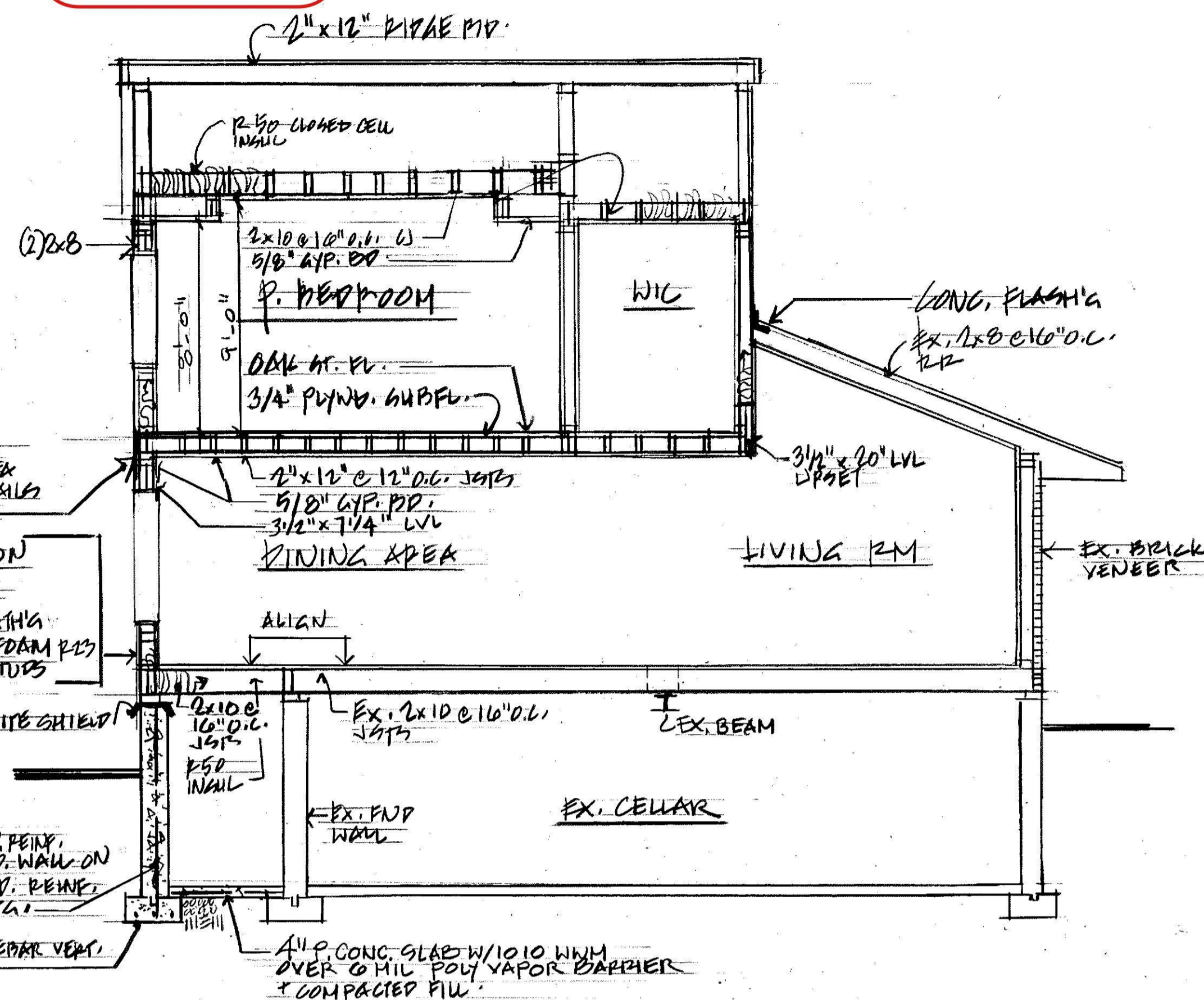
Nicholas Vissicelli  
12/04/2024

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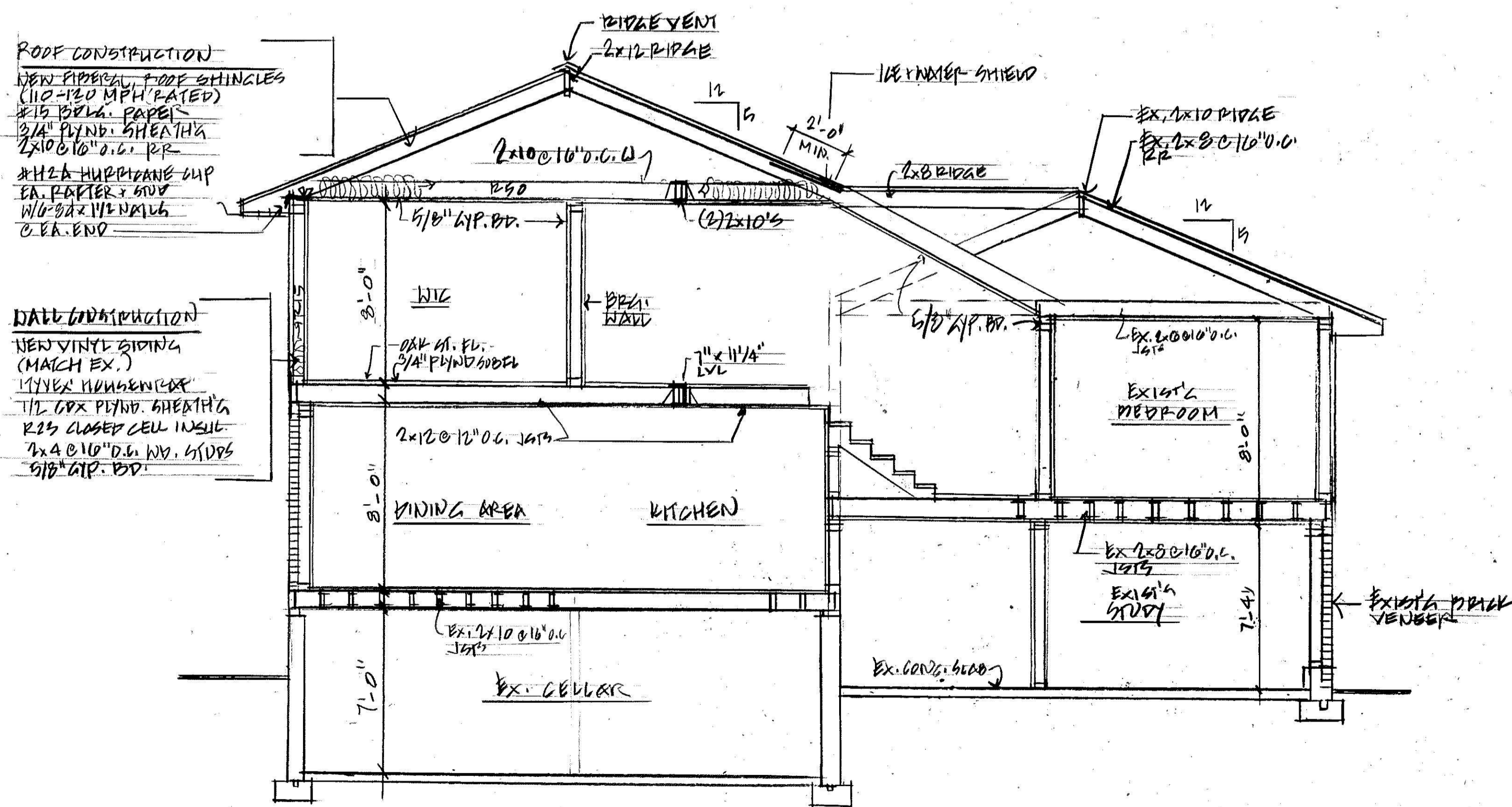
RBP24-001124



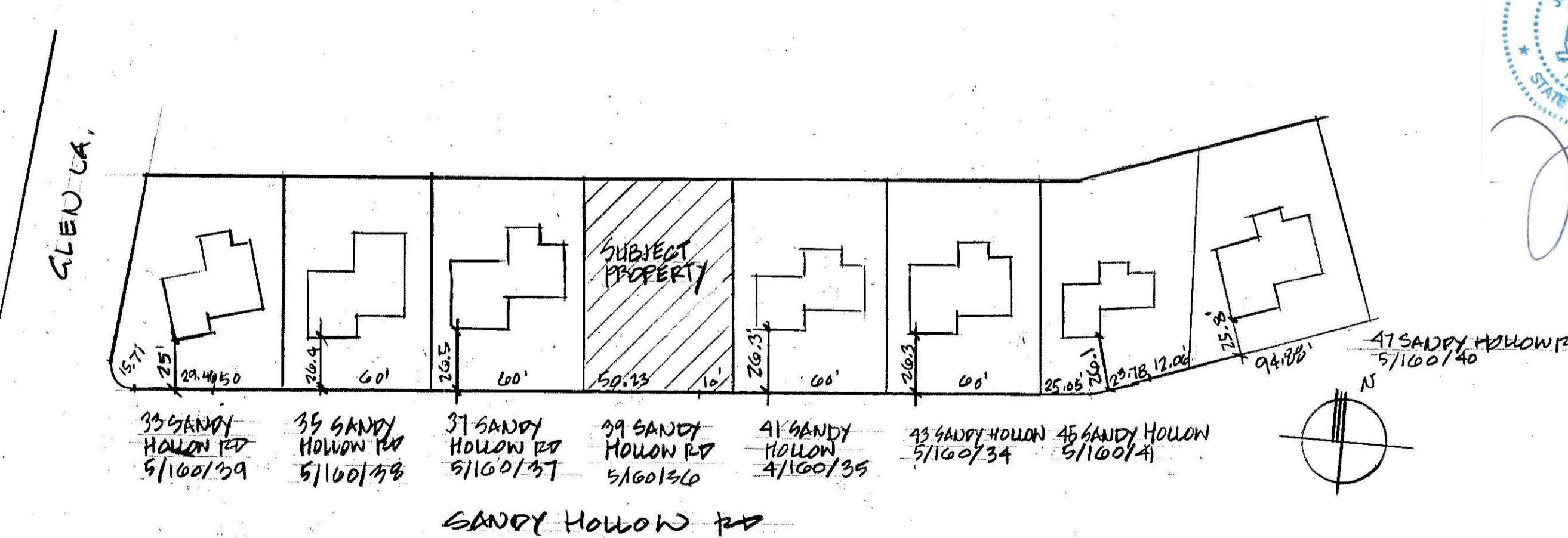
1 WEST ELEVATION  
1/4" = 1'-0"



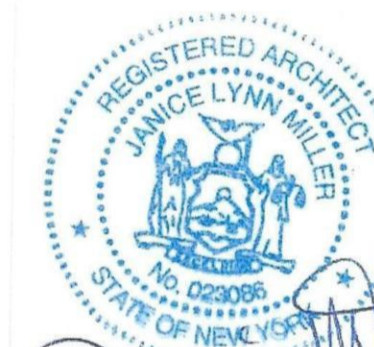
2 SECTION  
1/4" = 1'-0"



3 SECTION  
1/4" = 1'-0"



AVERAGE SETBACK WITHIN 200' = 26.05'



Janice M.

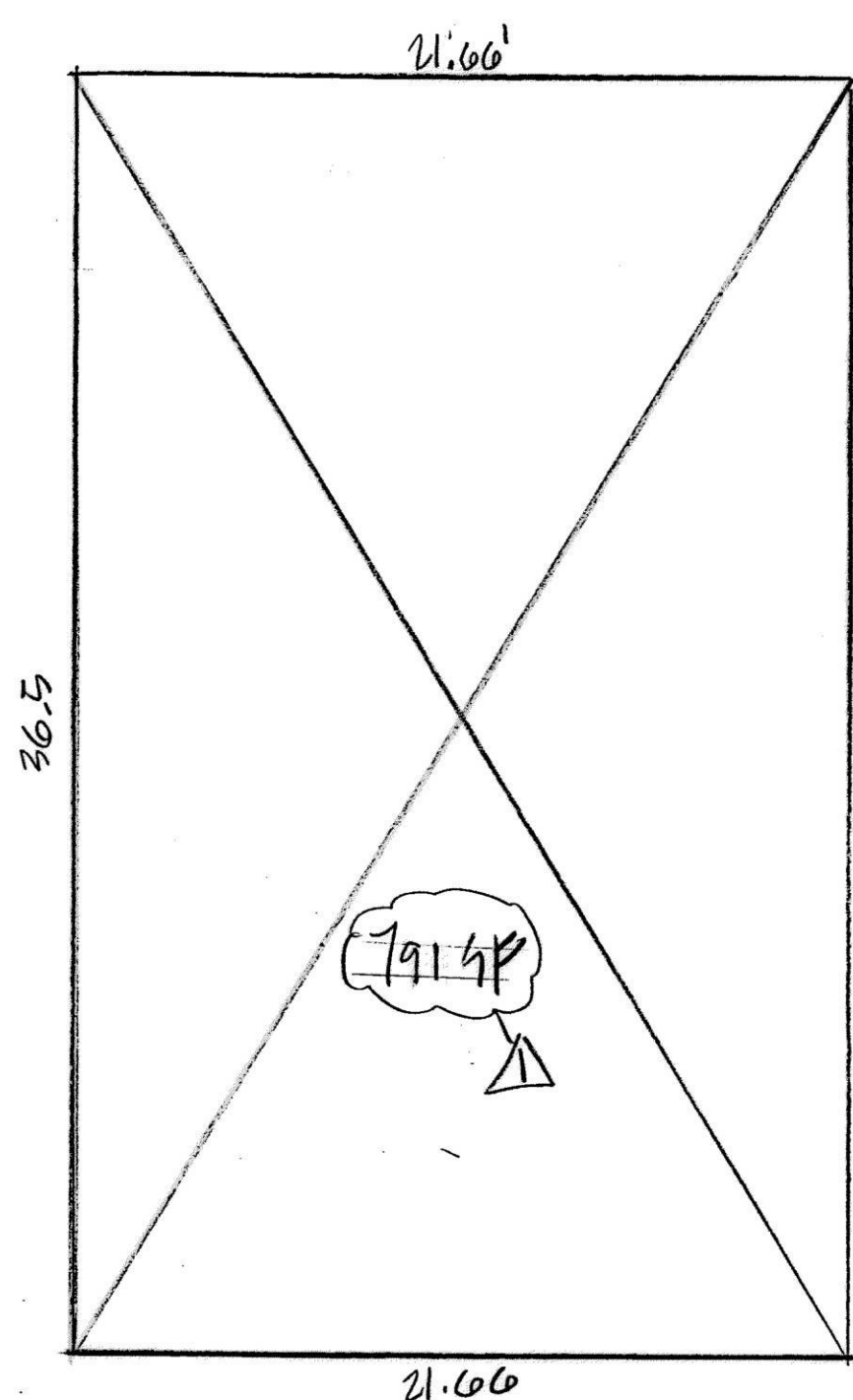
<b>JANICE MILLER</b> ARCHITECT 516-944-9371		<b>GROSDIDIER RESIDENCE</b> 39 Sandy Hollow Rd. Port Washington, N.Y.	
<b>ELEVATION, SECTIONS</b>			
REVISIONS DRAWN: JLM	SCALE: 1/4" = 1'-0" FILE: 2409	DATE: 11/14/24	DRAWING: A4

DISAPPROVED

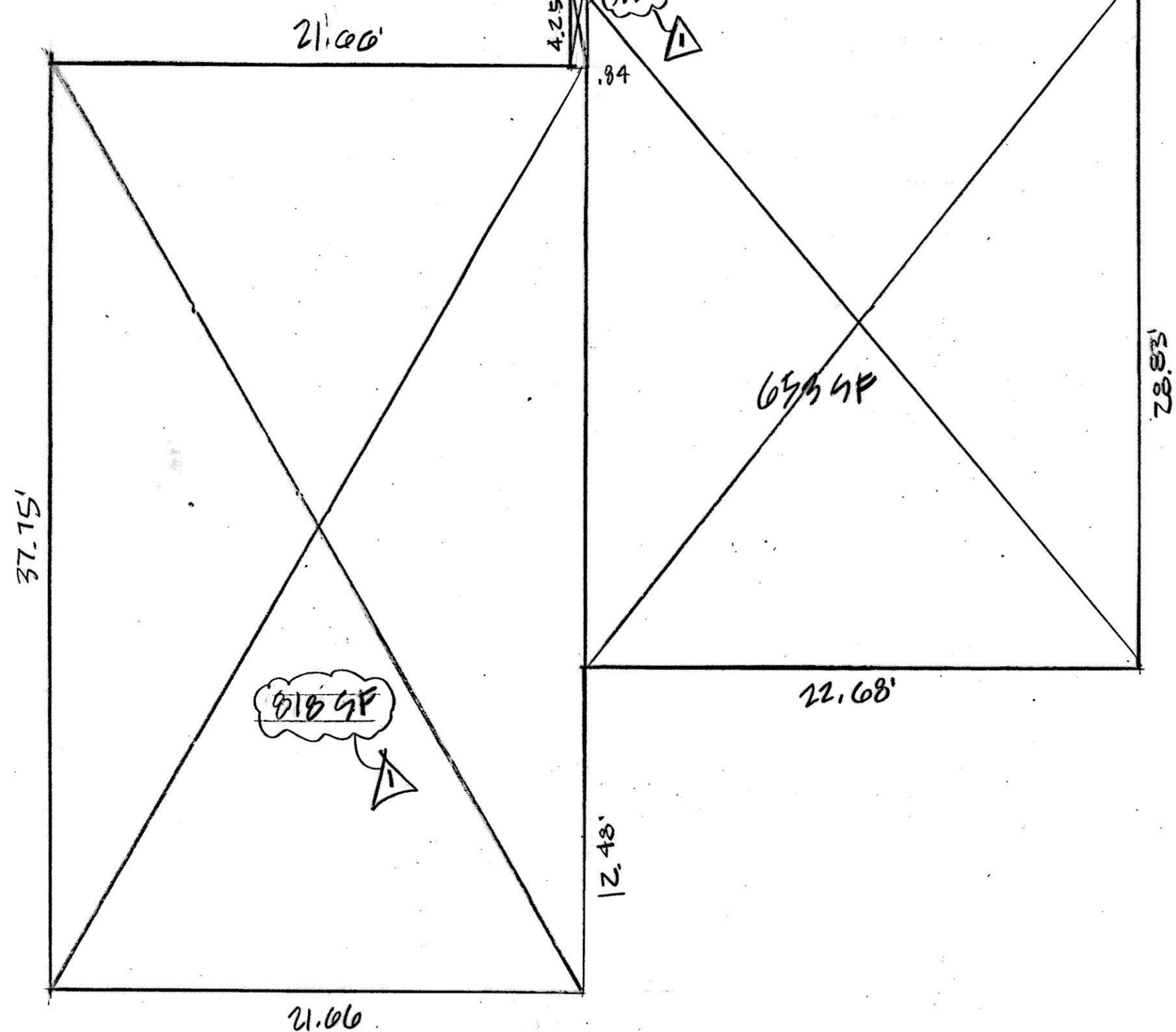
Nicholas Vissicelli  
12/04/2024

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

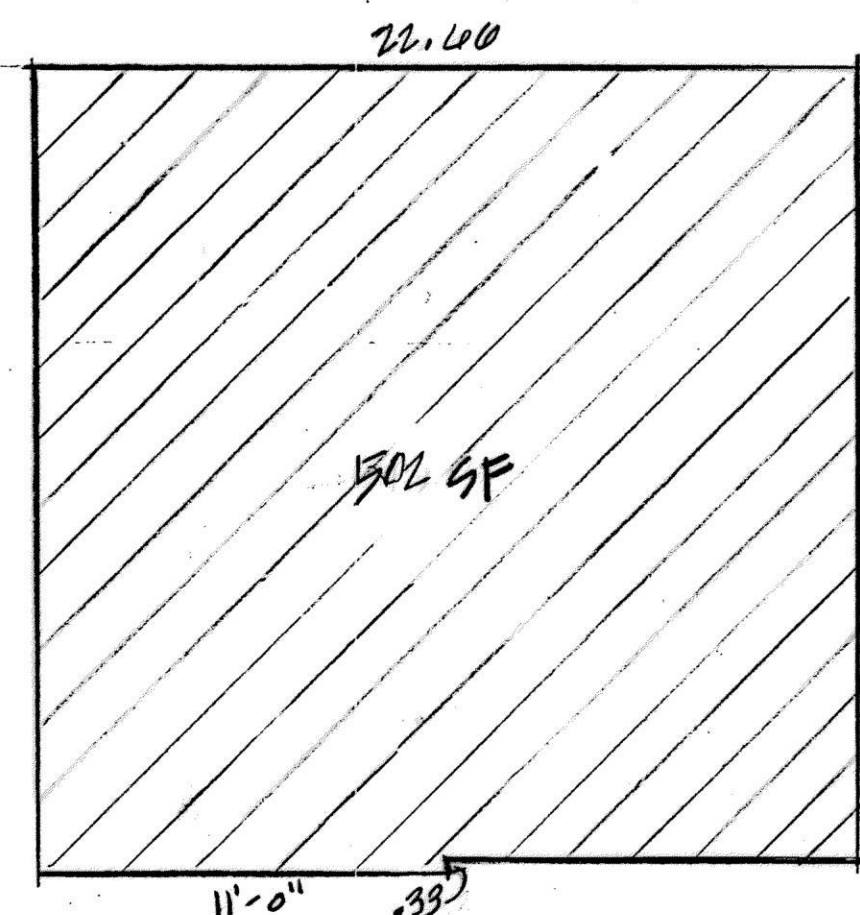
RBP24-001124



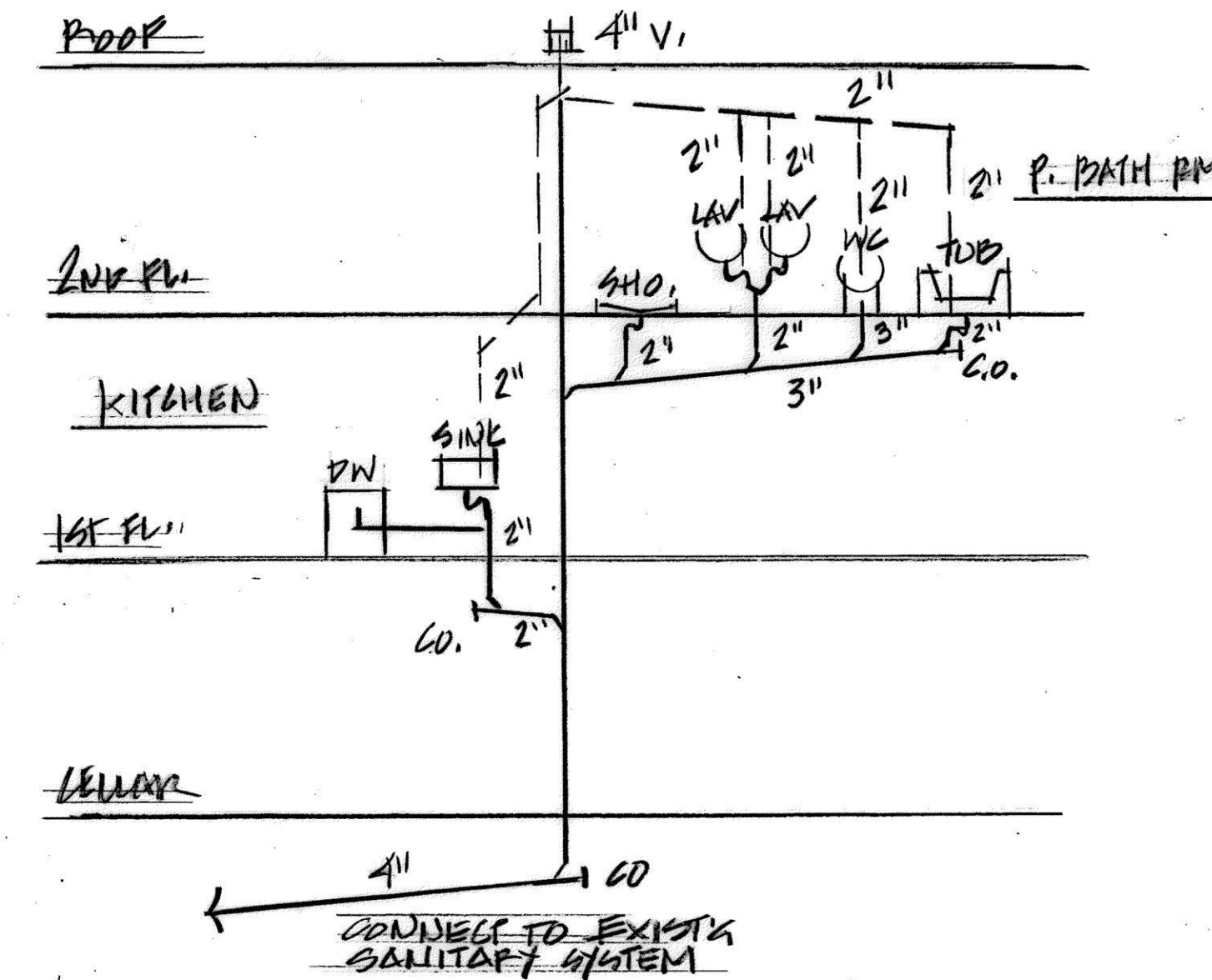
1 GROSS FLOOR AREA - LOWER LEVEL  
3716" = 1'-0"



2 GROSS FLOOR AREA - FIRST FLOOR PLAN/UPPER LEVEL  
3716" = 1'-0"

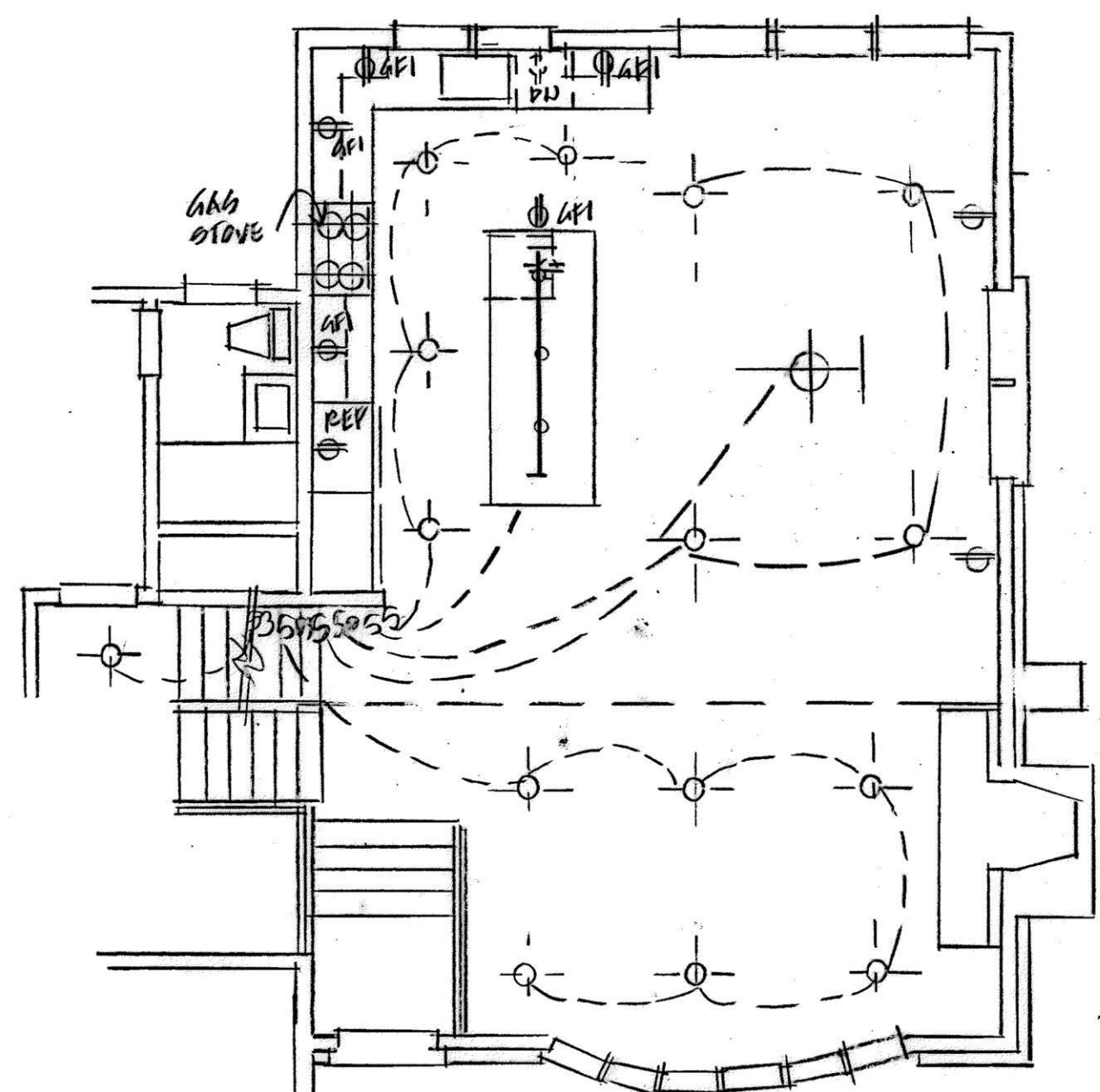
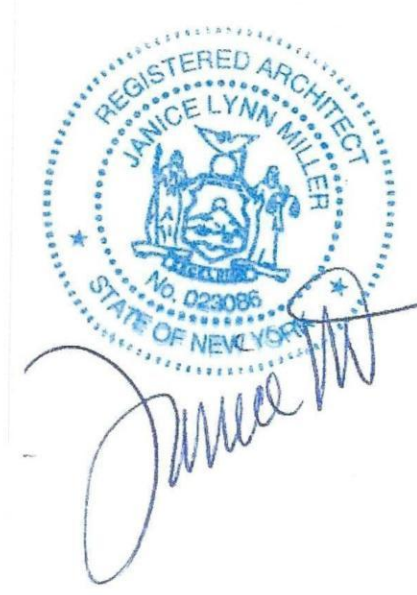


3 GROSS FLOOR AREA - SECOND FLOOR  
5116" = 1'-0"

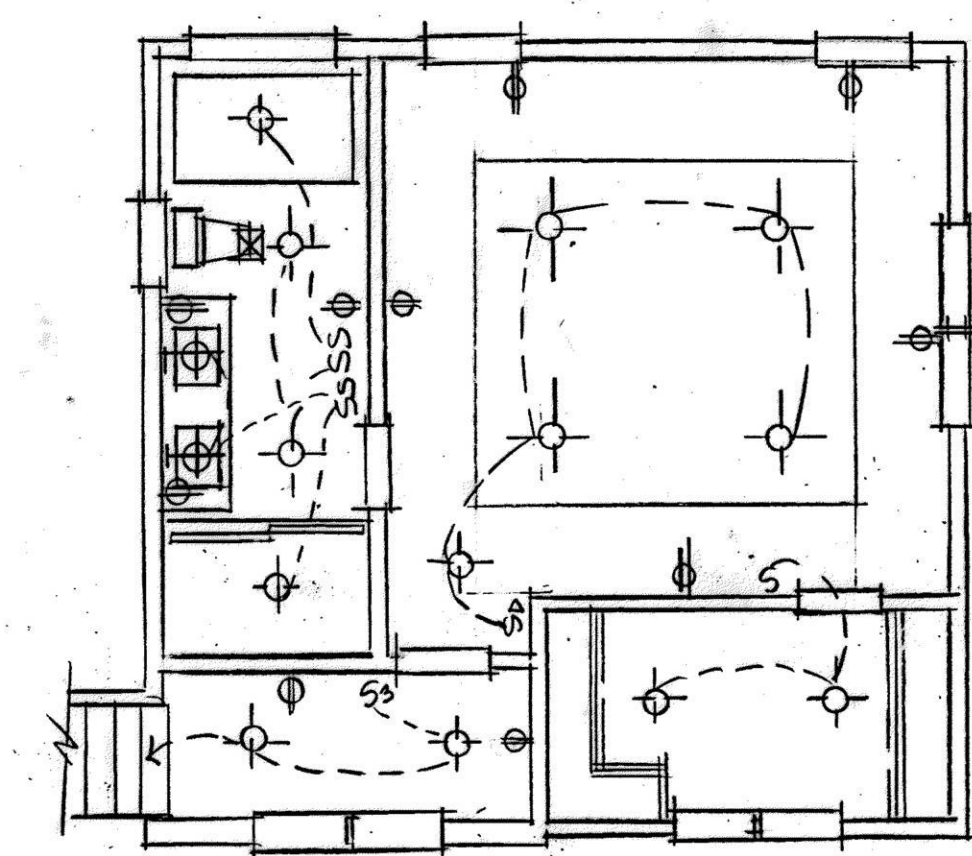


PLUMBING RISER DIAGRAM

- PLUMBING NOTES:**
- ALL PLUMBING WORK SHALL COMPLY WITH NYS BUILDING CODE AND ALL APPLICABLE LOCAL CODES
  - ALL PLUMBING SHALL BE PERFORMED BY OR UNDER THE DIRECTION OF LICENSED PLUMBER
  - REMOVE ALL ABANDONED SOIL, VENT AND WATER LINES.
  - PROVIDE SHUT-OFF VALVES FOR ALL FIXTURES. FURNISH AND INSTALL ALL WASTE, SOIL, VENT AND WATER LINES FOR NEW FIXTURES. EXTEND HOT WATER SYSTEM TO PROVIDE DOMESTIC HOT WATER AS REQUIRED.
  - INSULATE ALL PIPING AND DUCTWORK IN ATTIC AND CRAWL SPACES WITH 1" INSULATION ON ALL DUCTS, 1 1/2" INSULATION ON ALL PIPING, 3/4" INSULATION ON ALL SERVICE SUPPLY PIPING.



4 FIRST FLOOR/UPPER FLOOR PLAN ELECTRICAL PLAN



5 SECOND FLOOR ELECTRICAL PLAN

**ELECTRICAL SYMBOL LEGEND**

- DUPLX OUTLET
- WEATHERPROOF DUPLX OUTLET
- GFI PROTECTED DUPLX OUTLET
- CABLE OUTLET
- SINGLE POLE SWITCH
- (3) WAY SWITCH
- DIMMER SWITCH
- DOOR ACTIVATED SWITCH
- SMOKE DETECTOR
- SURFACE MOUNTED LIGHT FIXTURE
- 6" RECESSED HIGH HAT (HALO OR EQ.)
- 4" RECESSED HIGH HAT (HALO OR EQ.)
- LOW VOLTAGE (PIN SPOT)
- EXHAUST FAN
- (ULTRA QUIET TEST BY NUTONE OR EQ.)
- CEILING MOUNTED FAN
- GARAGE DOOR OPERATOR
- FLUORESCENT FIXTURE
- UNDER COUNTER LIGHTS

- Smoke alarms shall be installed in the following locations:**
- In each sleeping room.
  - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
  - On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings with split levels a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- Carbon monoxide alarms shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.**
- Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.

**ELECTRICAL NOTES**

- ALL ELECTRICAL WORK SHALL BE PERFORMED BY OR UNDER THE DIRECT SUPERVISION OF A LICENSED ELECTRICIAN.
- CONTRACTOR SHALL OBTAIN UNDERWRITER'S CERTIFICATE COVERING ALL ELECTRICAL WORK PERFORMED AS PART OF THIS CONTRACT.
- ELECTRICIAN SHALL VERIFY LOCATION OF ROUGHING BOXES WITH OWNER/ARCHITECT PRIOR TO WIRING.
- CONTRACTOR SHALL SUPPLY AND INSTALL WHITE BAFFLE HI-HAT FIXTURES WHERE INDICATED ON PLANS.
- OUTLETS SHALL BE DUPLEX GROUNDED TYPE, GFI AND/OR WEATHERPROOF WHERE INDICATED (LEVITON OR APPROVED EQUAL).
- SWITCHES TO BE SILENT TYPE ROCKER SWITCHES, WHITE FINISH (LEVITON OR APPROVED EQUAL).
- SURFACE MOUNTED FIXTURES SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
- GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL SMOKE DETECTION DEVICES IN COMPLIANCE WITH SECTIONS 22.1 AND 186.10 OF THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE. DEVICES SHALL BE HARD WIRED AND INTERCONNECTED AND BE LOCATED A MINIMUM OF 18 INCHES FROM ADJACENT WALLS.
- CONTRACTOR SHALL IDENTIFY AND LABEL ALL NEW CIRCUITS UPON COMPLETION OF THE JOB.
- CONTRACTOR SHALL VERIFY AND EVALUATE EXISTING ELECTRIC SERVICE AND PROPOSE UPGRADE IF NECESSARY.
- A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS AS PER SECTION 404.1 NYS ENERGY CODE.

**HEATING & AIR CONDITIONING NOTES:**

- CONTRACTOR TO PROVIDE BID TO INSTALL ALL NECESSARY EQUIPMENT, CONDENSING UNIT, AIR HANDLER, DUCTWORK, REFRIGERANT LINES, AIR FILTERS, DAMPERS, ETC. FOR NEW HVAC SYSTEM @ SECOND FL. & KITCHEN, DINING AREA AND LIVING ROOM LEVEL.
- PROVIDE BID FOR A/C SYSTEM FOR ABOVE AREAS WITH BASEBOARD HEATERS.
- WHITE METAL GRILLES TO BE INSTALLED AT ALL REGISTERS.

**GROSSDIER RESIDENCE**  
39 Sandy Hollow Rd. Port Washington, N.Y.

**JANICE MILLER**  
ARCHITECT  
516-944-9371

**GROSS AREA DIAGRAMS**  
**ELECTRICAL PLANS**

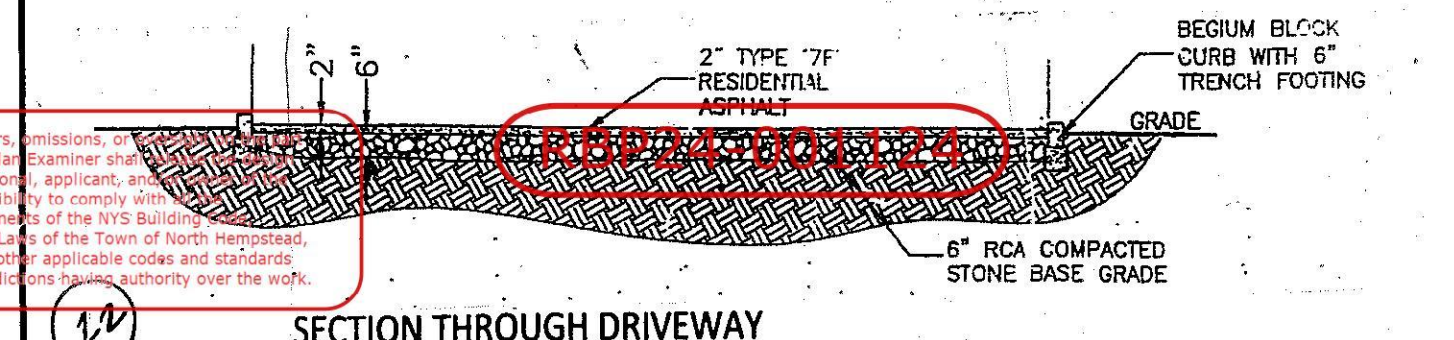
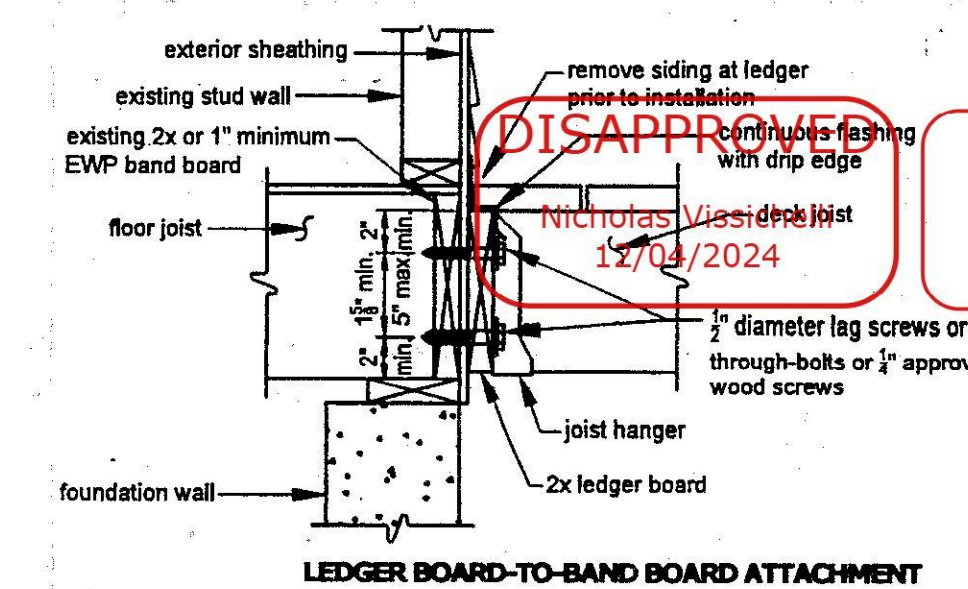
REVISIONS Δ 12/3/24	DATE 11/14/24	DRAWING A5
DRAWN JLM	SCALE AS NOTED	FILE 2409

3 LINCOLN PLACE  
PORT WASHINGTON, NY 11050

**TABLE R301.2(1): CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

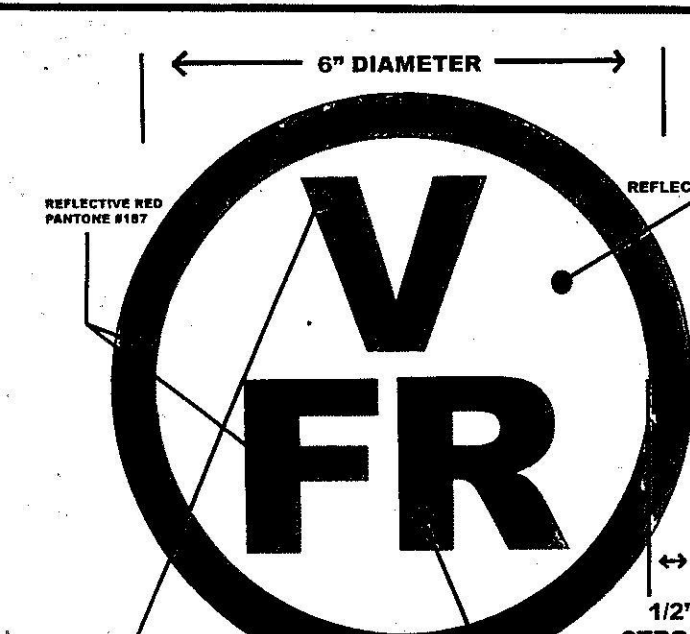
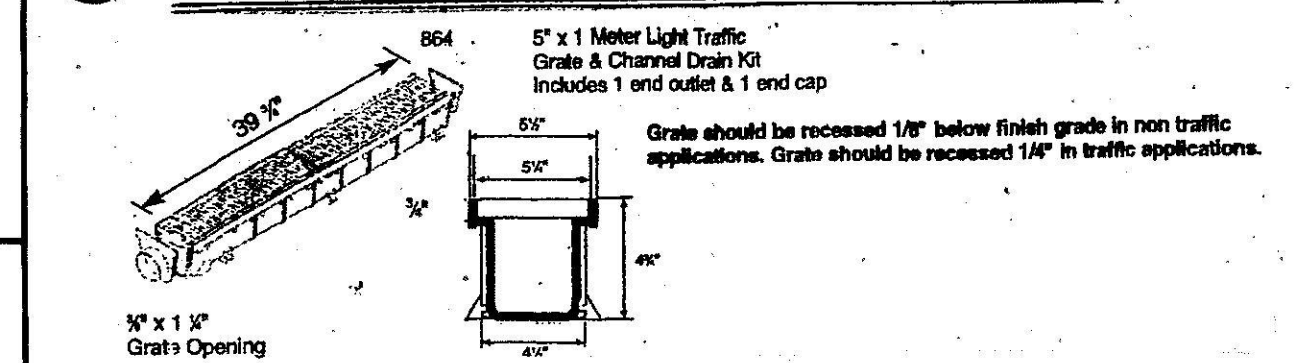
GROUND SNOW LOAD	WIND DESIGN:			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			WINTER DESIGN TEMP.	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
25 PSF	120	N/A	WIND < 130 MPH	NASSAU: B	SEVERE	36" MIN.	MOD/HEAVY	NASSAU: 19° F	24"	VARIES	1500 OR <	52.9° F

R301.2(1) DESIGN CRITERIA: AREA LOCATED WHERE WIND SPEEDS EQUAL OR EXCEEDS 120 MILES PER HOUR. DESIGN CRITERIA BASED ON AMERICAN FOREST AND PAPER ASSOCIATION (AF&P) WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM)



**R502.9 Fastening.** Floor framing shall be nailed in accordance with Table R602.3(1). Where posts and beam or girder construction is used to support floor framing, positive connections shall be provided to ensure against uplift and lateral displacement.

**CHANNEL DRAIN DETAIL (MODULAR)**



ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	SPACING AND LOCATION
37	3\"/>		
38	3\"/>		
39	3\"/>		

**DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION**

\*FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS  
 \*\*ROOF FRAMING  
 \*\*\*FLOOR AND ROOF FRAMING

**MINIMUM UNIFORM DISTRIBUTED LOADS**

USE	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES	60 PSF	10 PSF
DECKS	40 PSF	10 PSF
PASSENGER VEHICLE GARAGES	50 PSF	AS PER PLAN
ATTICS WITHOUT STORAGE (LESS THAN 42\"/>		
ATTICS WITH STORAGE (MORE THAN 42\"/>		
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF	10 PSF
SLEEPING ROOMS	30 PSF	10 PSF
STAIRS	43 PSF	10 PSF
GUARDRAILS AND HANDRAILS	20C PSF	10 PSF
ROOF LOADING (LIVE = GROUND SNOW LOAD ADJUSTMENTS AS PER TABLE R301.5 OF THE RESIDENTIAL CODE OF NEW YORK STATE)	20 PSF	12 PSF FOR ATTIC 15 PSF FOR CATHEDRAL

**ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS**

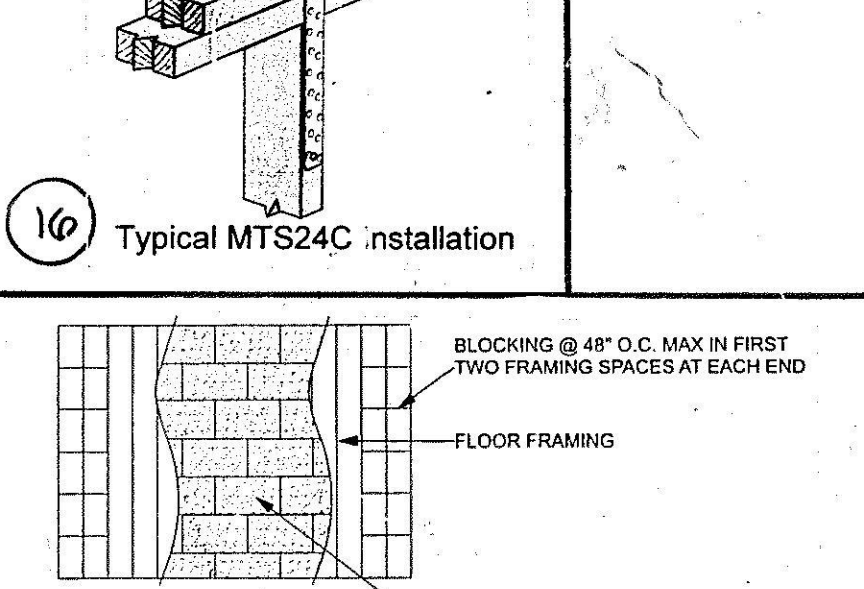
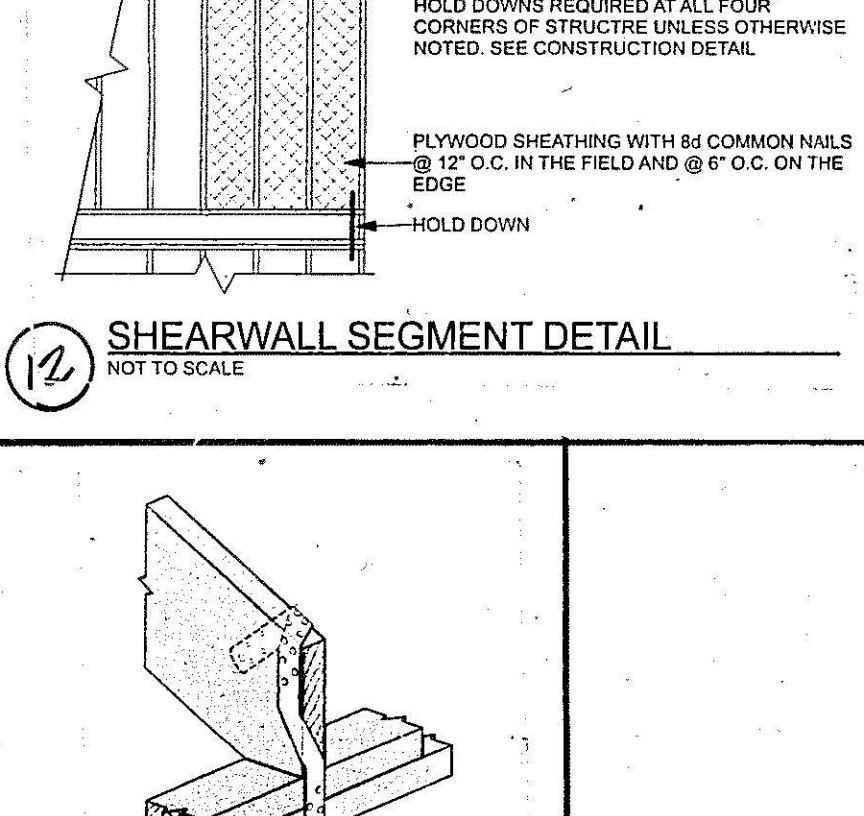
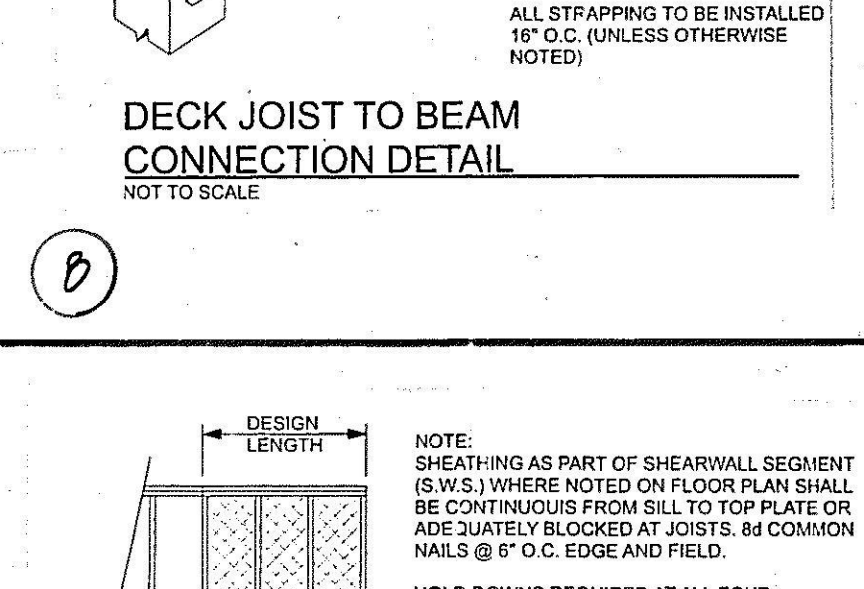
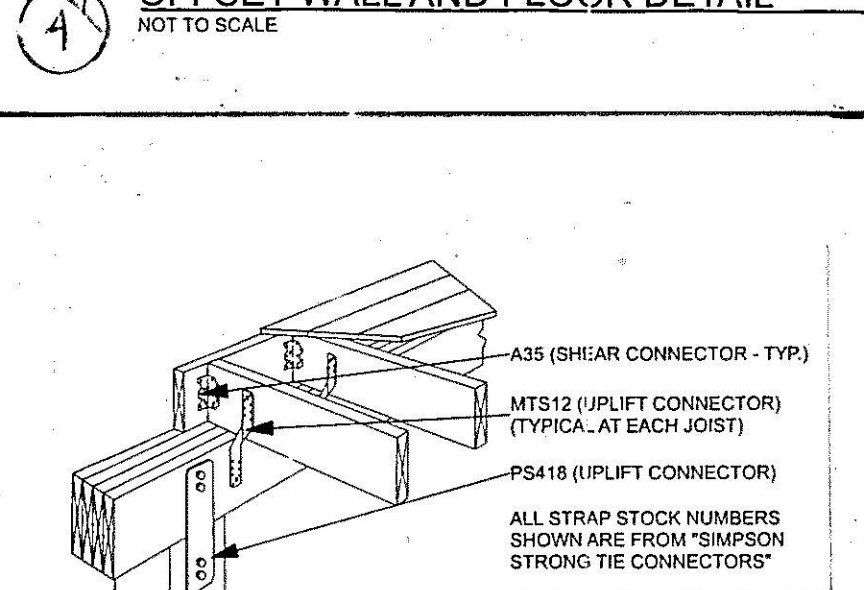
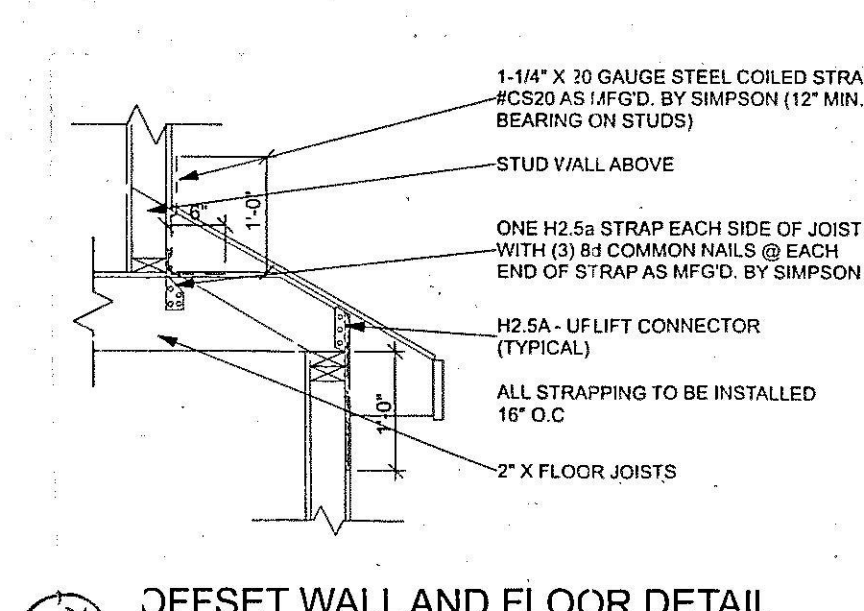
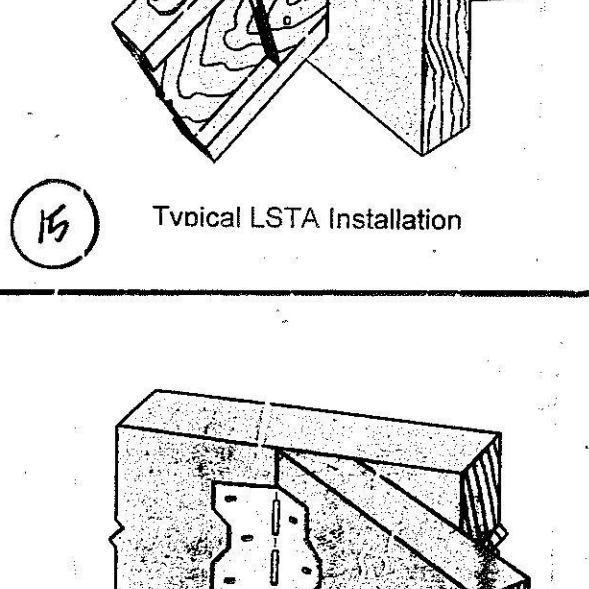
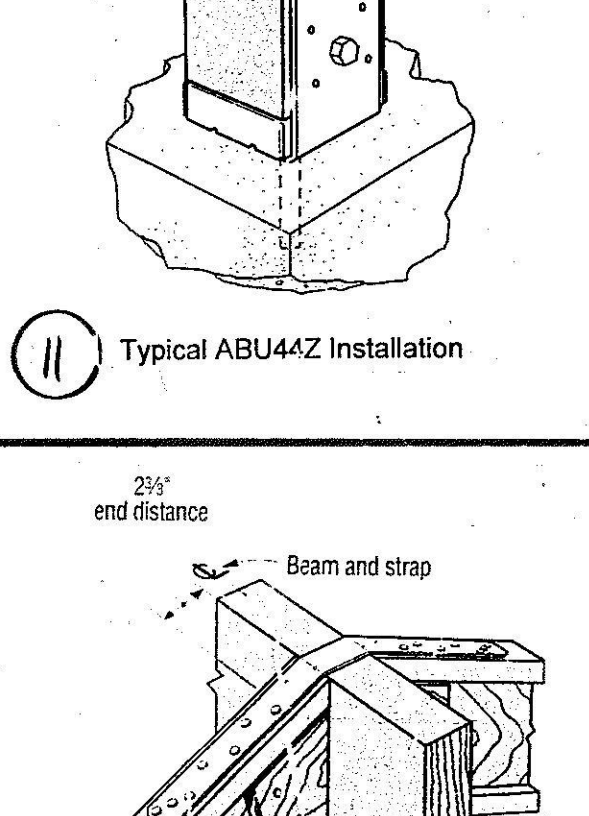
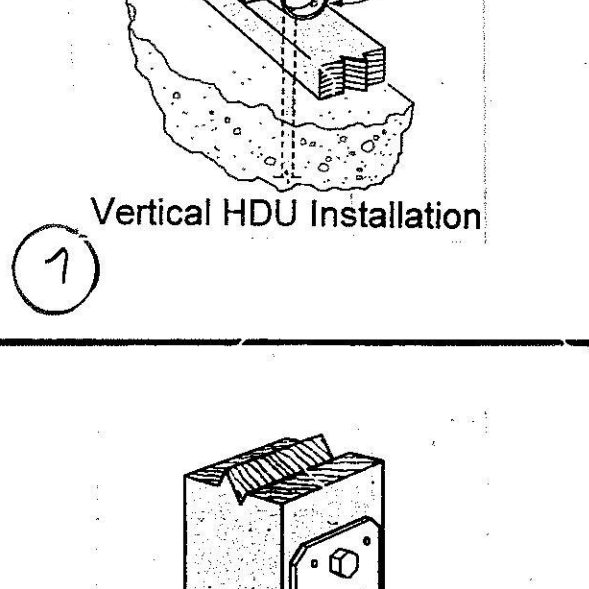
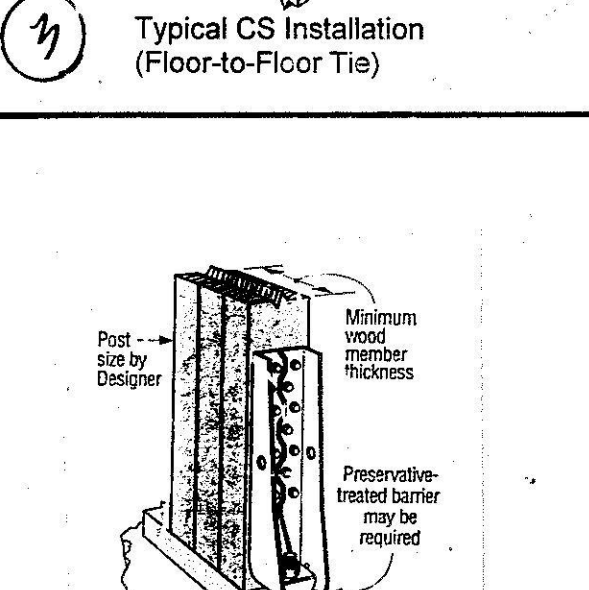
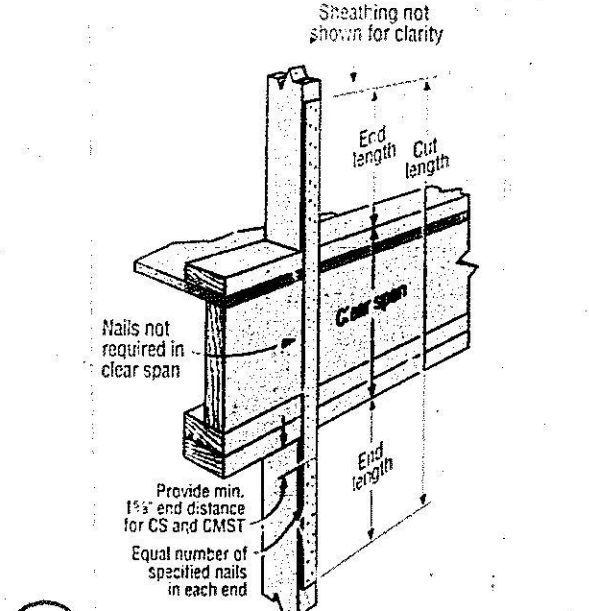
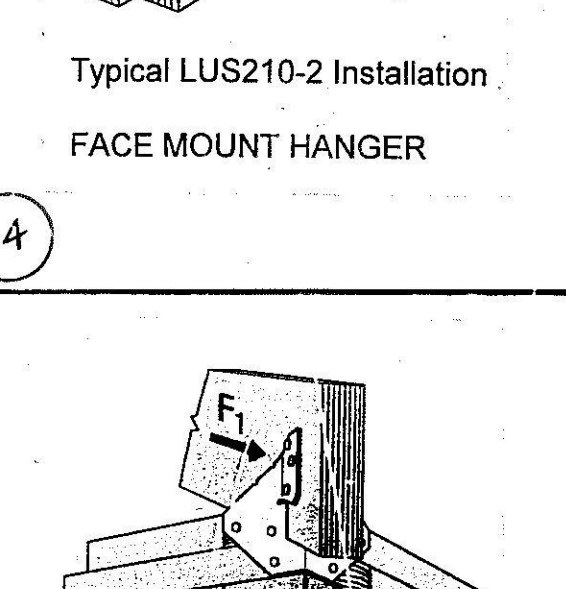
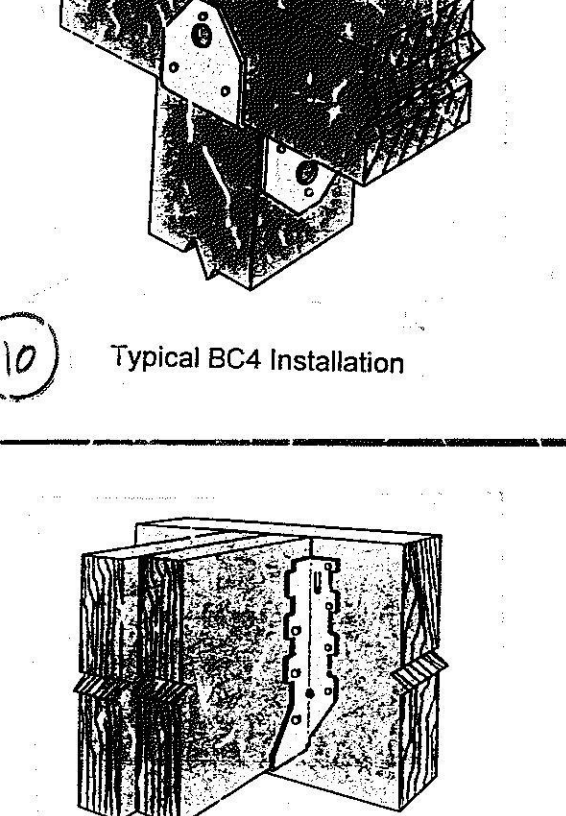
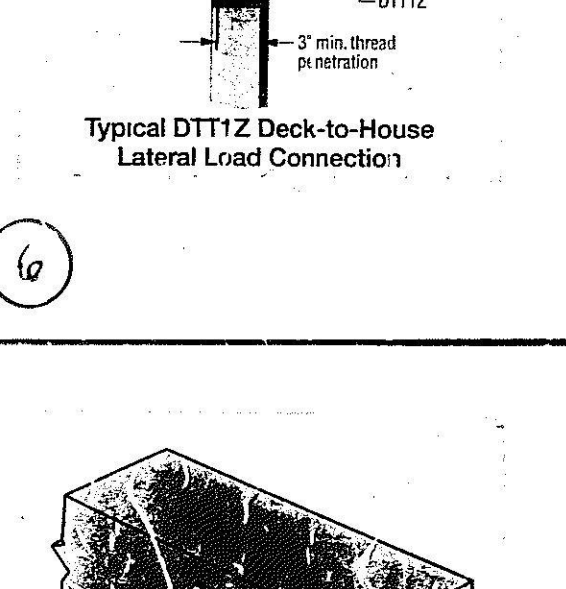
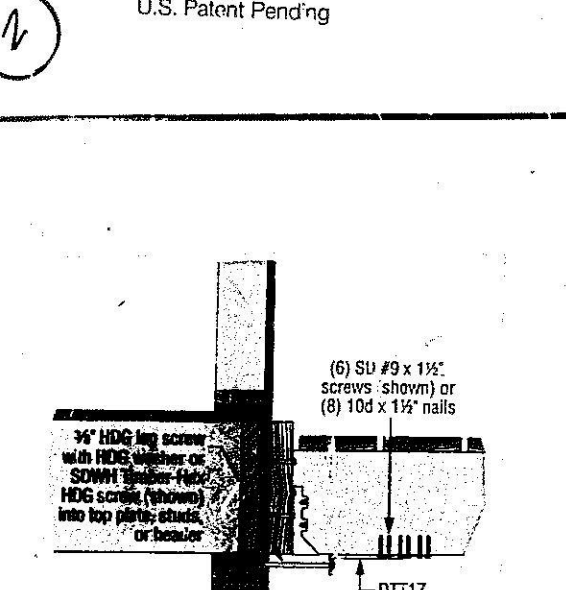
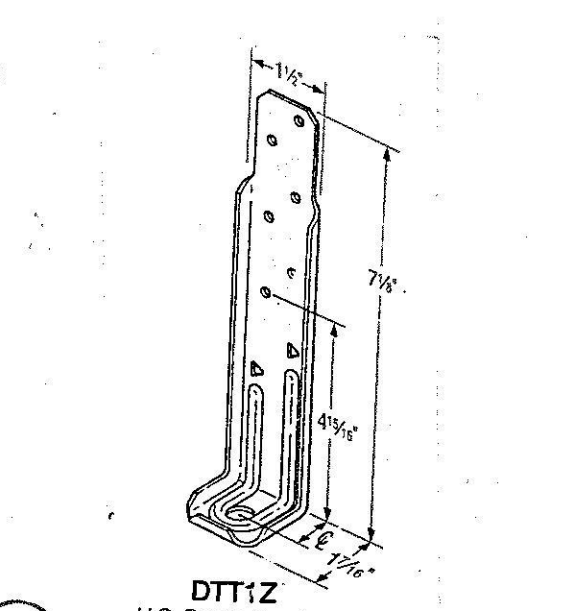
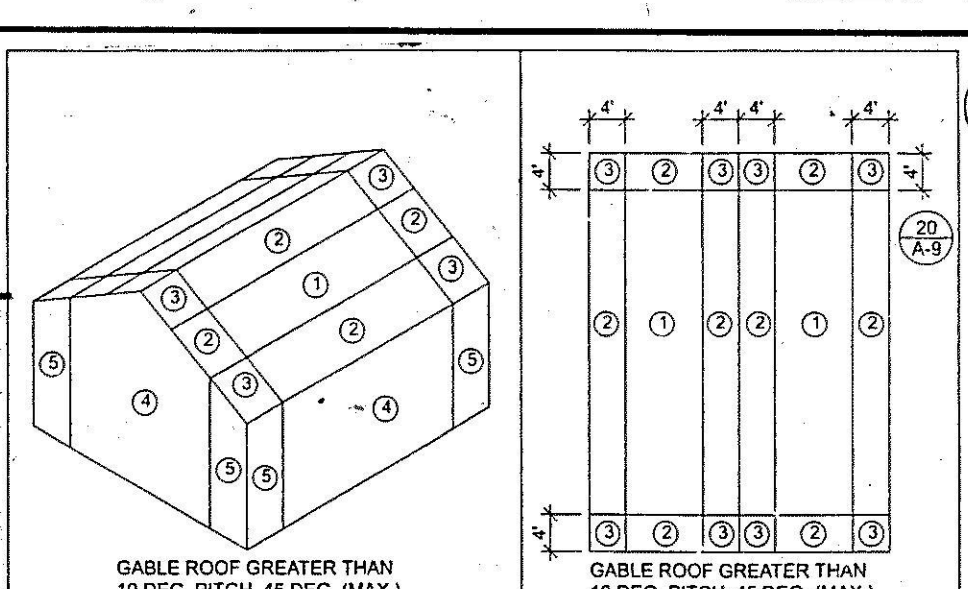
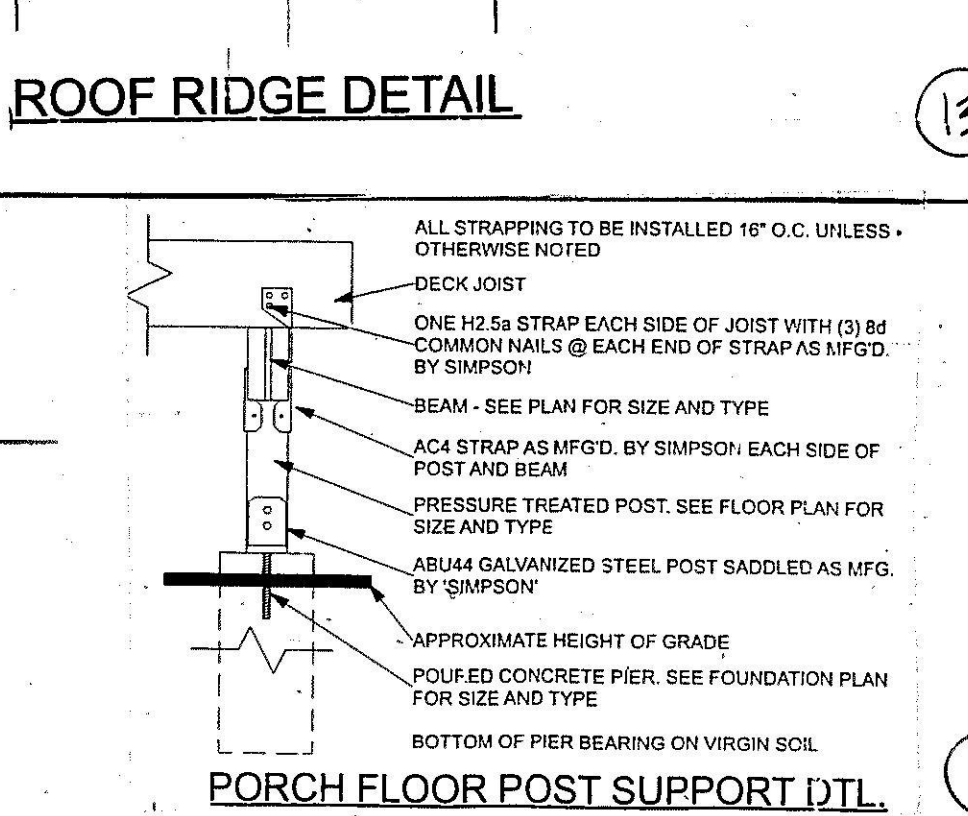
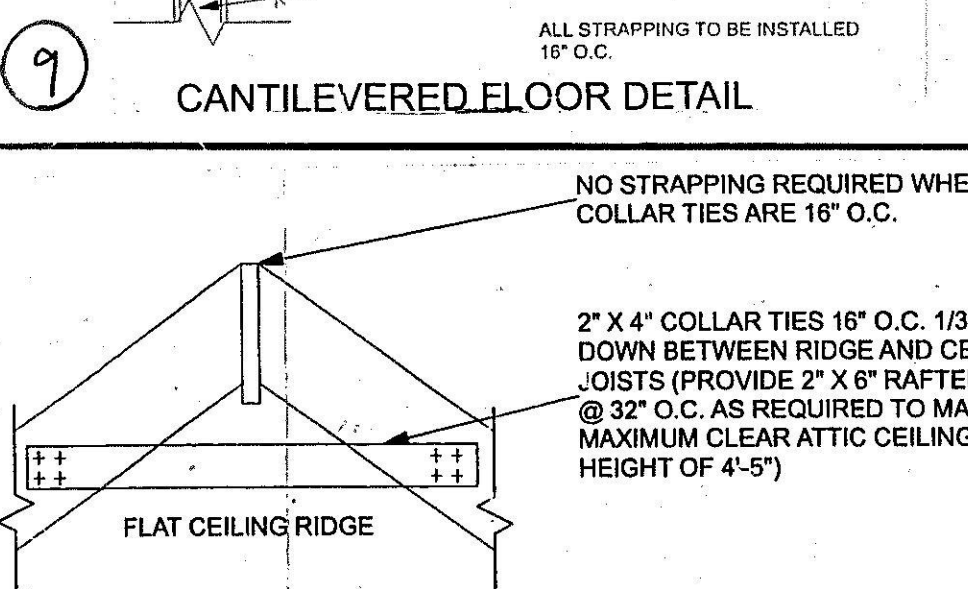
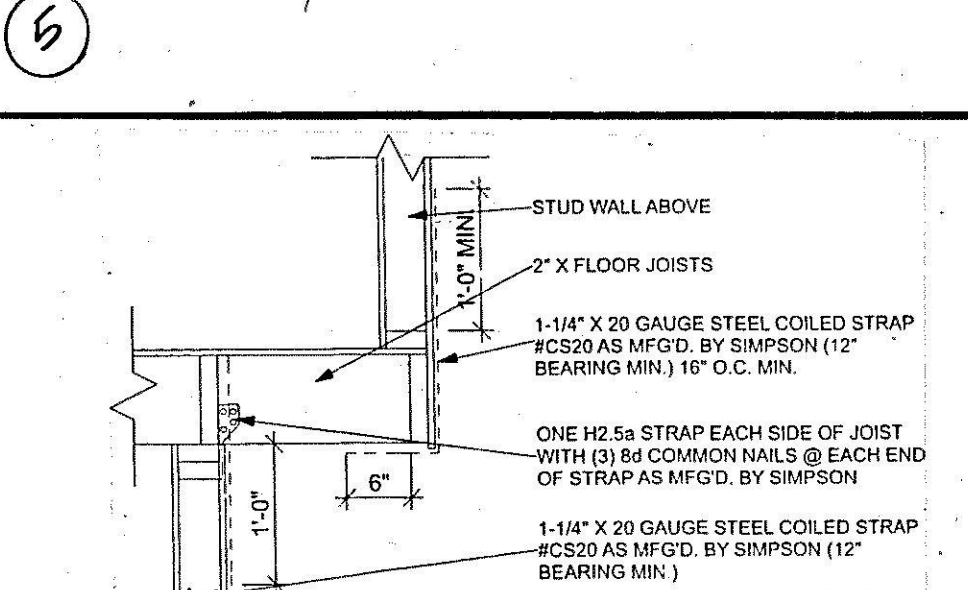
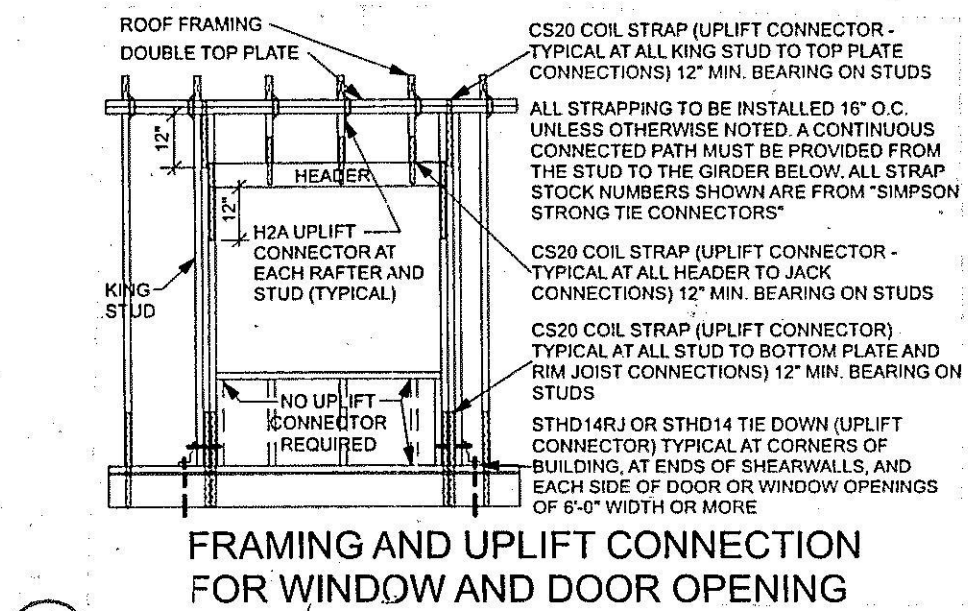
REFER TO TABLE R301.7 OF THE RESIDENTIAL CODE OF NEW YORK STATE

STRUCTURAL MEMBER	STRUCTURAL MEMBER
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILINGS	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS - WINDOW LOADS a. WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS - WINDOW LOADS a. WITH FLEXIBLE FINISHES	L/120

NOTE: L = SPAN LENGTH H = SPAN HEIGHT

a. THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.7 TIMES THE COMPONENT AND CLADDING LOADS FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN.

b. FOR CANTILEVER MEMBERS, L SHALL BE TAKEN AS TWICE THE LENGTH OF THE RAFTER.



**GROSSDIER RESIDENCE**  
39 Sandy Hollow Rd. Port Washington, N.Y.

**JANICE ARCHITECT MILLER**

516-944-9371

**NOTES**

REVISIONS: \_\_\_\_\_ DATE: 11/14/24 DRAWING: A6

DRAWN: JUN SCALING: AS NOTED FILE: 2409

#21654

RIDGE ROAD

S 88°50'00"E  
124.80'

N 01°10'00"E  
43.00'

CONCRETE CURB  
EXIST-PAVE.

WALK

RR TIE

6' PVC FENCE  
0.5'/S

FENCE  
1.9'/W

BRICK WALL

ASPHALT

MAINTAIN  
155 L.F. OF  
6' H. PVC FENCE

PVC FENCE

AC UNIT

DECK

ROOF

SPLIT LEVEL  
FR. RES

OHD. UTIL.

6' TO 5' PVC FENCE

35.7'

CVD STOOP

SLATE

GAR.

BRICK WALK

PVC FENCE

FENCE  
2.6'/W

= 40.00'  
= 40.26'

WATER METER

COL.

O.H.

ASPHALT DRIVEWAY  
W/B.B.C.

ROW OF TREES

S 00°00'00"W  
125.06'

N 56°30'00"W  
47.55'

WALK

31.3'

ROW OF TREES

SECTION - 7  
BLOCK - 305  
LOT - 19

# SITE PLAN

DOGWOOD ROAD

FIORE ARCHITECTURE  
208 N. WISCONSIN AVE.  
MASSAPEQUA, NY 11758

HYDRANT

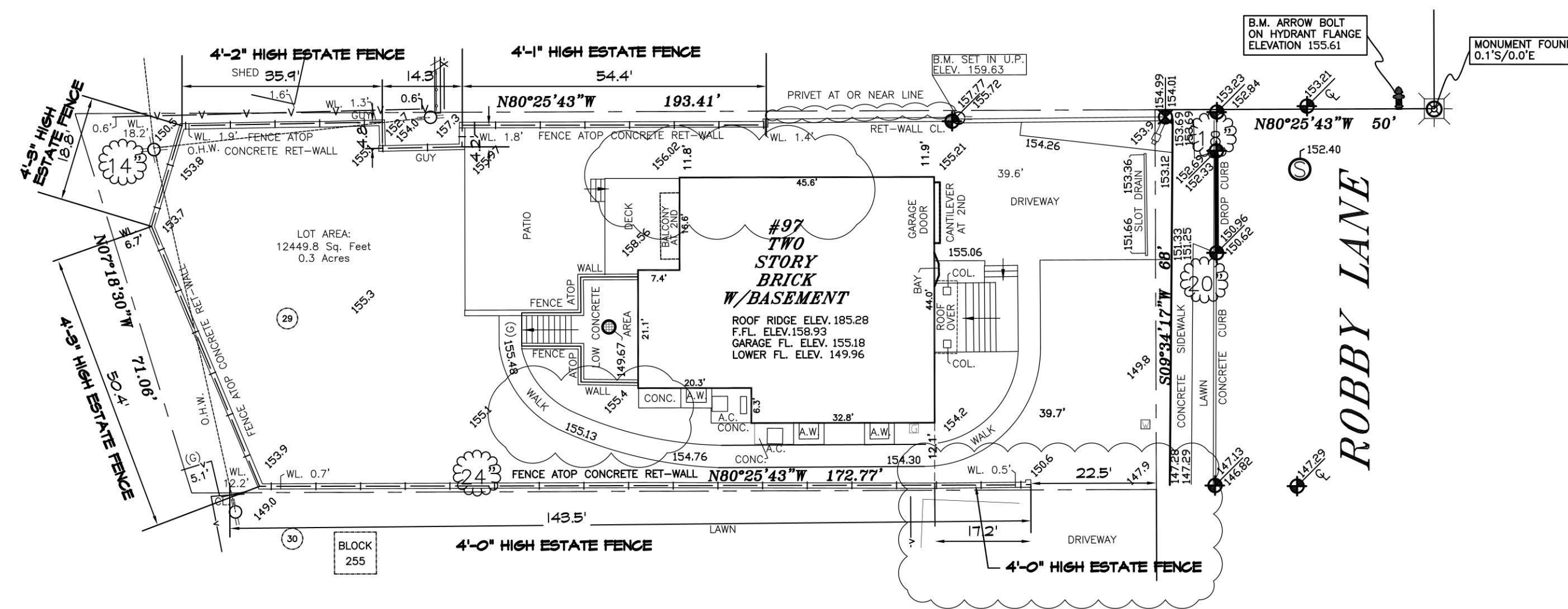
DATE: 12.6.23

SCALE: 1" = 20'

RAD = 150.00'

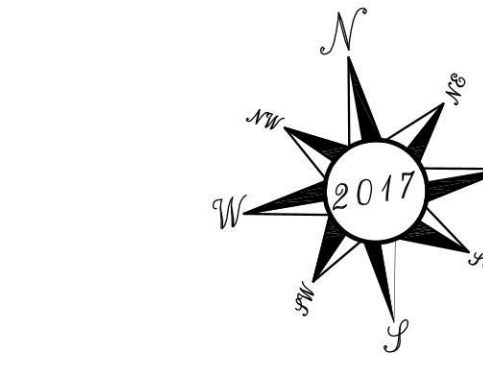


# #21655



### SITE PLAN

SCALE 1" = 30'-0"  
FROM A SURVEY



**SITE INFORMATION:**

SECTION	0	PROVIDED	
BLOCK	255	REQUIRED	12,450 S.F.
LOT	24	REQUIRED	2,597.61 S.F.
ZONE	N. HEMP. RES-A	% OCCUPIED	20.38%
LOT AREA	8,500 S.F.	FRONT WIDTH	68'
LOT AREA OCCUPIED	3,112 S.F.	SIDE YARD	11.8' / 12.2'
% OCCUPIED	36.6%	SIDE YARDS AGGREGATE	30% / 20.4'
FRONT YARD	0'	REAR YARD (2 STORIES)	15'
FRONT YARD SETBACK	35.7'	REAR YARD (1 STORY)	15'
FRONT SETBACK (CORNER)	30'	HEIGHT	30'
F.A.R.	4.000 S.F.	FRONT YARD SETBACK	35.7'
VARIANCE	YES	FRONT SETBACK (CORNER)	N.A.
		F.A.R.	4.000 S.F.
		VARIANCE	YES

**ESTATE FENCE LINEAR FTG.**  
 4'-0" HIGH : 149.5' LINEAR FEET  
 4'-3" HIGH : 18.8+50.4=69.2' TOTAL LINEAR FEET  
 4'-2" HIGH : 35.9+14.3+4.8+4.2=59.2' TOTAL LINEAR FEET  
 4'-1" HIGH : 54.4' LINEAR FEET  
**TOTAL ESTATE FENCE TO BE MAINTAINED: 304' LINEAR FEET**  
 3'-6" HIGH: 17.2' FENCE TO BE REMOVED

5' TALL RETAINING WALL BLOCKS TO BE MANUFACTURED BY NICOLOCK INTERNATIONAL. INSTALLATIONS TO COMPLY WITH MANUFACTURERS REQUIREMENTS & SPECIFICATIONS.

**RS11.7.7 Stairway walking surface.**  
The walking surface of treads and landings of stairways shall be sloped not steeper than one unit vertical in 48 inches horizontal (2-percent slope).

**RS11.7.8 Handrails.**  
Handrails shall be provided on not less than one side of each continuous run of treads or flight with four or more risers.

**RS11.7.8.1 Height.**  
Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

**Exceptions:**  
1. The use of a volute, turnout or starting easing shall be allowed over the lowest tread.  
2. Where handrail fittings or bendings are used to provide continuous transition between flights, transitions at wider treads, the transition from handrail to guard, or used at the start of a flight, the handrail height at the fittings or bendings shall be permitted to exceed 38 inches (965 mm).

**RS11.7.8.2 Continuity.**  
Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1-1/2 inches (38 mm) between the wall and the handrails.

**Exceptions:**  
1. Handrails shall be permitted to be interrupted by a newel post at the turn.  
2. The use of a volute, turnout, starting easing or starting newel shall be allowed over the lowest tread.

**RS11.7.8.3 Grip-size.**  
Required handrails shall be of one of the following types or provide equivalent graspability.  
1. Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1-1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6-1/4 inches (160 mm) with a cross section of dimension of not more than 2-1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).  
2. Type II. Handrails with a perimeter greater than 6-1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1-3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1-1/4 inches (32 mm) and not more than 2-3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).

**RS12.1 Guards.**  
Guards shall be provided in accordance with Sections RS12.1.1 through RS12.1.4.

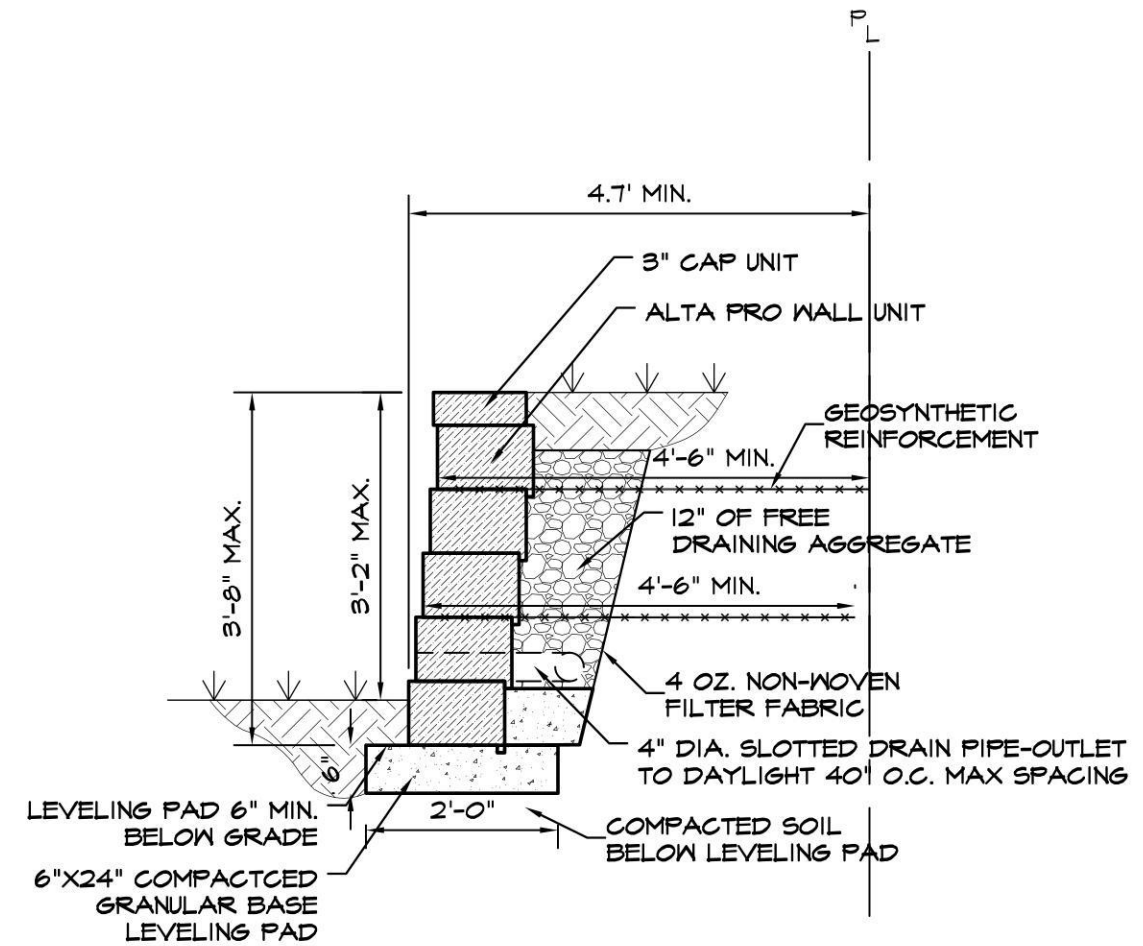
**RS12.1.1 Where required.**  
Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

**RS12.1.2 Height.**  
Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

**Exceptions:**  
1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.  
2. Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

**RS12.1.3 Opening limitations.**  
Required guards shall not have openings from the walking surface to the required guard height that allow passage of a sphere 4 inches (102 mm) in diameter.

**Exceptions:**  
1. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.  
2. Guards on the open side of stairs shall not have openings that allow passage of a sphere 4-3/8 inches (111 mm) in diameter.



### NICOLOCK ALTA PRO RETAINING WALL DETAIL

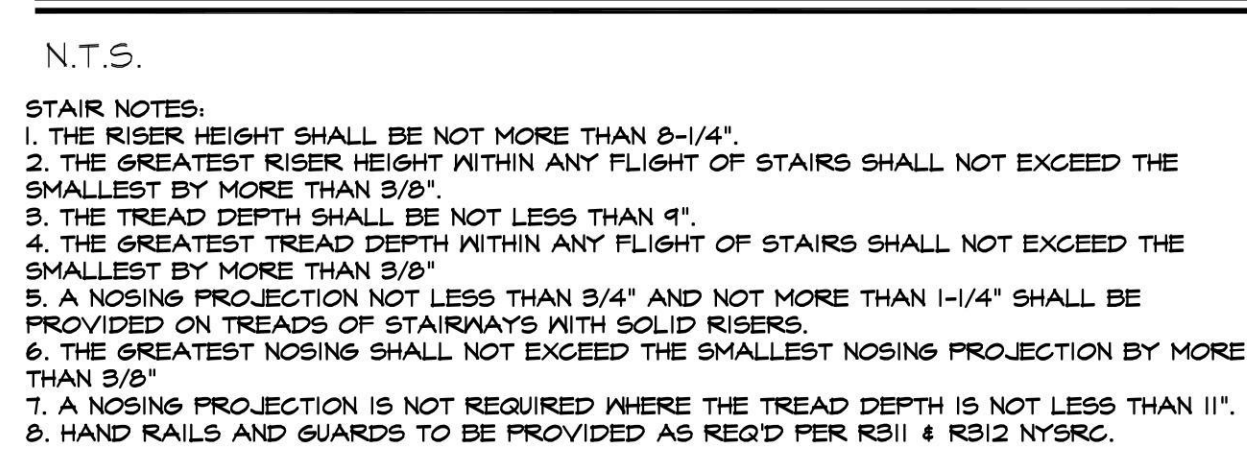
1/2" = 1'-0"

NICOLOCK ALTA PRO WALL SYSTEM TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.

**CONCRETE & FOUNDATION NOTES:**

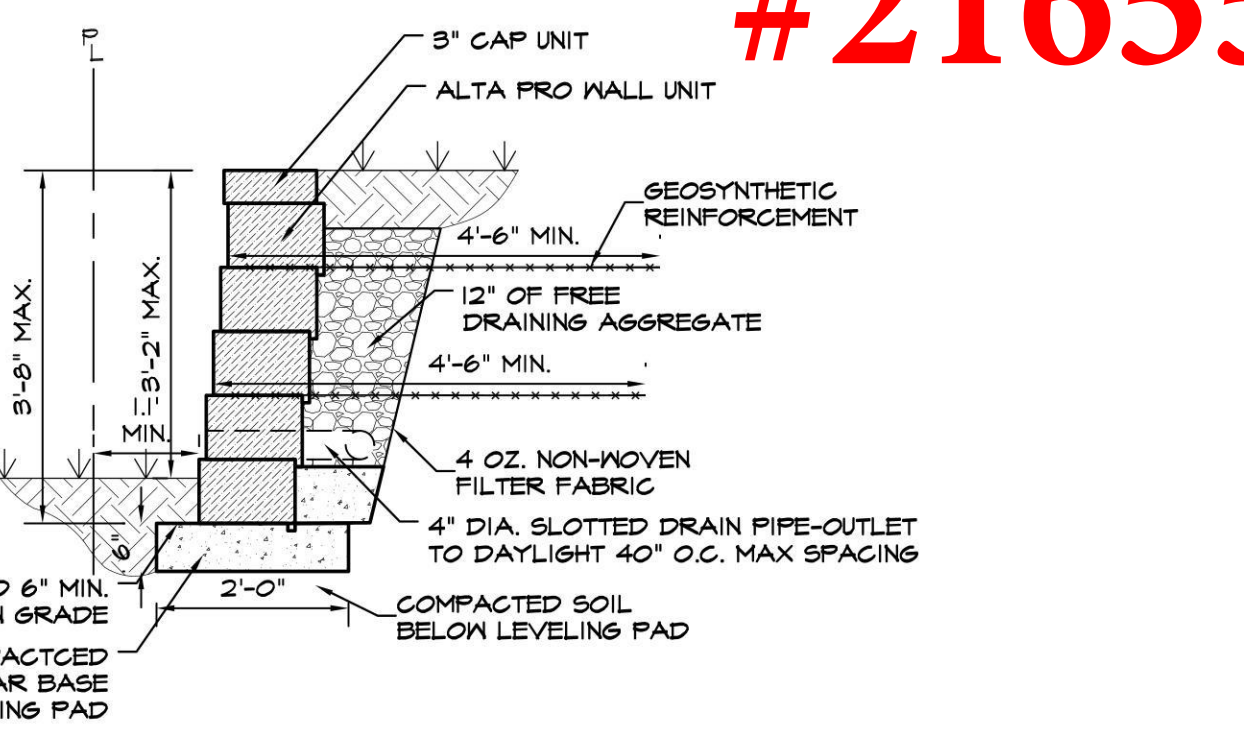
- All footings shall bear on virgin soil having a minimum bearing capacity of 3,000 lbs per square foot. All exterior footings shall be a minimum of 3'-0" below grade unless noted otherwise in plans. Files may be required depending upon local conditions. At the discretion of the engineer a separate foundation plan by a licensed soils engineer may be required. A soil boring stating bearing capacity is required to confirm these and water table conditions. Contractor to notify the designer of any soil variation or condition adversely affecting assumed bearing capacity prior to the pouring of any footings.
- All existing fill, roots, and other unsuitable bearing material shall be removed and footings carried to the bottom of such excavation. Contractor to verify assumed soil bearing capacity and assume full responsibility for same. A soil boring stating bearing capacity is required to confirm these and water table conditions. Contractor to notify the designer of any soil variation or condition adversely affecting assumed bearing capacity prior to the pouring of any footings.
- Minimum compressive strength of concrete at 28 days to be as follows:  
A. Footings, piers, foundation walls: pc = 3500 p.s.i. stone concrete.  
B. Slab on grade: pc = 3500 p.s.i. concrete per R402.2  
C. Superstructure, slab: pc = 3500 p.s.i. stone concrete per R402.2  
D. All concrete to have air entrainment of 5% to 7% per R402.2  
E. Anchor bolts shall be set approx. one foot from corners. Set anchor bolts on either side of all openings and minimum of two bolts in any one sill.  
F. Perform required alteration to existing concrete. New work installed adjacent to and connecting with present work shall match existing. Joints between new and existing work shall be troweled smooth and even. Provide expansion joints at plumbing pipes in crawl spaces unless otherwise noted.  
G. Footings at different levels shall be stepped so that the clear distance between adjacent bottom edges shall not exceed a slope of one vertical to two horizontal.  
H. Back fill shall not be placed against foundation walls until the concrete is of sufficient strength and until the walls are properly braced top and bottom by the horizontal floor or by adequate temporary bracing.  
I. Concrete Foundations shall be poured continuously. If pour is interrupted a vertical key shall be provided. Horizontal joints are not permitted.  
J. Contractor shall verify dimensions and locations of slots, pipe sleeves, inserts, anchor bolts, electrical conduits, etc. as required for trades before placing concrete.  
K. Concrete work included:  
A. All footings, foundations, steps, platforms, etc. as per drawings.  
B. All concrete slabs.  
C. All other works as required by drawings.  
D. Set anchor bolts.  
XII. All forms to be left in place for a minimum of 3 days after completion of pouring.  
XIII. Damp Proofing: Work included.  
A. All surfaces to be damp proofed shall be dry, clean and smooth, free of dust, dirt, voids and cracks and shard projections.  
B. Allow 24 hours prior to backfilling.  
C. Apply mastic emulsion only when temperature is 40 degrees and rising and in dry weather.  
D. Apply Celotex Tronol Mastic or approved equal on all foundation walls below grade at basement and crawl spaces.  
E. Mastic shall be applied at the rate of 1/8" thick net.  
XIV. Contractor to underpin any existing foundation walls abutting new foundation walls, footings or excavations with a minimum 16" wide single pour footing to a minimum of 36" below adjoining grade unless noted otherwise in plans.  
XV. Contractor to provide a minimum of R45 rigid insulation (vertical) as required for frost-protected footings in heated buildings per Table R403.3.

### STAIR TREAD & RISER DETAIL



**GENERAL NOTES:**

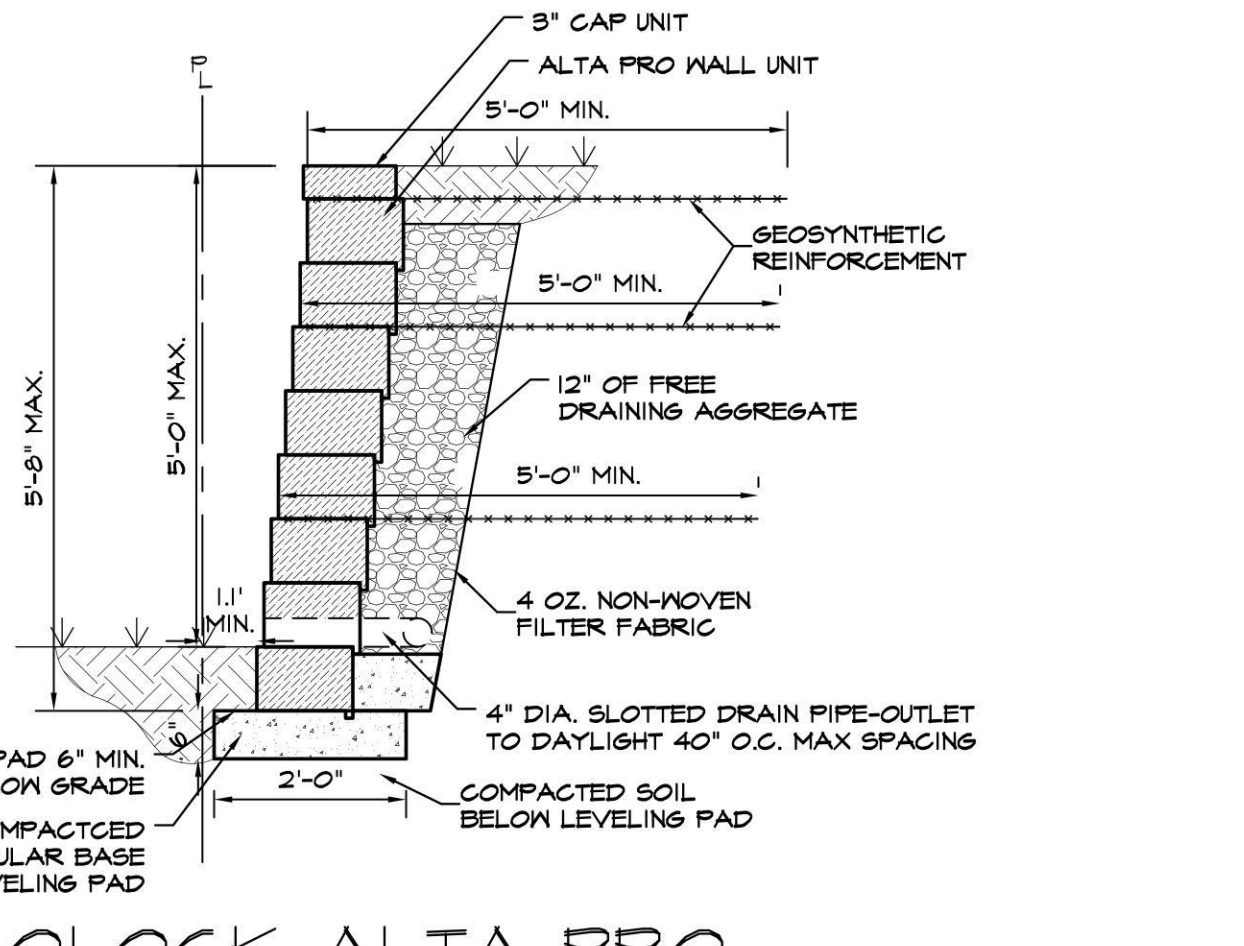
- Engineer is not responsible for job supervision.
- Construction is to be left open until the local building department official has visited the site and instructed that construction may continue. J.L. Drafting is not responsible for the scheduling of inspections and can not be held liable for costs to expose construction as required for inspection.
- Contractor to verify adequacy of existing foundations, bearing walls and headers to bear new construction.
- Contractor to confirm that all asbestos insulation has been removed from the premises by a licensed asbestos removal company before the start of construction.
- These drawings have been prepared by or under the direction of the undersigned and to the best of the undersigned's knowledge, belief, and professional judgment are in compliance with the New York State Energy Conservation Construction Code and the Residential Code of New York State effective 10/4/16.
- It is a violation of the New York State Education Law for any person, unless acting under the direction of a registered Architect or a licensed Professional Engineer to alter any item on this drawing. All alterations must be made in compliance with the New York State Education Law, and Construction Code. The undersigned professional whose seal appears hereon assumes no responsibility for any such alteration or re-used without his written consent.
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### NICOLOCK ALTA PRO RETAINING WALL DETAIL

1/2" = 1'-0"

NICOLOCK ALTA PRO WALL SYSTEM TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.



### NICOLOCK ALTA PRO RETAINING WALL DETAIL

1/2" = 1'-0"

NICOLOCK ALTA PRO WALL SYSTEM TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.

APPROVAL STAMPS

**DISAPPROVED**

Carlos Reyes  
11/12/2024

**LEGEND**

	NEW FOUNDATION
	EXIST. PARTITION
	DEMOLITION PARTITION / FOUND.
	NEW SMOKE DETECTOR HARDWIRED WITH BATTERY BACKUP
	NEW COMBINATION OR SEPARATE SMOKE / CARBON MONOXIDE DETECTOR(S) HARDWIRED WITH BATTERY BACKUP
	L.B. WALL LOAD BEARING WALL
	T.B.M. TO BE MAINTAINED
	POST TO BELOW
	POST FROM ABOVE
	P.T. PRESSURE TREATED
	H.D.G. DOUBLE HOT DIPPED GALVANIZED
	V.I.F. VERIFY IN FIELD, IF DIFFERENT FROM PLAN CONTACT DESIGN PROFESSIONAL
	P.C. POURED CONCRETE
	JOIST HANGER W/ REQ'D CAPACITY IN LBS.
	TECO JOIST HANGER W/ 600 LB. CAPACITY (MINIMUM)

06/10/24	7	CLIENT CHANGES
7/1/21	6	CLIENT CHANGES
11/19/20	5	MODIFY DRAINAGE
10/16/20	4	TOWN COMMENTS
9/3/20	3	INSPECTORS COMMENT
3/25/20	2	TOWN COMMENTS
1/30/20	1	FOR FILING
DATE:	ISSUE NO.	DESCRIPTION

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.

CONTRACTOR TO CHECK ALL LUMBER TO ENSURE THAT THE CROWN FACES UP BEFORE INSTALLATION.

STATE OF NEW YORK  
NORMAN C. LOK  
LICENSED PROFESSIONAL ENGINEER  
089525  
06/10/24

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**NORMAN C. LOK, P.E.**  
NYS LICENSE NUMBER 089525  
707 ROUTE 110 Suite A-1  
FARMINGDALE, NY 11735  
TEL: (631) 755-7920  
FAX: (631) 843-8190

PROJECT TITLE:  
**AZIZ RESIDENCE**  
97 ROBBY LANE  
NEW HYDE PARK, NY 11040

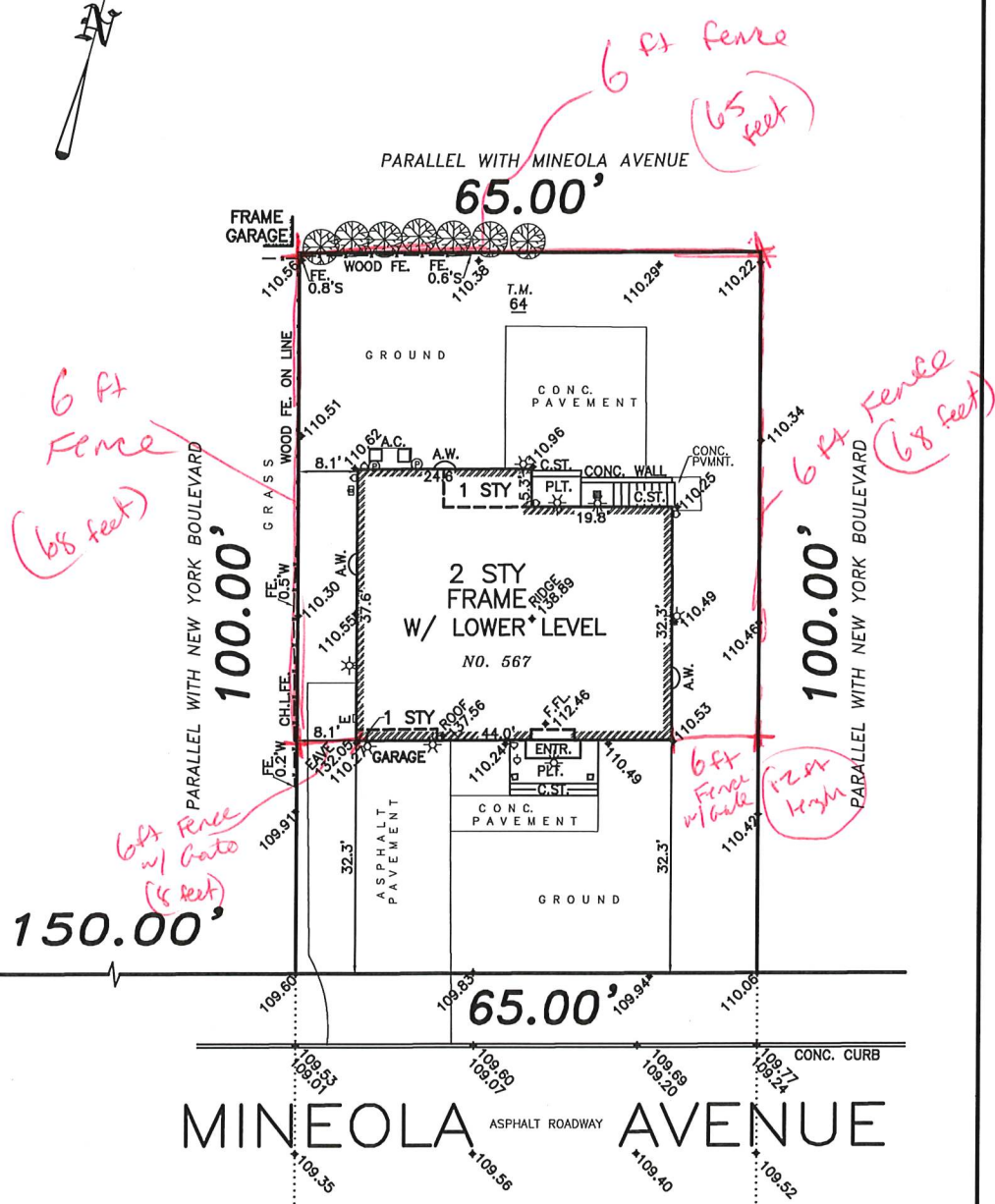
DRAWING TITLE:  
**TO BE MAINTAINED ESTATE FENCE**

DRAWN BY: NF	DRAWING NO. A-1
CHECKED BY: N.C.L.	PROJ. NO. 22-297
SCALE: AS SHOWN	
DATE: 10/28/22	

ALL ELEVATIONS SHOWN ARE REFERRED TO THE NAVD88 DATUM


# #21656


STONEHENGE LANE  
(NEW YORK BLVD.)



**LEGEND:**

- CH.L. - CHAIN LINK
- C, CONC. - CONCRETE
- PLT. - PLATFORM
- BR. - BRICK
- W. - WOOD
- ST. - STEPS
- FE - FENCE
- PVMNT - PAVEMENT
- O/L - ON LINE
- ENTR. - ENTRANCE
- F.FL - FIRST FLOOR ELEVATION
- ◇ - CAMERA
- ★ - LAMP
- - DRAIN INLET
- - GAS
- ⊙ - VENT PIPE

<b>FINAL SURVEY</b>	
JOB NO. NYL24687	SCALE 1"=20'
DATE 11-05-2024	
<small>Certification indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution.  Certifications are not transferable to additional institutions or subsequent owner. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies.  <b>EASEMENTS NOT SHOWN ARE NOT GUARANTEED.</b></small>	
 MARGORZATA GASIOROWSKA N.Y.S. L.L.S. 051047	
ADDRESS: #567 MINEOLA AVENUE, CARLE PLACE, T/O N. HEMPSTEAD NASSAU CO., NEW YORK	CERTIFIED TO: TITLE NO.:
TAX MAP SEC. 10 BLOCK 31 LOT(S) 64	FILED MAP - BLOCK 31 LOT(S)



**NYLAND TECH P.C.**  
LAND SURVEYING  
office 516-783-0856  
email info@nyland-tech.com  
449 Argyle Road, East Meadow NY 11554

THE OFFSETS OR DIMENSIONS SHOWN HEREON, FROM THE PROPERTY LINES TO THE STRUCTURES ARE FOR A SPECIFIC PURPOSE AND USE. THEREFORE THEY ARE NOT INTENDED TO MONUMENT PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES OR ANY OTHER IMPROVEMENTS.

REVISIONS:

# ALTERATION AND ADDITION TO: PALMER RESIDENCE 33 10TH STREET CARLE PLACE, NY 11514 TOWN OF HEMPSTEAD

## #21657

### TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING			FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP		
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORN DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES				ICE BARRIER REQUIRED	
20	130 VULT	NO	NO	1 MILE FROM COAST AND FIRE ISLAND	B	SEVERE	BOF 3 FT BFG	MOD TO HEAVY	SEE BELOW	YES	CALL THE PLANS EXAMINERS OFFICE	599	51°F

### MANUAL J CRITERIA REQUIRED IN SUBMITTED CALCULATIONS

ELEVATION	LAT	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
108 FT	41°N	15°F	86°F	1.00	70°F	75°F	55°F
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	CONCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
11°F	15 MPH	7.5 MPH	72°F	MEDIUM (M)	40%	32 GR @50% RH	

### IBC CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING			FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP		
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORN DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES				ICE BARRIER REQUIRED	
20	130 VULT	NO	NO	1 MILE FROM COAST AND FIRE ISLAND	B	SEVERE	BOF 3 FT BFG	MOD TO HEAVY	SEE BELOW	YES	CALL THE PLANS EXAMINERS OFFICE	599	51°F

**WINTER DESIGN TEMP:**  
 • INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH AN INDOOR TEMPERATURE OF NOT LESS THAN 68°F AT A POINT 3 FEET ABOVE THE FLOOR ON THE DESIGN HEATING DAY.  
 • SYSTEM DESIGN SHALL BE BASED ON MAX 72°F HEATING, MINIMUM 75°F COOLING.  
 • DEGREE DAYS (NY LAGUARDIA) 4811, WINTER DESIGN TEMP 15°F, DRY BULB 86°F, WET BULB 75°F (2020 IPC APPENDIX D).  
 • AS PER NYSBC 2020 CHAPTER 16 SECTION 1609 AND ASCE 7 2016, WIND EXPOSURE CATEGORY AND SURFACE ROUGHNESS IS B.  
 • USE C FOR BOTH SOUTH SHORE AND FIRE ISLAND.

### COMPLIANCE WITH NYS ENERGY CONSERVATION CONSTRUCTION CODE AS PER RESCHECK WEB

CONSTRUCTION TYPE:	COMPLIANCE:				
DETACHED 1	UNHEATED SPACE				
HEATING TYPE: NON-ELECTRIC	RESULT: 4.5% BETTER THAN CODE				
ASSEMBLY	GROSS AREA	CAVITY R-VALUE	CONT. R-VALUE	U-FACTOR GLAZING	UA
2ND FLOOR CEILING: FLAT	54	38.0	11.0	0.023	1
WALL-FRONT: WOOD FRAME 16" OC	144	15.0	5.0	0.053	5
DOOR: GLASS DOOR (OVER 50% GLAZING)	20	---	---	0.300	6
2 WINDOW A	23	---	---	0.300	7
WALL-LEFT: WOOD FRAME 16" OC	24	15.0	5.0	0.053	1
WALL-RIGHT: WOOD FRAME 16" OC	24	15.0	5.0	0.053	1

### SCHEDULE OF DRAWINGS

- A-0 COVER SHEET, CERTIFICATIONS, SITE PLAN, NOTES
- A-1 1ST & 2ND FLOOR DEMOLITION PLAN, LEGEND, AND NOTES
- A-2 FOUNDATION, 1ST & 2ND FLOOR/ROOF PLAN, SYMBOLS LEGEND, ROOFING NOTES, WINDOW SCHEDULE, NOTES
- A-3 ELECTRICAL PLAN & NOTES, DETAIL AT PORTICO, SECTION "A", PLUMBING RISER DIAGRAM AND PLUMBING NOTES, FRAMING PLAN
- A-4 EXTERIOR ELEVATIONS & GAS RISER DIAGRAM
- A-5 CARPENTRY DETAILS
- A-6 DECK DETAILS
- A-7 GENERAL NOTES
- A-8 DECK DETAILS TYP
- A-9 STRUCTURAL NOTES
- A-10 SPECS & MAILING SCHEDULE

### CLIENTS RESPONSIBILITY

- PLUMBING APPLICATION (IF REQUIRED) TO BE FILED BY LICENSED PLUMBER
- ELECTRICAL APPLICATION (IF REQUIRED) TO BE FILED BY LICENSED ELECTRICIAN
- C OF O / C OF C - CLOSE OUT AND INSPECTION (BY OTHERS)
- SANITARY SYSTEM

### SCOPE OF WORK

- 3'x18' FRONT ADDITION WITH KITCHEN ALTERATION, NEW COVERED PORTICO
- ANY NON-PERMITTED ITEMS ARE THE CLIENTS RESPONSIBILITY UNLESS IMPACT ARCHITECTURE HAS BEEN RETAINED TO RESOLVED OUTSTANDING ITEMS.
- CONTRACTOR IS TO CALL 811 PRIOR TO ANY EXCAVATIONS. HAVE ALL UTILITIES TONED OUT AND LOCATED PRIOR TO ANY EXCAVATION-SEE NOTE.



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### ZONING ANALYSIS

TOWN OF: HEMPSTEAD	COUNTY OF: NASSAU			
ZONING DISTRICT: RES B				
TAX MAP INFO:	DIST.	SECTION	BLOCK	LOT
		9	2	26
REQUIREMENT	ALLOWABLE	EXISTING RESIDENCE	PROPOSED ADDITION	
LOT SIZE	6,000 SF	6,598.81 SF	6,598.81 SF	-NO CHANGE
LOT WIDTH	50'	50'	50'	-NO CHANGE
FRONT YARD	30'	30.8'	27.8'	
YARD SIDE	7'	6.8'	6.8'	-NO CHANGE
BOTH YARD SIDE	19.8'	17.6'	17.6'	-NO CHANGE
REAR YARD	15'	39.6'	39.6'	-NO CHANGE
HEIGHT	30'	23.83	23.83'	-NO CHANGE

### FLOOR AREA CALCULATIONS

EXISTING STRUCTURE	
1ST FLOOR W/ GARAGE	1194.4 SF
2ND FLOOR	901.7 SF
EXISTING TOTAL	2096.10
PROPOSED ALTERATIONS & ADDITIONS	
KITCHEN ADDITION	54.15 SF
PROPOSED ADDITIONAL AREA	54.15 SF
TOTAL AREA: ALL FLOORS	2150.25 SF

### LOT AREA CALCULATIONS

EXISTING STRUCTURE	
BUILDING FOOTPRINT	1194.41 SF
SHED	64.80 SF
REAR DECK	357.00 SF
EXISTING TOTAL	1616.21 SF
PROPOSED ALTERATIONS & ADDITIONS	
KITCHEN ADDITION	54.15 SF
PROPOSED AREA	54.15 SF
TOTAL AREA: ALL FLOORS	1670.36
EXISTING LOT SIZE	6598.81 SF
EXISTING LOT COVERAGE: 1616.21/6598.81	24.49 %
PROPOSED LOT COVERAGE: 1670.36/15467.50	25.31 %
EXISTING FAR: 2096.10/15467.50	31.76 %
PROPOSED FAR: 2150.25/15467.50	32.59 %

STRUCTURAL SYSTEM	DEAD LOAD lbs / sq. ft.	LIVE LOAD lbs / sq. ft.	DEFLECTION LIMIT	REFERENCES
FLOOR SYSTEM	10 lbs. / sq. ft.	40 lbs. / sq. ft.	L / 360	TABLE R 301.5
CEILING SYSTEM (WITH STORAGE)	10 lbs. / sq. ft.	30 lbs. / sq. ft.	L / 240	TABLE R 301.5
ROOF SYSTEM (ATIC)	10 lbs. / sq. ft.	20 lbs. / sq. ft.	L / 180	R 301.6
EXTERIOR DECKS	10 lbs. / sq. ft.	40 lbs. / sq. ft.	L / 360	TABLE R 301.5

NOTES:  
 1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH No.2 UNLESS OTHERWISE NOTED.  
 2. DESIGN LOADS MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN SECTION R 301.  
 DRAWINGS PREPARED IN ACCORDANCE WITH 2020 BCNYS

R302.1 ALL MIN. SEPARATIONS GREATER THAN 5FT  
 R401.3 LOT SHALL BE GRADED FROM ALL FOUNDATION WALLS MIN 6" IN 10FT  
 R402.4 ALL MASONRY TO HAVE COMPRESSIVE STRENGTH OF 1500 PSI  
 R406.2 CONCRETE AND MASONRY FOUNDATIONS TO BE WATERPROOFED FROM TOP OF FOOTING TO GRADE PER SEC R406.2

### TABLE R402.2 MIN SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH* (PSI)
BASEMENT WALLS, FOUNDATION AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2,500 <sup>a</sup>
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500 <sup>a</sup>
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3,000 <sup>a</sup>
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS	3,500 <sup>a,b</sup>

FOR SI: 1 POUND PER SQUARE INCH=6.895 kPa  
 a. STRENGTH AT 28 DAYS PSI  
 b. SEE TABLE R301.2(1) FOR WEATHERING POTENTIAL  
 c. CONCRETE IN THESE LOCATIONS THAT IS SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE d  
 d. CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT  
 e. SEE SECTION R402.2 FOR MAXIMUM CEMENTITIOUS MATERIALS CONTENT  
 f. FOR GARAGE FLOORS WITH A STEEL-TROWELED FINISH, REDUCTION OF THE TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) NOT TO BE LESS THAN 3 PERCENT IS PERMITTED IF THE SPECIFIED COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED TO NOT LESS THAN 4,000 PSI.

### TABLE R301.6 MIN. ROOF LIVE LOADS IN POUNDS - FORCE PER SQUARE FOOT OF HORIZONTAL PROJECTION

ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FEET FOR ANY STRUCTURAL MEMBER		
	0 TO 200	201-600	OVER 600
FLAT OR RISE LESS THAN 4" PER FOOT(1:3)	20	16	12
RISE 4" PER FT. (1:3) TO LESS THAN 12" PER FOOT (1:1)	16	14	12
RISE 12" PER FT. (1:1) AND GREATER	12	12	12

FOR SI: 1 POUND PER SQUARE FOOT = 0.0479 kN/M2  
 a. LINEAR INTERPOLATION SHALL BE PERMITTED

### BUILDING PLAN REVIEW NOTE:

TOWN PLANS EXAMINER SHALL REVIEW THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN AS SPECIFIED IN THE BUILDING AND/OR 2020 RCNYS AND/OR 2020 BCNYS AND/OR 2020 EBCNYS AND/OR 2020 FGCNYS AND/OR 2020 MCNYS AND/OR 2020 PCNYS AND/OR 2020 PMCNYS THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS ACCURATE, CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION, CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH PROPERTY AND PUBLIC WELFARE IS THE RESPONSIBILITY OF THE LICENSEE

### CERTIFICATIONS

- THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER THE DIRECT SUPERVISION OF THE UNDERSIGNED, AND TO THE BEST OF MY BELIEF, KNOWLEDGE, AND INFORMATION, MEET THE REQUIREMENTS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE RESIDENTIAL CODE OF NEW YORK STATE.
- THE FRAMING DESIGN STANDARD USED IS THE AMERICAN FOREST AND PAPER ASSOCIATION "WOOD FRAME CONSTRUCTION MANUAL CURRENT EDITION".

### KEY MAP

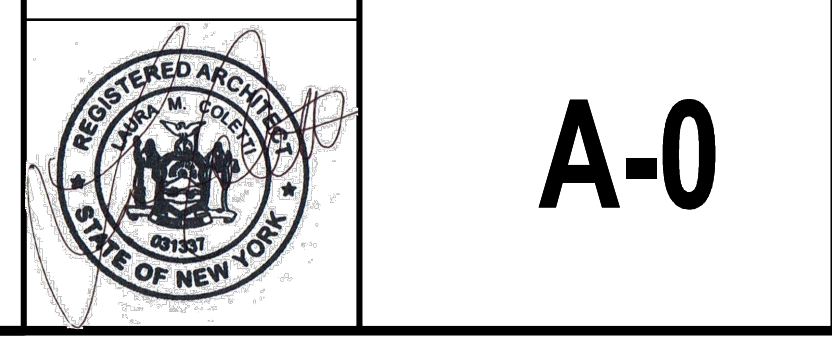


NO.	REASON FOR ISSUE	DATE
	OWNER REVIEW	3/21/2024
	OWNER REVIEW	4/11/2024
	OWNER REVIEW	4/29/2024
	OWNER REVIEW	5/13/2024
	BID SET	7/17/2024
	BUILDING DEPARTMENT	8/13/2024
	BUILDING DEPARTMENT	10/4/2024

ALTERATION AND ADDITION TO:  
 PALMER RESIDENCE  
 33 10TH STREET  
 CARLE PLACE, NY 11514

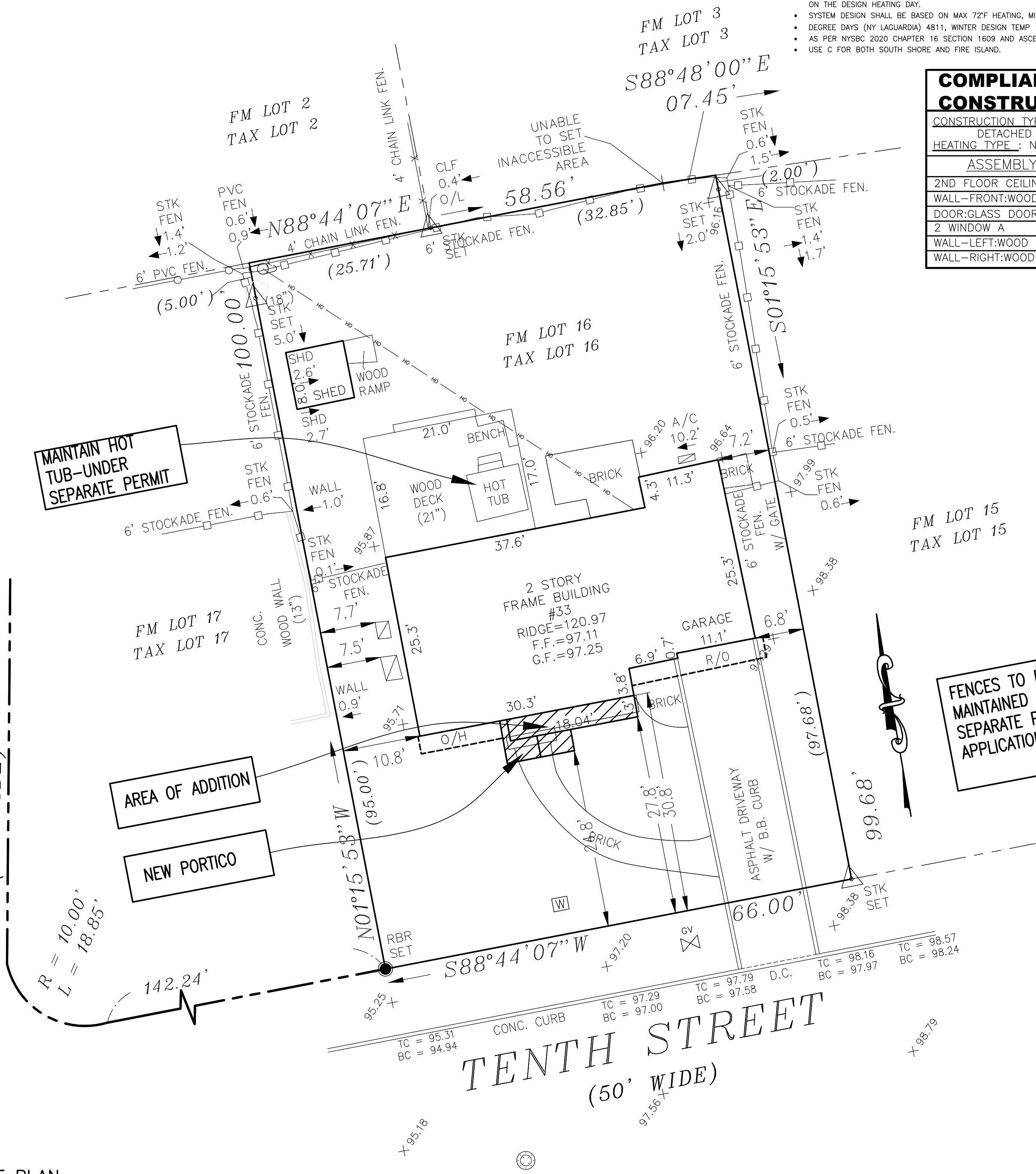
- COVER SHEET
- BUILDING PLAN REVIEW & CERTIF.
- SCHEDULE OF DRAWINGS
- PLOT / SITE PLAN
- KEY MAP

DRAWN BY: ERC	
CHECKED: MEK	PROJECT No. 2416



# A-0


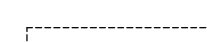
PEACHTREE LANE  
 (50' WIDE)



FENCES TO BE MAINTAINED UNDER SEPARATE PERMIT APPLICATION

**DEMOLITION LEGEND**

SEE DEMOLITION AND SHORING NOTES

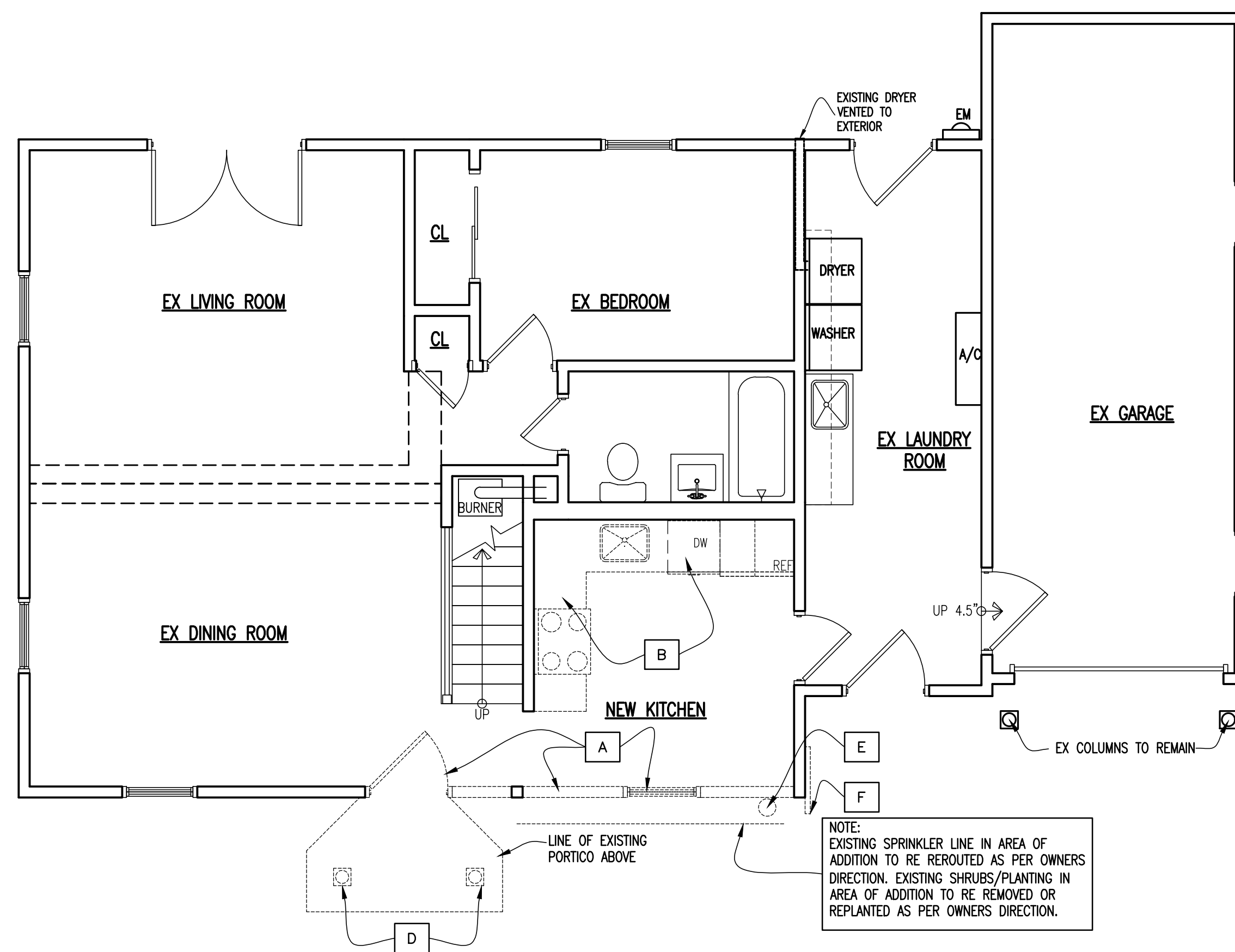
-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
- A** EXISTING WALLS/DOORS/WINDOWS TO BE DEMOLISHED (SHOWN DASHED). SHORE AS REQUIRED. PATCH ALL SURFACES TO REMAIN WITH MATERIALS TO MATCH EXISTING. PREPARE ALL SURFACES FOR NEW FINISHES AS SELECTED BY OWNER.
- B** EXISTING KITCHEN CABINETS TO BE DEMOLISHED (SHOWN DASHED) IN ITS ENTIRETY IN PREPARATION FOR NEW CABINETS-SEE PLANS. EXISTING APPLIANCES TO BE REMOVED AND DISPOSED AS PER OWNER DIRECTION. EXISTING PLUMBING LINES NOT BEING REROUTED TO BE CAPPED BELOW FLOOR OR BEHIND WALLS. REMOVE ALL ELECTRICAL NOT BEING REROUTED BACK TO PANEL. PATCH ALL SURFACES TO REMAIN WITH MATERIALS TO MATCH EXISTING. PREPARE ALL SURFACES FOR NEW FINISHES AS SELECTED BY OWNER.
- C** EXISTING ROOF RAFTERS, SHINGLES, BUILDING FELT, CDX PLYWOOD SHEATHING, INSULATION ETC TO BE DEMOLISHED IN PREPARATION FOR NEW ADDITION-SEE PLANS. SHORE AS REQUIRED. REMOVE ALL ELECTRICAL BACK TO PANEL. PREPARE ALL SURFACES FOR FINISHES - SELECTED BY OWNER.
- D** EXISTING PORTICO INCLUDING COLUMNS AND FOOTING TO BE DEMOLISHED TO ACCOMMODATE NEW ADDITION & PORTICO - SEE PLANS. PATCH ALL SURFACES TO REMAIN WITH MATERIALS TO MATCH EXISTING. PREPARE ALL SURFACES FOR FINISHES - SELECTED BY OWNER.
- E** EXISTING PLUMBING VENT TO BE REROUTED TO ACCOMMODATE NEW ADDITION-SEE PLANS. PATCH ALL SURFACES TO REMAIN WITH MATERIALS TO MATCH EXISTING. PREPARE ALL SURFACES FOR FINISHES - SELECTED BY OWNER.
- F** EXISTING PLUMBING/GAS VENT TO BE REROUTED TO ACCOMMODATE NEW ADDITION-SEE PLANS. PATCH ALL SURFACES TO REMAIN WITH MATERIALS TO MATCH EXISTING. PREPARE ALL SURFACES FOR FINISHES - SELECTED BY OWNER.

**ASBESTOS NOTE**

1- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF ANY SUSPECTED ASBESTOS CONTAINING MATERIAL IS DISCOVERED. THE CONTRACTOR SHALL THEN MAKE ARRANGEMENTS TO HAVE THE ASBESTOS MATERIAL ABATED. SEE NOTES ON SPECIFICATIONS SHEET

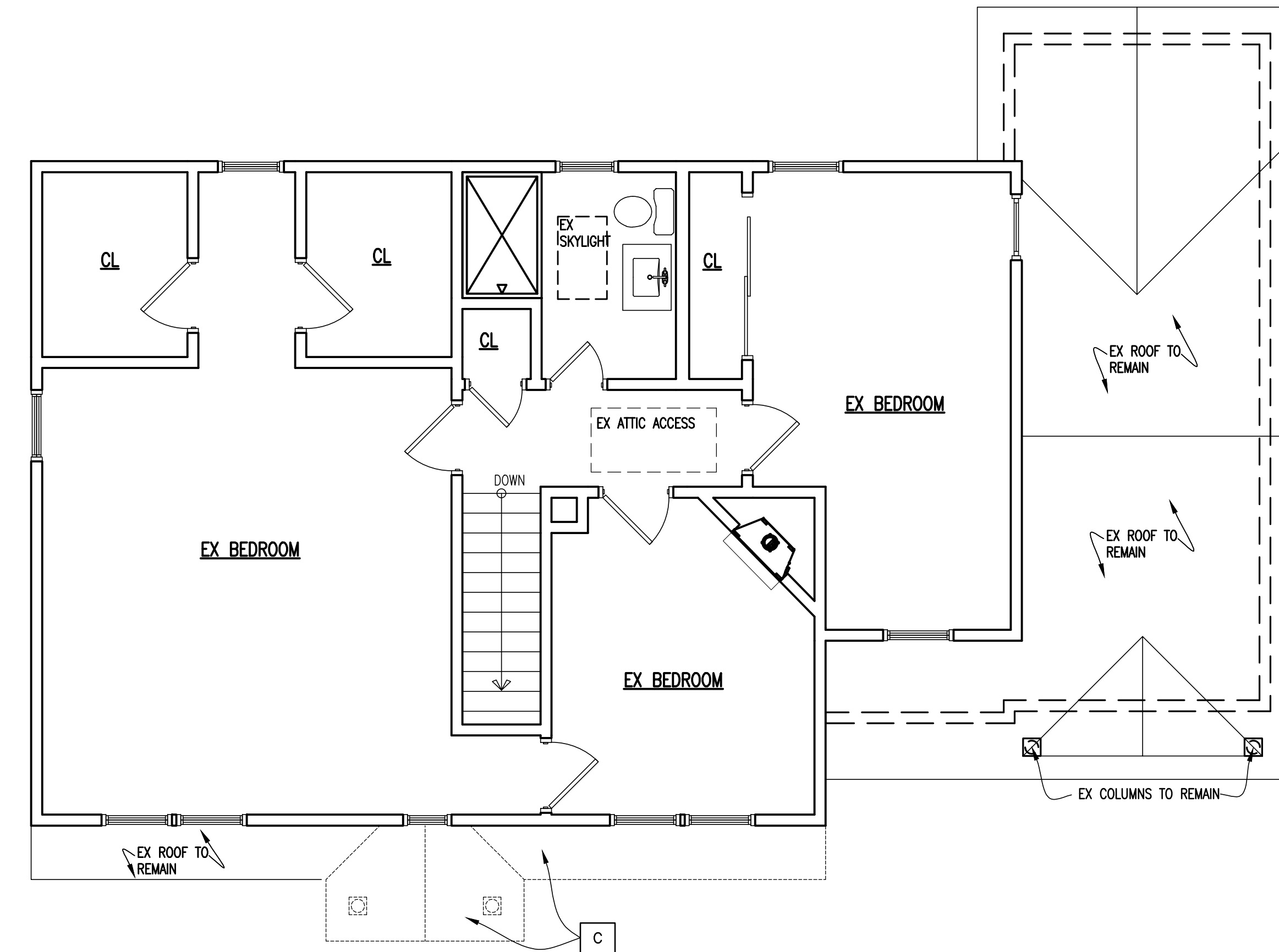
**DEMOLITION NOTE**

DEMOLITION SHALL BE ACCOMPLISHED SO THAT ALL DEBRIS IS IMMEDIATELY PUT INTO CONTAINERS. THE CONTRACTORS SHALL NOT STORE EXCESSIVE QUANTITIES OF MATERIALS, RUBBISH, DIRT, DEBRIS OR WASTE IN THE CONSTRUCTION WORK AREA. THE WORK AREA SHALL BE KEPT CLEAN AND UNCLUTTERED AT ALL TIMES AND SHALL BE BROOMED CLEANED ON A REGULAR BASIS.



**1ST FLOOR DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"



**2ND FLOOR DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"



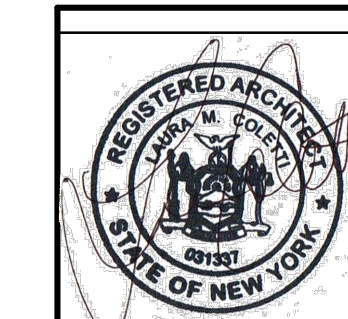
**IMPACT ARCHITECTURE**  
399 CONKLIN ST SUITE 208  
FARMINGDALE NY 11735  
WWW.IMPACTARCHITECTURE1.COM  
631-339-0590

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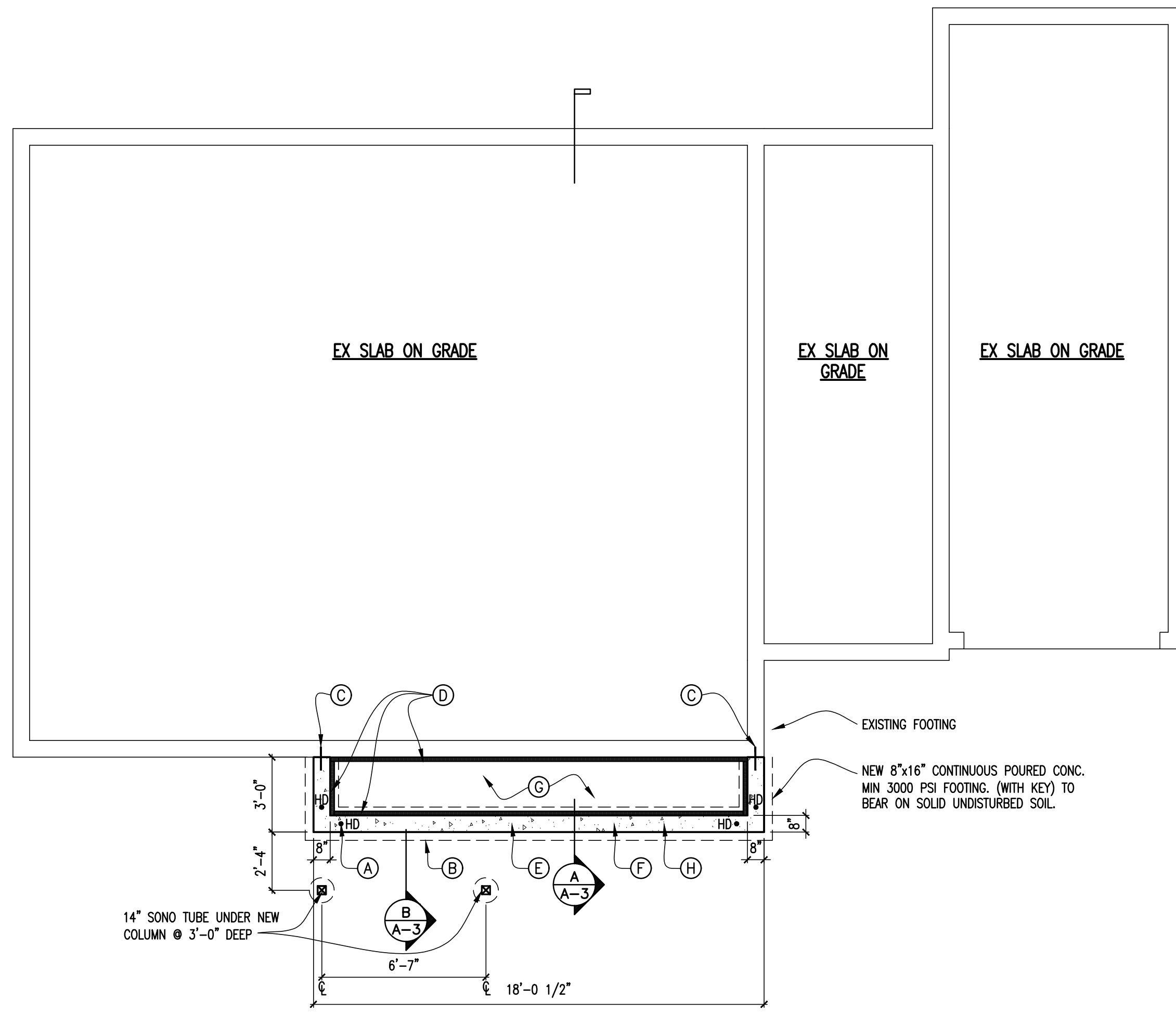
ALTERATION AND ADDITION TO:  
PALMER RESIDENCE  
33 10TH STREET  
CARLE PLACE, NY 11514

- BASEMENT DEMOLITION PLAN
- 1ST FLOOR DEMOLITION PLAN
- 2ND FLOOR DEMOLITION PLAN
- DEMOLITION LEGEND

DRAWN BY: ERC	
CHECKED: MEK	PROJECT No. 2416

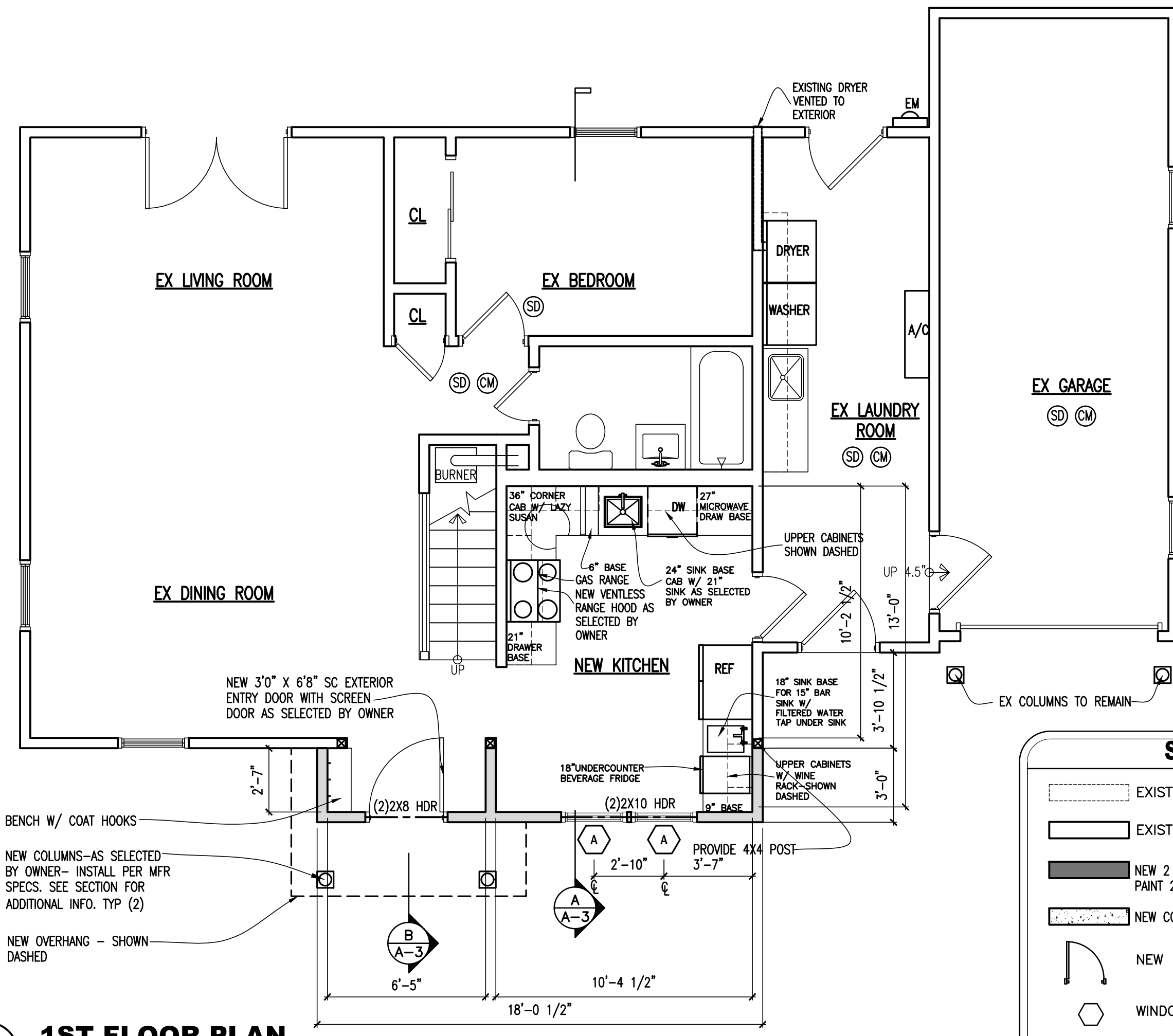


**A-1**



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



**1ST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**BACKFILL NOTE:**  
 CONTRACTOR TO BRING IN BACKFILL COMPACTED TO 95% COMPACTION TO RAISE GRADE. SEE PLAN REFER TO PLANS

ALL NEW KITCHEN FIXTURES/APPLIANCES AND CABINETS AS SELECTED BY OWNER. ALL FINISHES SELECTED BY OWNER

ALL NEW BATHROOMS AND LAUNDRY ROOMS SHALL RECEIVE TILE. TILE PATTERNS, SIZE, COLOR, SHAPE SELECTED BY OWNER. FIXTURES/APPLIANCES SELECTED BY OWNER PROVIDE LATICRETE WATERPROOF MEMBRANE (OR EQUAL) SEE DETAIL ON A-15

CONTRACTOR TO PROVIDE NEW CLOSET SHELF & POLE TYPICAL FOR ALL NEW CLOSETS. SHOWN: -----

CONTRACTOR TO PROVIDE BLOCKING AND ELECTRIC OUTLETS FOR ALL NEW FLAT PANEL TV'S AND AUDIO-VISUAL PER MFR SPECS AND OWNERS DIRECTION-TYPICAL

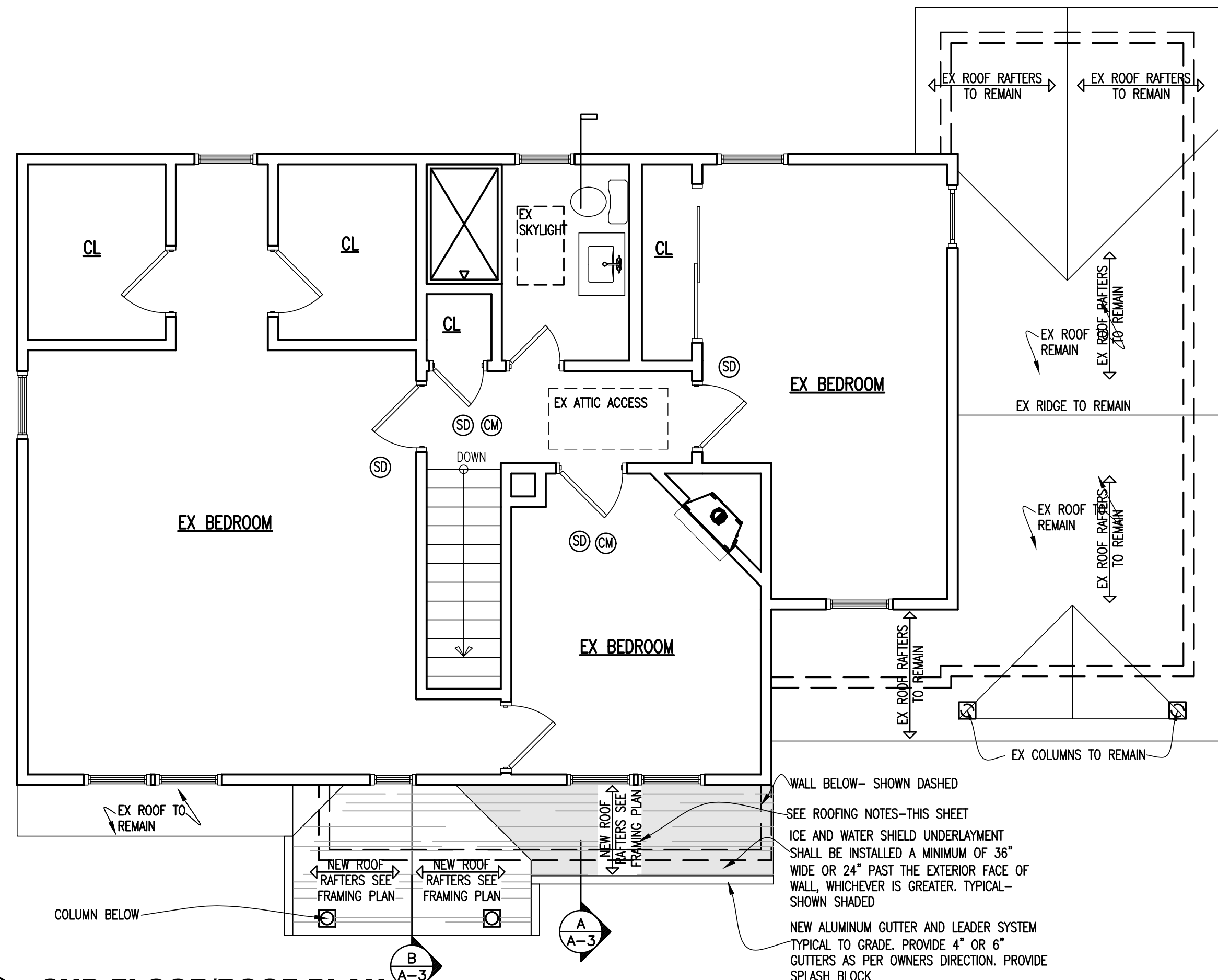
**MECHANICAL NOTES:**  
 PLUMBING CONTRACTOR TO PROVIDE NEW HEATING COMPONENTS THROUGHOUT NEW ADDITION TO MATCH EXISTING AND PER OWNERS DIRECTIONS, TIED TO EXISTING HEATING SYSTEM. EQUIPMENT SHOULD BE CORRECTLY SIZED ACCORDING TO ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED ACCORDING TO MANUAL J OR OTHER APPROVED METHODS.

**FOUNDATION NOTES**

SYMBOL	DESCRIPTION
(A)	PROVIDE HOLD DOWNS AT ALL CORNERS SEE DETAIL 4 ON A-10 (TYP) SHOWN AS HD. SEE BRACE WALL DETAILS FOR ADDITIONAL ANCHORS AND HOLD DOWN REQUIREMENTS
(B)	NEW 8'x16" CONTINUOUS POURED CONC. MIN 3000 PSI FOOTING. (WITH KEY) TO BEAR ON SOLID UNDISTURBED SOIL.
(C)	PROVIDE #5 REIN BARS DRILLED AND EPOXY SET INTO EXIST. FOUNDATION AT 1'-0" O.C. VERTICALLY (TYP ALL AREAS) WATER PROOFING SEALANT BETWEEN NEW AND EXIST. FOUNDATION WALLS. (TYPICAL)
(D)	PROVIDE 2" RIGID INSULATION BOARD (R-10) AROUND PERIMETER OF ALL NEW BASEMENT WALLS.
(E)	PROVIDE 5/8" DIAM ANCHOR BOLTS WITH SIMPSON 3"x3" SLOTTED PLATE AND NUT. ALL ITEMS SHALL BE HOT-DIPPED GALVANIZED. ANCHOR BOLT SHALL HAVE A MINIMUM EMBEDMENT OF 8" INTO THE CONCRETE FOUNDATION WALL GROUT SOLID. MAX 12" FROM CORNERS 72" O.C. PER TABLE 3.3A(TYP) SEE BRACE WALL DETAILS FOR ADDITIONAL ANCHORS AND HOLD DOWN REQUIREMENTS
(F)	<b>SILL CONSTRUCTION:</b> * 2X6 ACQ SILL PLATE ON OWENS * CORNING FOAM SEALER SILL PLATE * GASKET OVER * COPPER TERMITE SHIELD
(G)	4" CONCRETE SLAB ON GRADE WITH 6"x6"-W4.0/W4.0 WMM OVER 6 MIL POLY VAPOR BARRIER OVER 2" RIGID INSULATION BOARD OVER 4" COMPACTED BANKRUN, ON COMPACTED SOIL (95% DENSITY) SEE GENERAL NOTES
(H)	NEW POURED CONC. FOUNDATION WALL 8"W WITH #6 @36" O.C. AND (2)#4 TOP & BOTTOM (TYPICAL)

**SYMBOLS LEGEND**

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW 2 X 4 WALL TAPE SPACKLE 3 COATS PAINT 2 COATS PER OWNERS DIRECTION
- NEW CONCRETE WALL - SEE PLANS FOR MORE INFO
- NEW DOOR-SEE PLANS FOR SIZES AND TYPE
- WINDOW SYMBOL-SEE PLANS FOR SIZES AND TYPES
- SPOT ELEVATION
- CENTERLINE
- DIRECTION OF EXISTING JOIST OR RAFTER
- DIRECTION OF NEW JOIST OR RAFTER
- NEW BEAM, GIRDER, HEADER, OR MICROLAM



**2ND FLOOR/ROOF PLAN**

SCALE: 1/4" = 1'-0"

**ROOFING NOTES:**

**NEW ROOFING:**

- ALL NEW ROOFING SHALL CONSIST OF A FIBERGLASS ARCHITECTURAL 30 YEAR SHINGLES COLOR AND STYLE AS SELECTED BY OWNER OVER
- 30LB BUILDING FELT PAPER UNDERLAY
- ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R905.2 OF THE NYS RESIDENTIAL BUILDING CODE
- G.C. TO PROVIDE FLASHING AT ALL NEW ROOF PENETRATIONS - TYP.
- NEW GUTTERS & LEADERS SHALL BE BAKED WHITE ALUMINUM .032" MIN. GAUGE. GUTTERS SHALL BE 6" SEAMLESS, O.G. STYLE W/ ALL RELATED & REQUIRED ACCESSORIES. LEADERS SHALL BE MIN. 3/4" .027" GAUGE W/ CLIPS & ANCHORS. CAULK & SEAL ALL JOINTS. PITCH GUTTERS MIN. 1/8" FT. PROVIDE GUTTER RETURNS & P.V.C. RECEPTORS 8" ABOVE GRADE TO RECEIVE LEADERS (CLOSED CAP DESIGN).
- PROVIDE NEW WR GRADE "ICE & WATER SHIELD" OR APPROVED EQ., SELF-ADHERING MEMBRANE, 40-MIL THICK & 3'-0" WIDE (MIN.) - INSTALL AT ALL EAVES, VALLEY, RIDGES & CRACKETS, SKYLIGHT, ROOF PENETRATION ETC. AND AS OTHERWISE NOTED ON THE DRAWINGS OR REQUIRED BY JOB CONDITIONS.

**CONTRACTORS NOTE:** GUTTERS AND LEADERS ON ELEVATIONS NOT SHOWN FOR CLARITY-SEE ROOF PLAN. CONTRACTOR TO PROVIDE BEST CONSTRUCTION PRACTICES AND AESTHETICS. CONSULT OWNER BEFORE INSTALLING

**SMOKE AND CARBON MONOXIDE DETECTOR NOTE**

(S) A18- PER A18 AJ802.1 & AS AJ604.1.1: ALL NEW ADDITION AND SLEEPING AREAS TO BE PROVIDED WITH SMOKE ALARMS THAT ARE HARDWIRED AND INTERCONNECTED. SMOKE ALARMS IN AREAS WHERE ALTERATIONS OCCUR SHALL BE ALLOWED TO BE BATTERY OPERATED & NOT BE INTERCONNECTED WHERE WALLS AND CEILING FINISHES ARE NOT BEING REMOVED TO EXPOSE STRUCTURE.

(M) PER IC915 2017 NYSUSC PROVIDE CARBON MONOXIDE DETECTORS IN EACH ROOM CONTAINING A FUEL BURNING APPLIANCE (AS INDICATED ON DRAWINGS)

**LIGHTING AND VENTILATION REQUIREMENTS**

ROOM NAME	AREA (SF)	LIGHT (SF)		VENTILATION (SF)	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
KITCHEN	132	10.56	15.24	5.28	8.66

NOTE: REQUIRED LIGHTING AND VENTILATION PROVIDED THROUGH MECHANICAL MEANS

**WINDOW SCHEDULE**

TAG	TYPE	MANUFACTURER	MODEL NUMBER	ROUGH OPENING EGRESS WIDTH X HEIGHT WINDOW	CLEAR OPENING		ROUGH OPENING AREA SQ FT	NRC CERT. U-VALUE	SHGC VALUE	REMARKS
					AREA	WIDTH HEIGHT				
(A)	DOUBLE HUNG	ANDERSEN	TW2642	2'-8 1/2" x 4'-4 1/2"	NO	4.30 27.88 22.25	11.61	.30	.31	LIGHT= 7.62 VENT=4.33

- CONTRACTOR SHALL REVIEW, VERIFY AND APPROVE OF ALL LISTED ROUGH OPENINGS.
- PROVIDE SCREENS ON ALL OPERABLE WINDOWS.
- SAFETY GLAZING SHALL COMPLY WITH "SECTION R308 GLAZING" OF THE RESIDENTIAL CODE OF NY STATE.
- EACH PANEL OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION.
- ALL WINDOWS ARE BASED UPON ANDERSEN 400 SERIES PRODUCTS. HIGH PERFORMANCE LOW-E GLASS. DUAL PANE 6. COLOR OF WINDOW FRAMES AND HARDWARE AS SELECTED BY OWNER
- PROVIDE FALL PROTECTION AS PER R312.2.1



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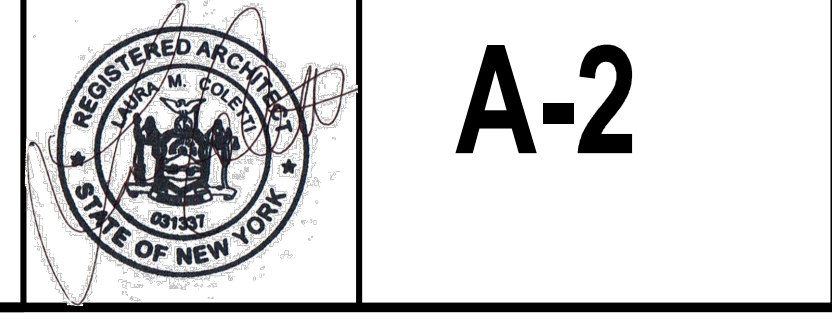
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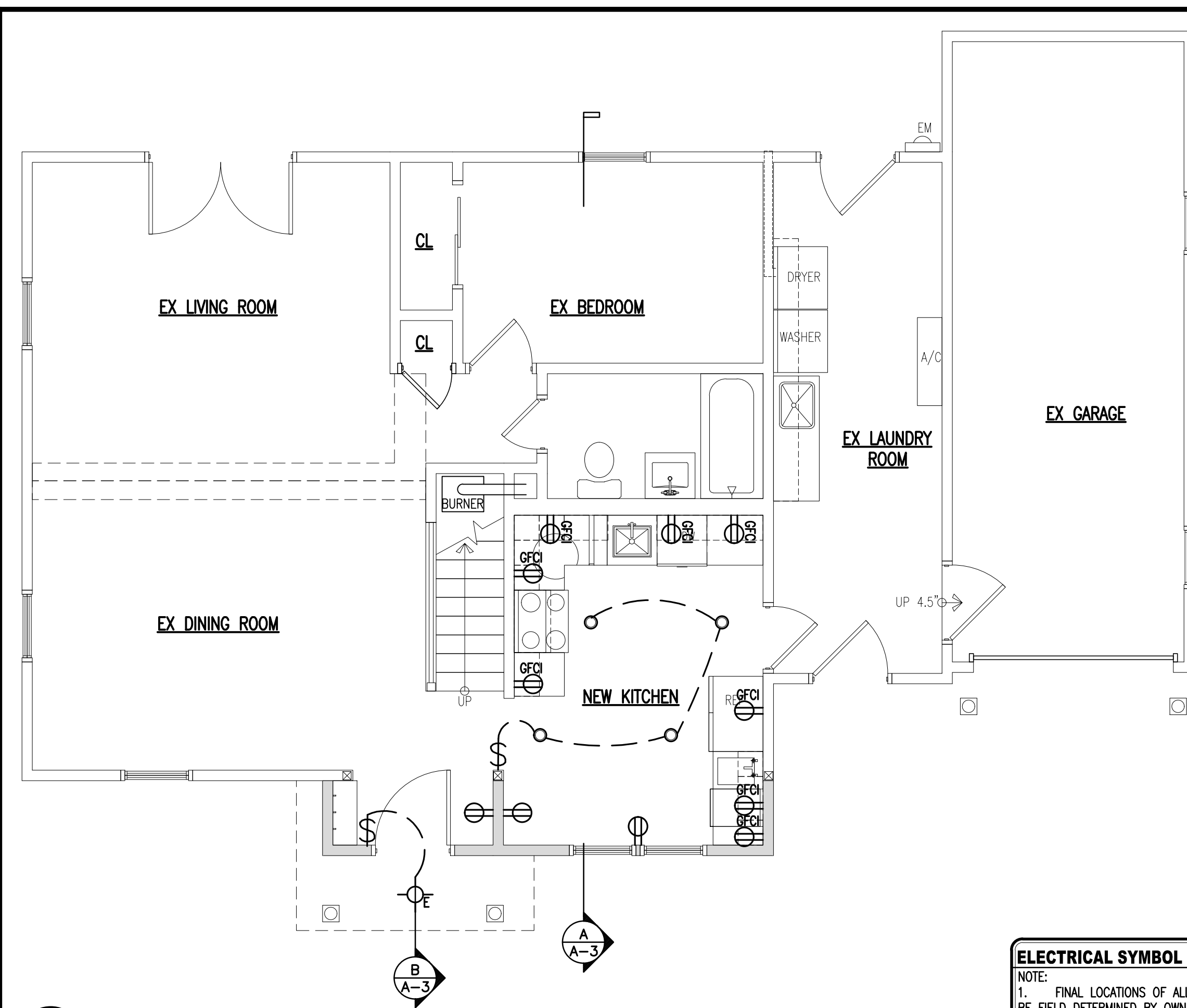
- FOUNDATION PLAN
- 1ST FLOOR PLAN
- 2ND FLOOR/ROOF PLAN
- LIGHT AND VENT CALCULATION
- NOTES & LEGENDS

**DRAWN BY:** ERC

**CHECKED BY:** MEK

**PROJECT No.:** 2416





**1ST FLOOR ELECTRICAL PLAN**

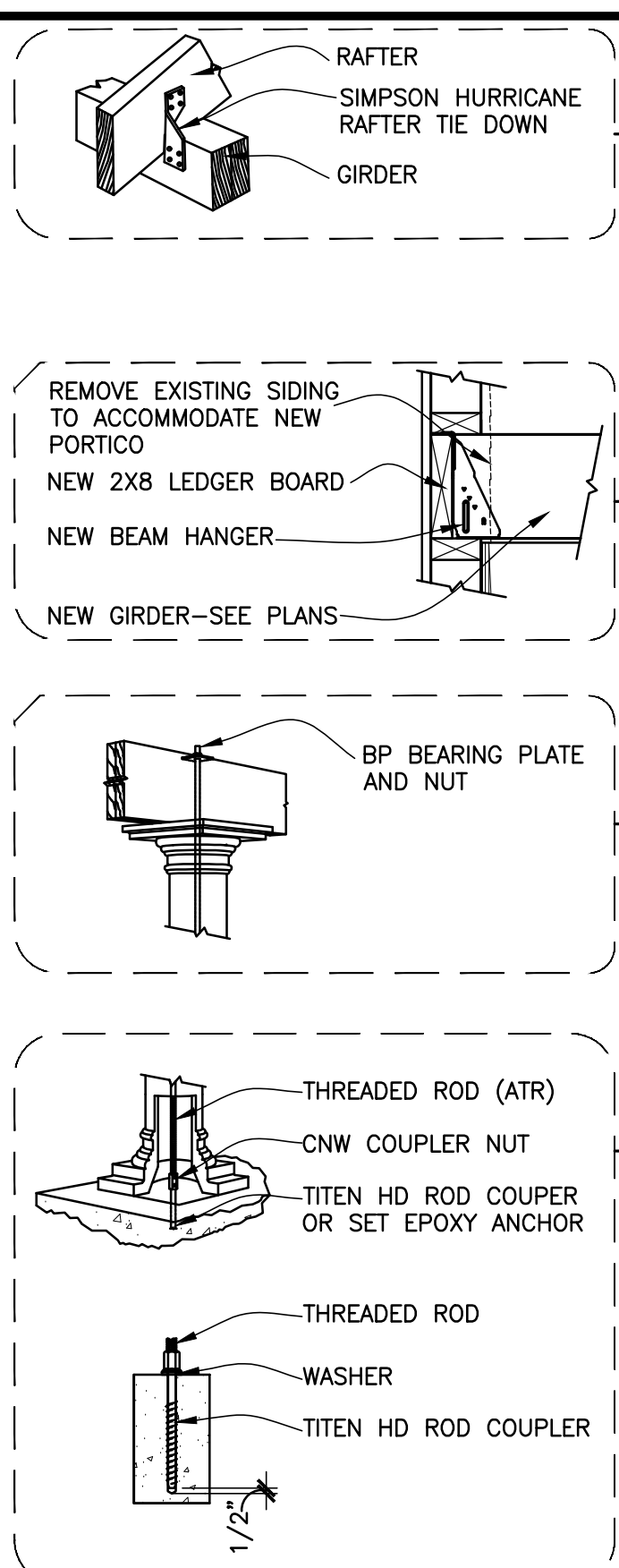
SCALE: 1/4" = 1'-0"

**ELECTRICAL GENERAL NOTES**

- THE EXISTING ELECTRICAL SYSTEM SHALL BE RENOVATED TO PROVIDE A COMPLETE SYSTEM ACCOMMODATING ALL ALTERED, RENOVATED AND/OR NEW WORK.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, THE SPECIFICATIONS AND LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL EQUIPMENT SHALL BE UL APPROVED.
- PERFORM REQUIRED REMOVALS, REMOVALS AND REPLACEMENTS, AND NEW INSTALLATIONS OF FIXTURES, SWITCHES, OUTLETS AND ACCESSORIES INDICATED ON THE DRAWING AND AS REQUIRED TO ACCOMPLISH ALL ELECTRICAL RENOVATIONS.
- ALTERATION WORK SHALL BE ACCOMPLISHED TO MAINTAIN FULL CIRCUIT CONTINUITY AFTER INSTALLATION OF ALL WORK.
- ALL CUTTINGS AND PATCHING OF WALLS AND CEILINGS SHALL BE COMPLETED AS NECESSARY TO ACCOMPLISH THE ELECTRICAL RENOVATIONS. ALL WIRING SHALL BE CONCEALED.
- PROVIDE ALL POWER WIRING FOR AIR CONDITIONING AND OTHER EQUIPMENT. COORDINATE WIRING REQUIREMENTS AND PROVIDE DISCONNECT SWITCH FOR CONDENSING UNIT.
- ALL OUTLETS IN EXISTING KITCHEN AND NEW AND EXISTING TOILET ROOMS SHALL BE NEW GFI PROTECTED OUTLETS.
- ALL EXISTING AND NEW CIRCUITS IN PANELS SHALL BE CLEARLY LABELED.
- ALL SWITCHES SHALL BE MOUNTED AT 42" ABOVE FINISHED FLOOR (TO SWITCH).
- ALL OUTLETS SHALL BE MOUNTED AT 18" ABOVE FINISHED FLOOR (TO CENTER OF OUTLET).
- ALL EXTERIOR LIGHT FIXTURES SHALL HAVE DAWN TO DUSK SENSORS.
- TV AND POWER OUTLETS FOR TV TO BE MOUNTED 6'-0" AFF. OR PER OWNER
- ALL LIGHTING FIXTURES ARE TO BE LAMPED WITH LED BULBS

**ELECTRICAL SYMBOL LEGEND**

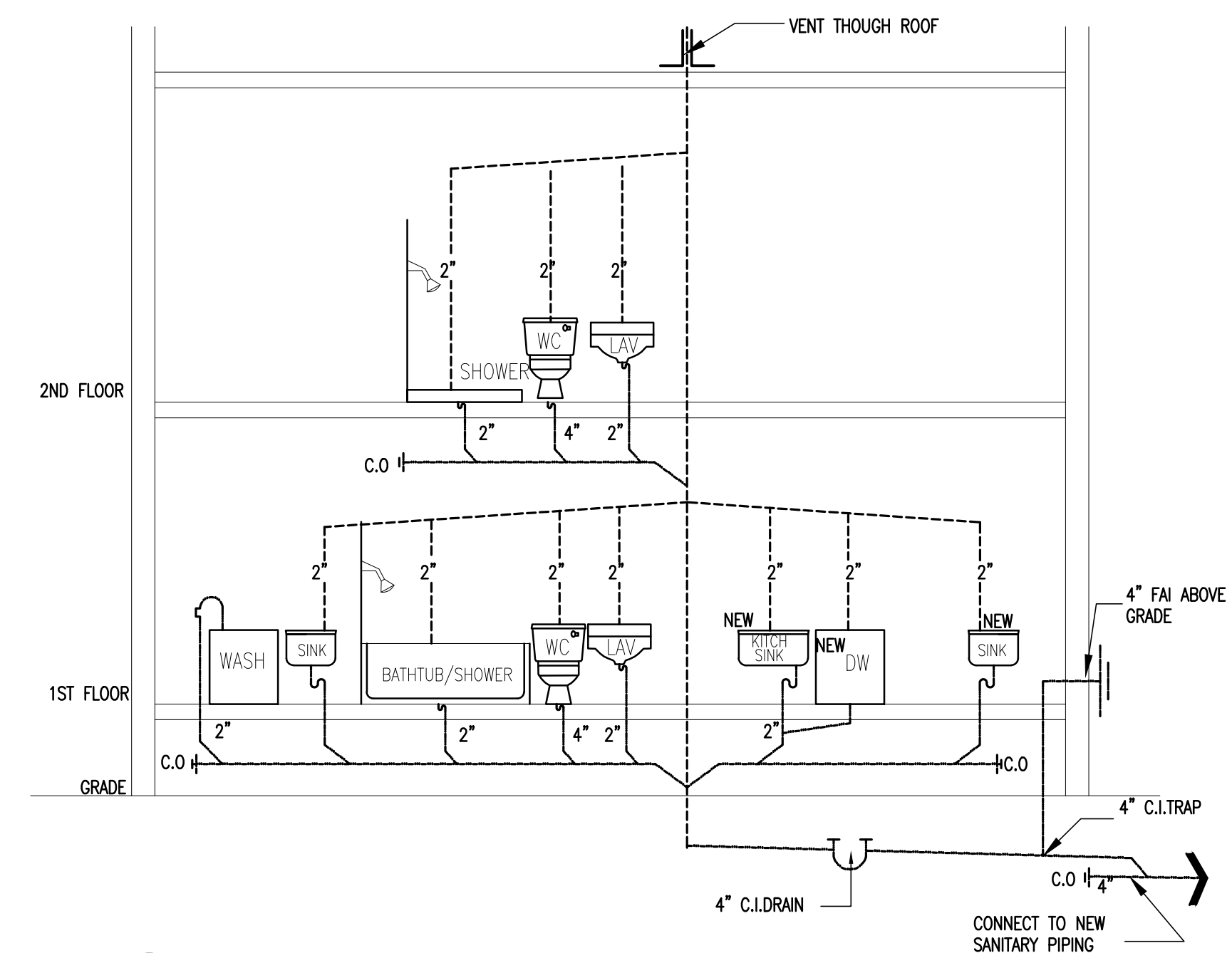
- NOTE:  
 1. FINAL LOCATIONS OF ALL LIGHTING, FANS, APPLIANCES ETC. TO BE FIELD DETERMINED BY OWNER.  
 2. ALL FIXTURES, APPLIANCES ETC SHALL BE SELECTED BY OWNER. SEE ELECTRICAL NOTES.  
 3. ALL NEW LIGHTS, FIXTURES AND APPLIANCES ETC ARE TO BE INSTALLED PER MANUFACTURERS SPECS.  
 4. ALL EXISTING LIGHTING, FIXTURES, EQUIPMENT TO REMAIN ARE TO BE INSPECTED AND CLEANED-MAKE ANY NECESSARY REPAIRS OR REPLACE TO MAINTAIN WORKING ORDER.  
 5. IT IS CONTRACTOR/OWNER'S RESPONSIBILITY TO VERIFY EXTERIOR LIGHTING DOES NOT SPILL ONTO NEIGHBORING PROPERTY
- NEW TYPICAL EXTERIOR LIGHT FIXTURE - SELECTED BY OWNER
  - NEW SWITCH
  - NEW 3 WAY SWITCH
  - NEW DUPLEX OUTLET
  - NEW 220V OUTLET
  - NEW GROUND FAULT CIRCUIT INTERRUPTER (RECEPTACLE TYPE)
  - NEW HIGH HAT LIGHT FIXTURE AS SELECTED BY OWNER



**SECTION "B"**

SCALE: 1/2" = 1'-0"

- NEW ROOF CONSTRUCTION (TYPICAL)**
- NEW ASPHALT SHINGLES
  - 30 LB BUILDING FELT (36" WIDE GAF "WEATHER WATCH/ STORM GUARD" AT EAVES, PEAKS, AND VALLEYS), OVER
  - 1/2" CDX PLYWOOD SHEATHING, OVER
  - 2X8 DOUGLAS FIR GRADE #2 RAFTERS 16" O.C.
  - ICE AND WATER SHIELD UNDERLAYMENT SHALL BE INSTALLED A MINIMUM OF 36" WIDE OR 24" PAST THE EXTERIOR FACE OF WALL, WHICHEVER IS GREATER. TYPICAL.

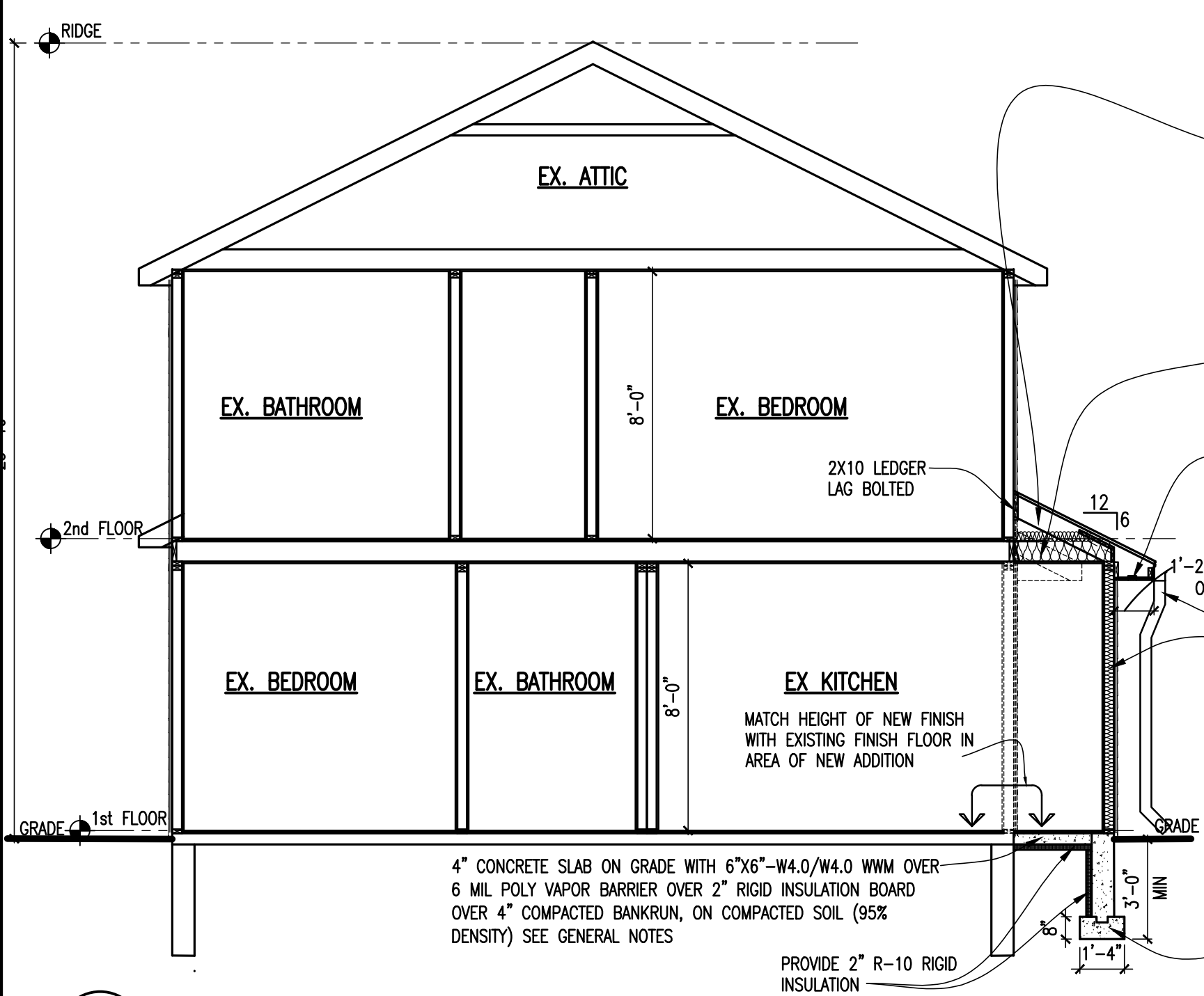


**PLUMBING RISER DIAGRAM**

NOTE: PROVIDE CLEANOUTS WHERE REQUIRED

PLUMBING FIXTURE	MIN TRAP SIZE INCHES
BATHTUB (W/ OR W/L SHOWER HEAD AND/OR WHIRLPOOL ATTACHMENTS)	1 1/2"
BIDET	1 1/4"
CLOTHES WASHER STANDPIPE	2"
FLOOR DRAIN	1 1/2"
DISHWASHER (ON SEPARATE TRAP)	2"
KITCHEN SINK (ONE OR TWO TRAPS W/ OR W/O DISHWASHER AND FOOD WASTE DISPOSAL	1 1/2"
LAUNDRY TUB ( ONE OR MORE COMPARTMENTS)	1 1/2"
LAVATORY	1 1/4"
SHOWER (BASED ON THE TOTAL FLOW RATE THROUGH SHOWERHEADS AND BODYSPRAYS)	
FLOW RATE:	
5.7 GPM AND LESS	1 1/2"
MORE THAN 5.7 GPM UP TO 12.3 GPM	2"
MORE THAN 12.3 GPM UP TO 25.8 GPM	3"
MORE THAN 25.8 GPM UP TO 55.3 GPM	4"

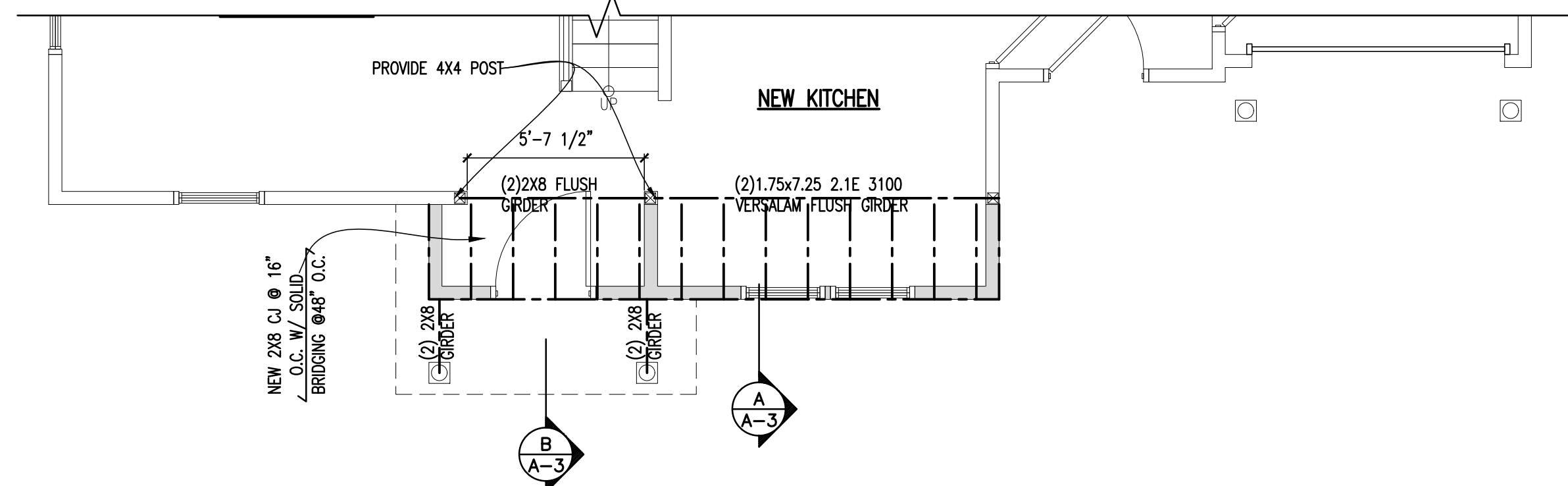
- PLUMBING RISER NOTES:**  
 P3103.1 ROOF EXTENSION  
 OPEN VENT PIPES THAT EXTEND THROUGH A ROOF SHALL BE TERMINATED NOT LESS THAN 6 INCHES (152MM) ABOVE THE ROOF OR 6 INCHES (152MM) ABOVE THE ANTICIPATED SNOW ACCUMULATION, WHICHEVER IS GREATER. WHERE A ROOF IS TO BE USED FOR ASSEMBLY, AS A PROMENADE, OBSERVATION DECK OR SUNBATHING DECK OR FOR SIMILAR PURPOSES, OPEN VENT PIPES SHALL TERMINATE NOT LESS THAN 7 FEET (2134MM) ABOVE THE ROOF.
- P3103.2 FROST CLOSURE  
 WHERE THE 97.5-PERCENT VALUE FOR OUTSIDE DESIGN TEMPERATURE IS OF (-18°C) OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES (76MM) IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT (304.8MM) INSIDE THE THERMAL ENVELOPE OF THE BUILDING.



**SECTION "A"**

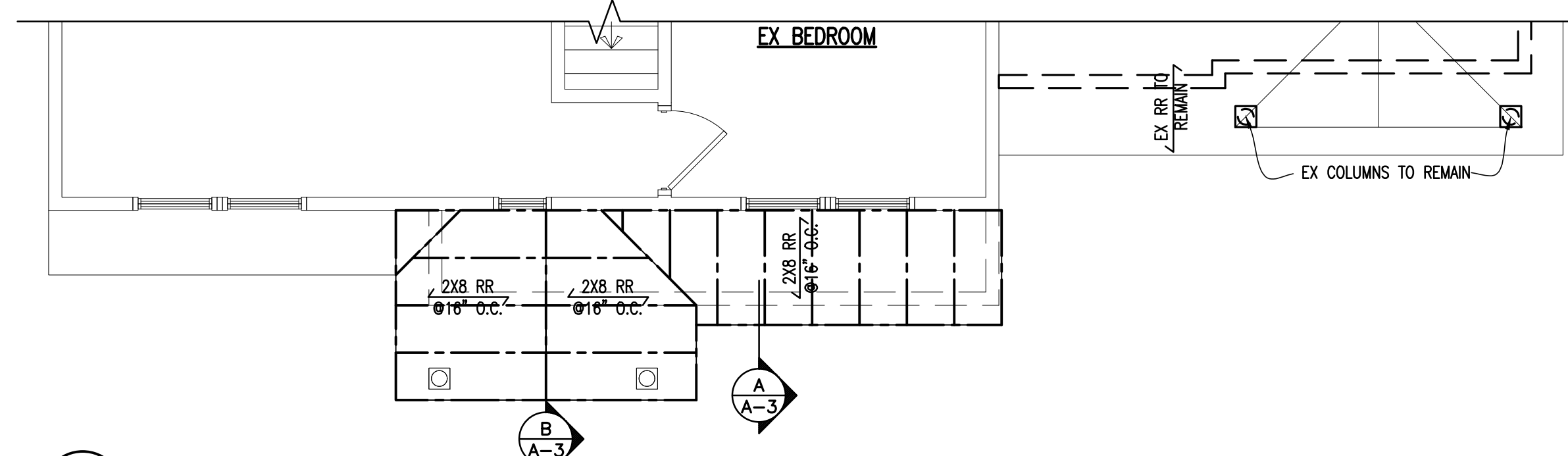
SCALE: 1/4" = 1'-0"

- NEW ROOF CONSTRUCTION (TYPICAL)**
- ASPHALT SHINGLES TO MATCH EXISTING-AS SELECTED BY OWNER
  - 30 LB BUILDING FELT (36" WIDE GAF "WEATHER WATCH/ STORM GUARD" AT EAVES, PEAKS, AND VALLEYS), OVER
  - 1/2" CDX PLYWOOD SHEATHING, OVER
  - 2X8 DOUGLAS FIR RAFTERS 16" O.C.
  - ICE AND WATER SHIELD UNDERLAYMENT SHALL BE INSTALLED A MINIMUM OF 36" WIDE OR 24" PAST THE EXTERIOR FACE OF WALL, WHICHEVER IS GREATER. TYPICAL.
  - EAVE BAFFLE FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BAFFLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL. PER IRC R402.2.3
- CEILING CONSTRUCTION (FLAT):**
- 2 X 8 CLG JOISTS 16" O.C.
  - 8" FIBERGLASS INSULATION WITH VAPOR BARRIER (TOTAL R-38)
  - 3 1/2" UNFACED INSULATION NO VAPOR BARRIER (R-11)
  - 1/2" GYPSUM WALLBOARD-SPACKLE (3 COATS), PRIME & PAINT
- SOFFIT CONSTRUCTION:**
- VINYL VENTILATED SOFFIT ON
  - 2 X 4 FRAMING SYSTEM WITH
  - 1 X 4 AZEK FASCIA BOARD AND
  - GUTTER AND LEADER SYSTEM.
- NEW ALUMINUM GUTTER AND LEADER SYSTEM TYPICAL TO GRADE, PROVIDE 4" OR 6" GUTTERS AS PER OWNERS DIRECTION. PROVIDE SPLASH BLOCK**
- NEW WALL CONSTRUCTION (TYPICAL)**
- NEW SIDING AS SELECTED BY OWNER OVER
  - NEW 3/4" POLYISO INSULATION (R-5) OVER
  - NEW TYVEK INFILTRATION BARRIER OVER
  - NEW 1/2" CDX PLYWOOD SHEATHING TO OVER
  - NEW SIMPSON COIL STRAP-SEE DETAIL
  - NEW 2 X 4 STUDS 16" O.C.
  - NEW BATT INSULATION (MIN R-15) W/VAPOR BARRIER
  - NEW 1/2" GYPSUM BOARD-SPACKLE (3 COATS), PRIME & PAINT
- NEW 16"x8" CONTINUOUS POURED CONC. MIN 3000 PSI FOOTING. (WITH KEY) TO BEAR ON SOLID UNDISTURBED SOIL. DEPTH SHALL MATCH EXISTING (MIN 3'-0" BELOW GRADE). SOIL IS ASSUMED 2000PSI**



**1ST FLOOR CEILING FRAMING PLAN**

SCALE: 1/4" = 1'-0"



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"



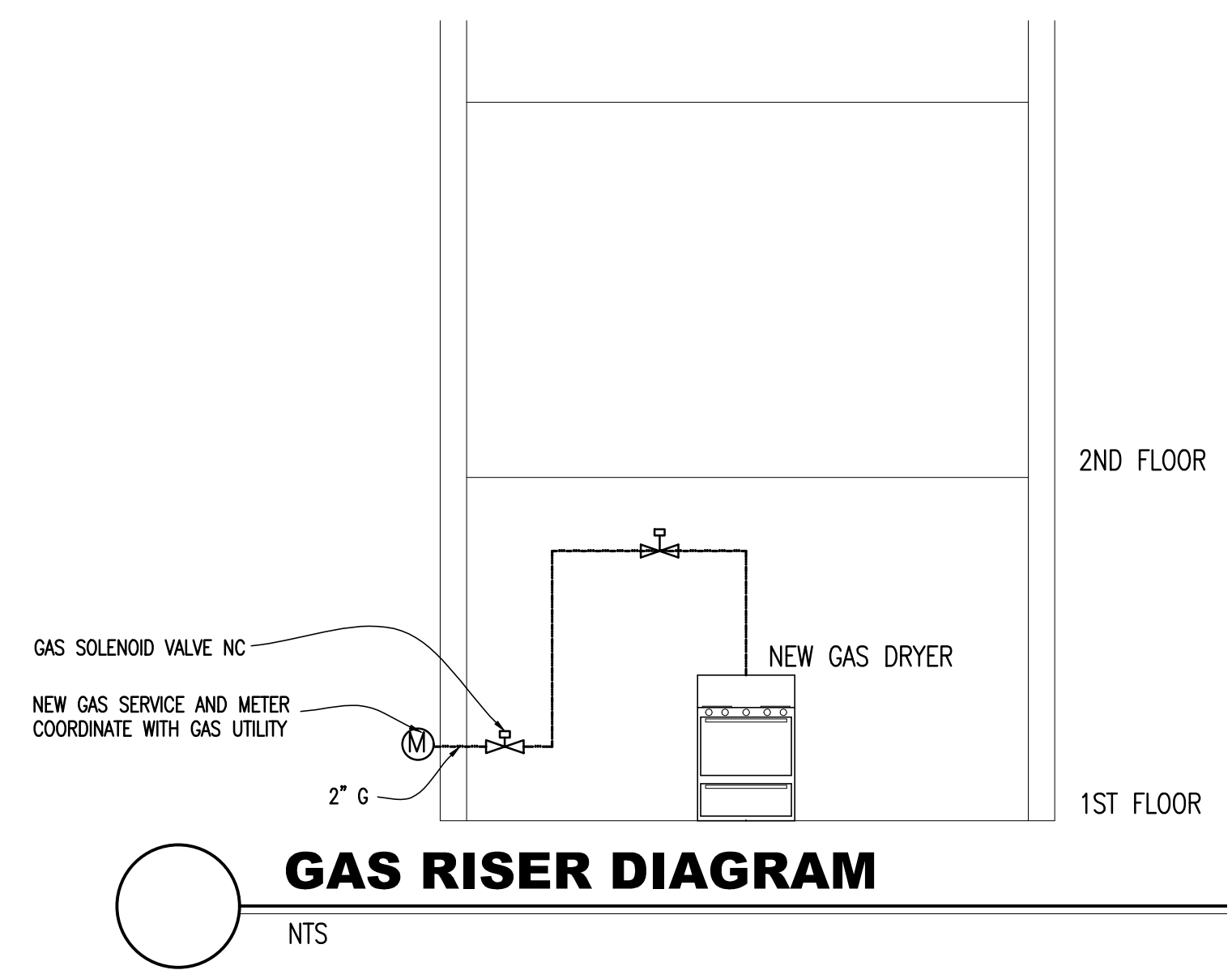
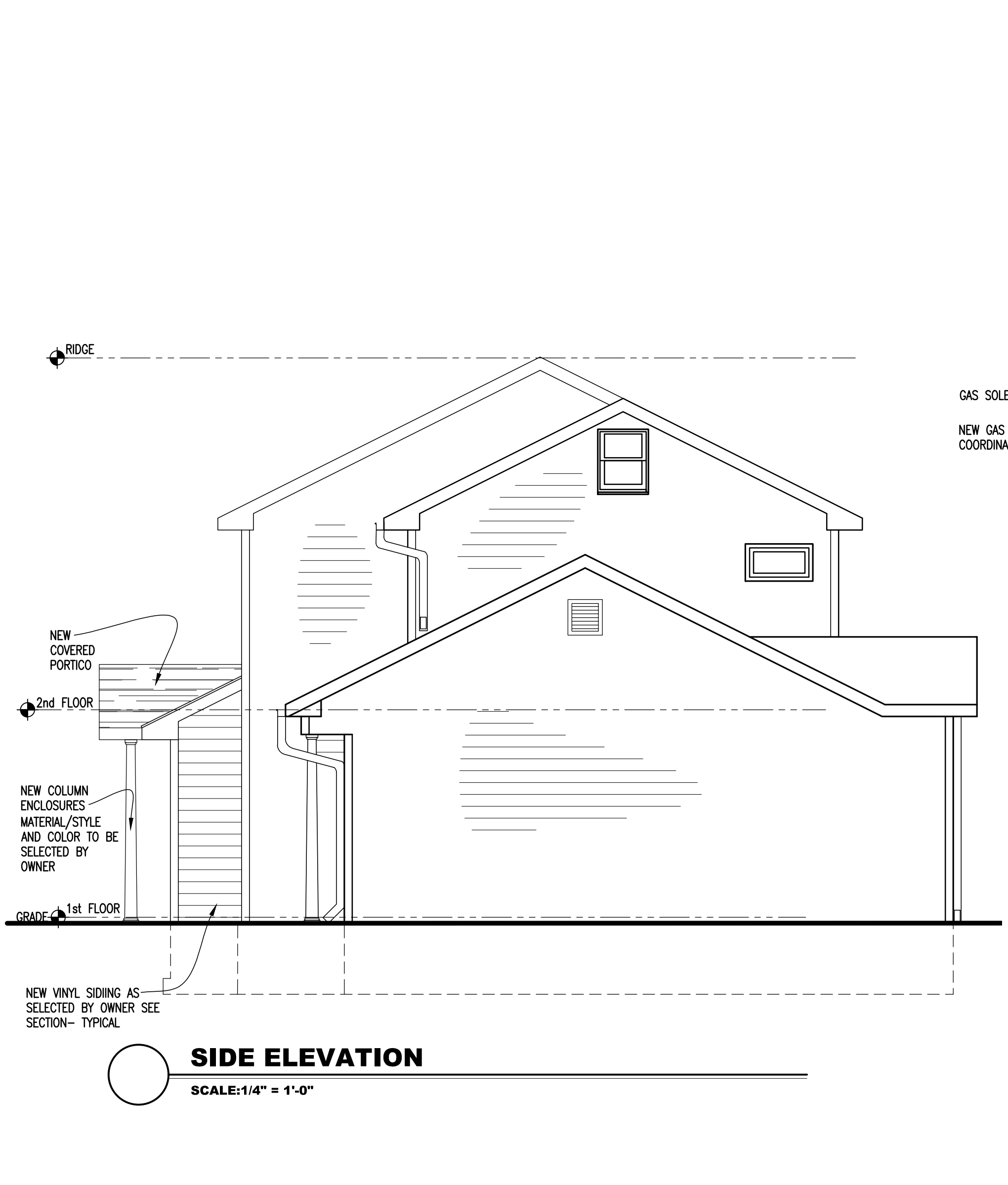
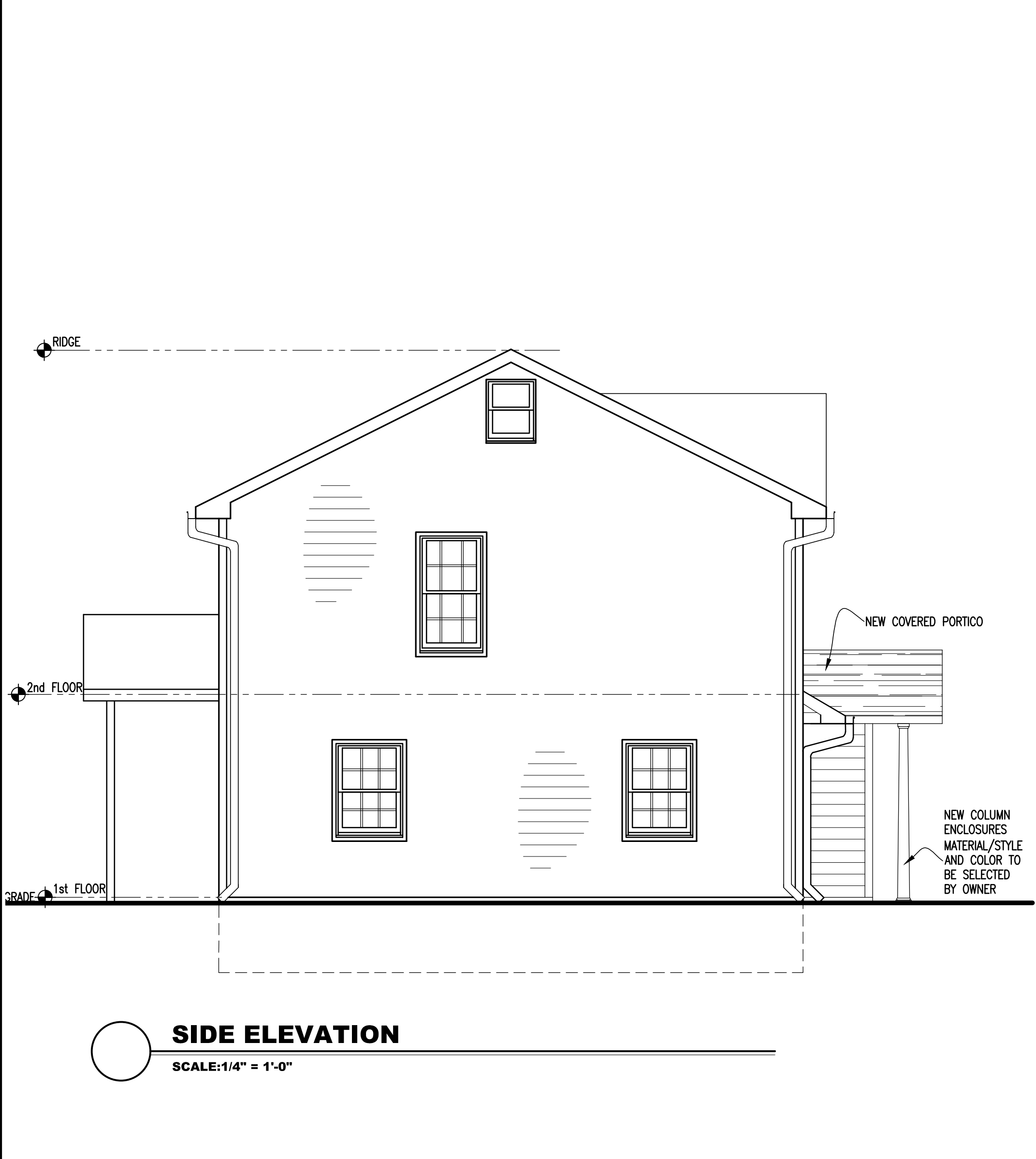
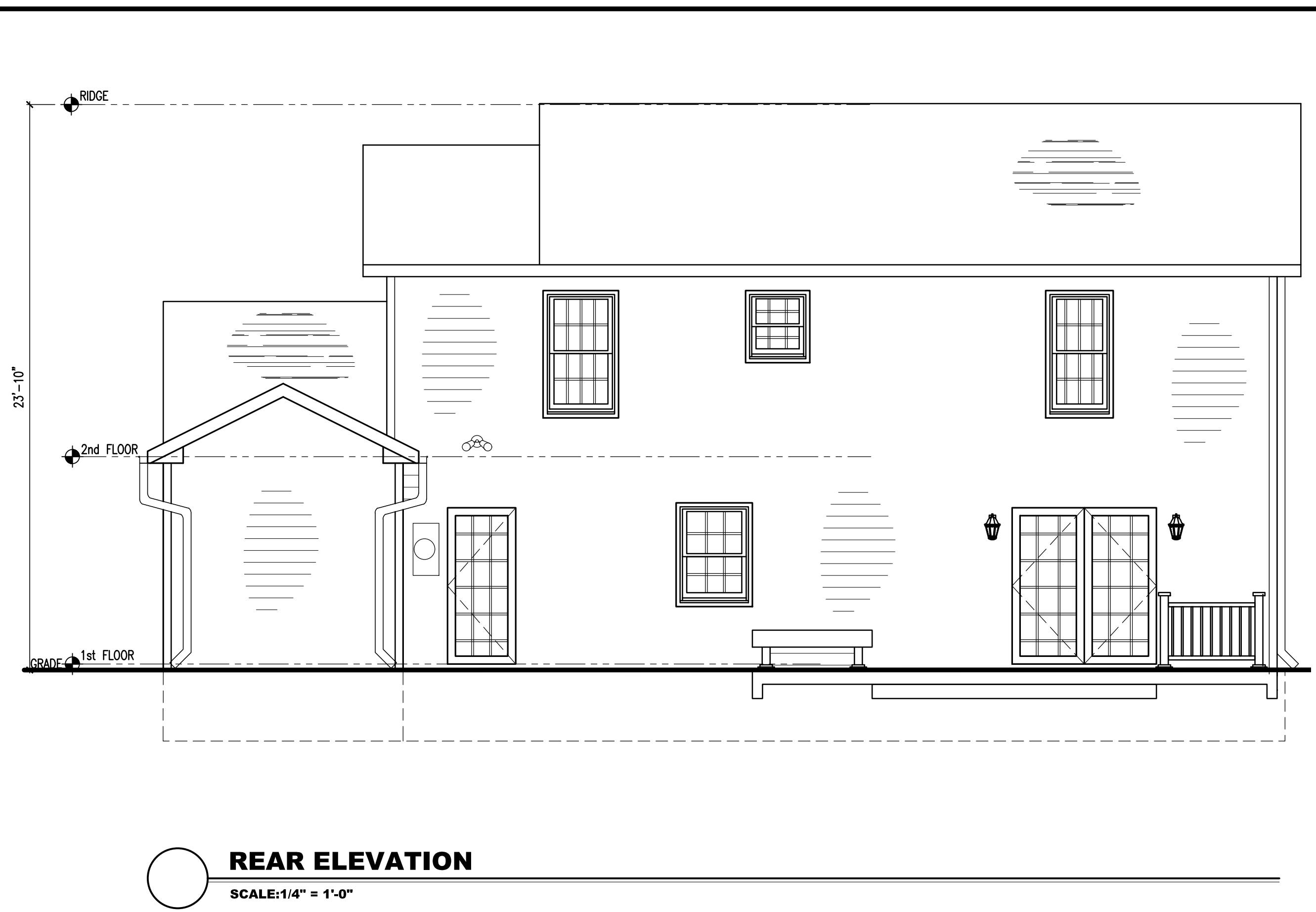
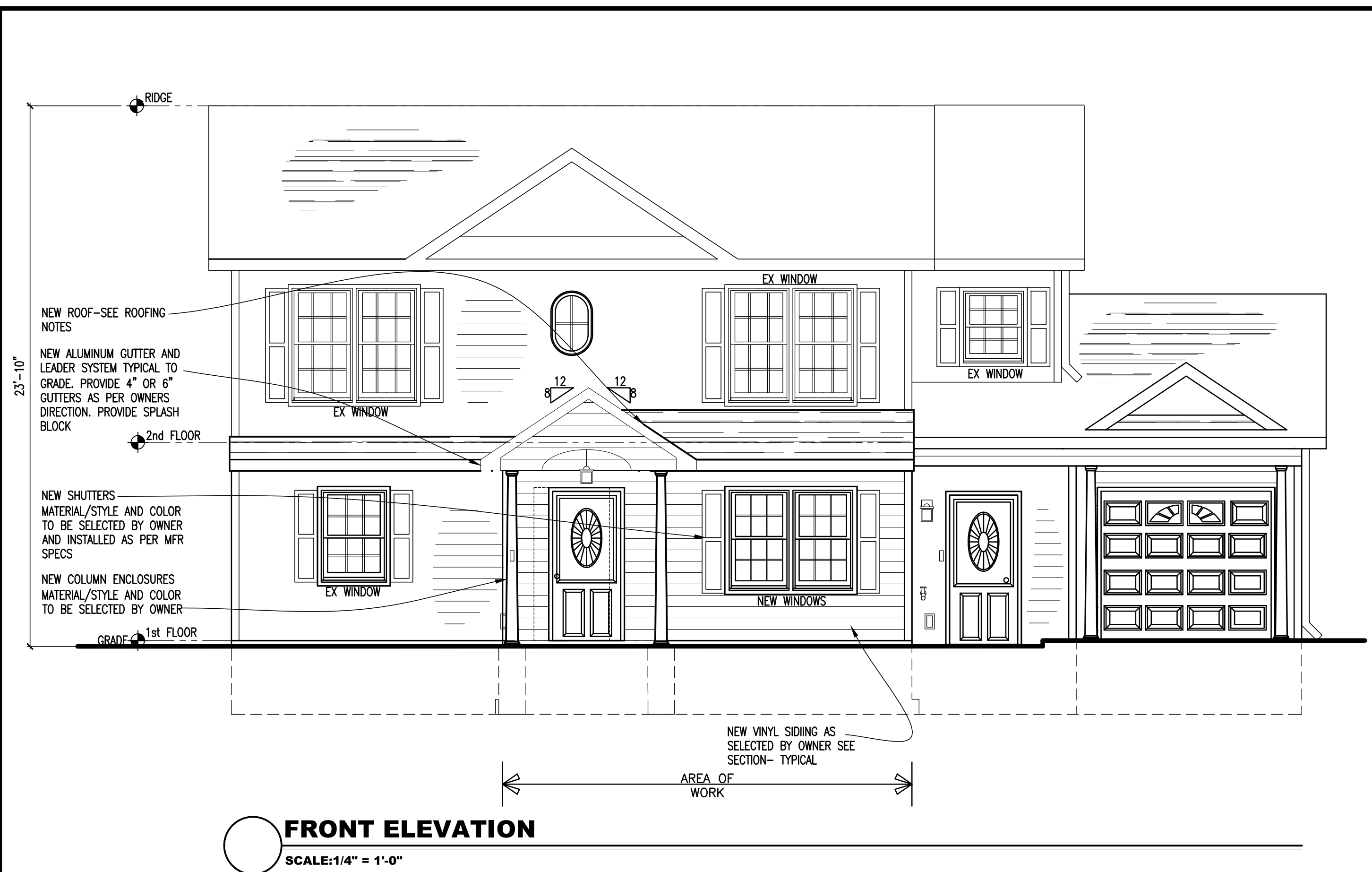
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BUILDING DEPARTMENT		10/4/2024

ALTERATION AND ADDITION TO:  
 PALMER RESIDENCE  
 33 10TH STREET  
 CARLE PLACE, NY 11514

- ELECTRICAL NOTES AND LEGEND
- 1ST FLOOR LIGHTING PLAN
- PLUMBING RISER DIAGRAM & NOTES
- SECTION "A"
- DETAIL @ PORTICO

DRAWN BY: ERC	PROJECT No. 2416
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REGISTERED ARCHITECT  
 STATE OF NEW YORK  
**A-3**



IMPACT ARCHITECTURE  
399 CONKLIN ST SUITE 208  
FARMINGDALE NY 11735  
WWW.IMPACTARCHITECTURE1.COM  
631-339-0590

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ALTERATION AND ADDITION TO:  
PALMER RESIDENCE  
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CARLE PLACE, NY 11514

○ EXTERIOR ELEVATIONS  
○ GAS RISER  
○  
○  
○

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CHECKED: MEK	

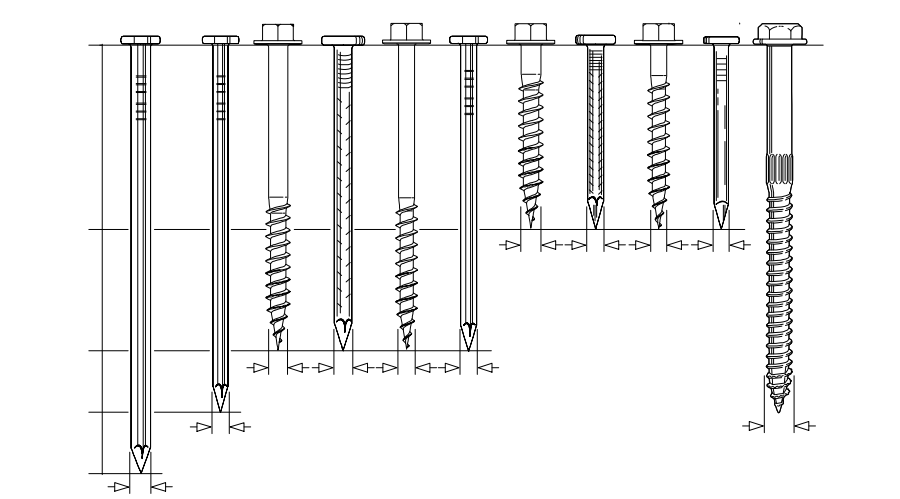
A-4





General Notes:

- Outdoor environments are generally more corrosive to steel. If you choose to use ZMAX® or HDG finish or stainless steel material on an outdoor project, you should periodically inspect your connectors and fasteners for a professional inspection performed. Regular maintenance, including water-proofing of the wood used in your outdoor project is also a good practice.
- Coatings Available:
  - ZMAX Galvanized (G185) 1.85 oz. of zinc per square foot of surface area. (hot-dip galvanized per ASTM A653 total both sides). These products require hot-dip galvanized fasteners (fasteners which meet the specifications of ASTM A153).
  - HDG - Hot Dip Galvanized Products are hot-dip galvanized after fabrication (14 ga. and thicker). The coating weight increases with material thickness. The minimum specified coating weight is 2.0 oz. per square foot. (per ASTM A123 total both sides). These products require hot-dip galvanized fasteners (fasteners which meet the specifications of ASTM A153).
  - SS - Stainless Steel: Connectors are manufactured from Type 316L stainless steel, and provide greater durability against corrosion. Stainless-steel nails are required with stainless-steel products, and are available from Simpson Strong-Tie.
- When using stainless steel connectors, use stainless steel fasteners. When applications allow the use of ZMAX/HDG galvanized connectors, use HDG fasteners that meet the specifications of ASTM A153 or equivalent coating offered on Simpson Strong-Tie fasteners.
- Due to many variables involved with outdoor construction, Simpson Strong-Tie cannot provide estimates on service life of connectors, anchors or fasteners.
- To obtain optimal performance from Simpson Strong-Tie products, the products must be installed properly and used in accordance with the installation instructions and design limits provided by Simpson Strong-Tie.
- All installation notes and guidelines within the current Wood Construction Connectors catalog shall apply for the connectors, anchors, and fasteners shown.
- Simpson Strong-Tie reserves the right to change the specifications, design and models shown without notice or liability for such changes.
- Simpson Strong-Tie does not guarantee the performance or safety of products that are modified, improperly installed or not used in accordance with the design.
- All references to bolts or machine bolts (MB) are structural quality bolts (not lag screws or carriage bolts) equal to or better than ASTM A307, grade A. Bolt holes shall be at least a minimum 1/32" and no more than a maximum of 1/16" larger than the bolt diameter per 2005 NDS (lag screws or carriage bolts) equal to or better than ASTM A307, grade A. Bolt holes shall be at least a minimum 1/32" and no more than a maximum of 1/16" larger than the bolt diameter per 2005 NDS (lag screws or carriage bolts) equal to or better than ASTM A307, grade A. Bolt holes shall be at least a minimum 1/32" and no more than a maximum of 1/16" larger than the bolt diameter per 2005 NDS (lag screws or carriage bolts) equal to or better than ASTM A307, grade A. Bolt holes shall be at least a minimum 1/32" and no more than a maximum of 1/16" larger than the bolt diameter per 2005 NDS (lag screws or carriage bolts) equal to or better than ASTM A307, grade A.
- Unless noted otherwise, all references to standard cut washers refer to Type A plain washers (W) conforming to the dimensions shown in ASME B18.22.1 for the appropriate rod sizes.
- Unless stated otherwise, Simpson Strong-Tie cannot and does not make any representation regarding the suitability of use or load-carrying capacities of connectors installed with improper fasteners.



**Fastener Notes:**

- The specified quantity, type and size of fastener must be installed in the correct holes on the connector to achieve published loads.
- Incorrect fastener selection or installation can compromise connector performance and could lead to failure.
- Not all diameters require a coating. See technical bulletins T-46 and T-47 for more information.
- The Simpson Strong-Tie® SD Structural-connector screw is the only screw approved for use with our connectors.
- MBL reference in tables: 16# = 160 connector, 10# = 100 connector.

**Fastening Identification**

TABLE R507.9.1.3 (3) DECK LEDGER CONNECTION TO BAND JOIST (DECK LIVE LOAD = 40 PSF, DECK DEAD LOAD = 10 PSF, SNOW LOAD ≤ 7 = 40 PSF)

CONNECTION DETAILS	JOIST SPAN						
	6' AND LESS	6' 1" TO 8' 0"	8' 1" TO 10' 11"	10' 12" TO 12' 11"	12' 12" TO 14' 11"	14' 12" TO 16' 11"	16' 12" TO 18' 0"
1/2"-INCH DIAMETER LAG SCREW WITH 1/2"-INCH MAXIMUM SHEATHING ⓐ	30	23	18	15	13	11	10
1/2"-INCH DIAMETER BOLT WITH 1/2"-INCH MAXIMUM SHEATHING ⓑ	36	36	34	29	24	21	19
1/2"-INCH DIAMETER LAG SCREW WITH 1"-INCH MAXIMUM SHEATHING	36	36	29	24	21	18	16

TABLE R507.9.1.3(2) DECK LEDGERS AND BAND JOISTS (DECK LIVE LOAD = 40 PSF, DECK DEAD LOAD = 10 PSF, SNOW LOAD ≤ 7 = 40 PSF)

MINIMUM AND EDGE DISTANCES AND SPACING BETWEEN ROWS	ROW SPACING			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEADER ⓐ	2 INCHES ⓑ	2 INCHES	2 INCHES	18 INCHES ⓑ
BAND JOIST Ⓒ	2 INCHES	2 INCHES	2 INCHES	18 INCHES ⓑ

FOR 1/2" INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 POUND PER SQUARE FOOT = 0.479 KPA

A. LEDGERS SHALL BE FLASHED IN ACCORDANCE WITH SECTION R703.4 TO PREVENT WATER FROM CONTACTING THE HOUSE BAND JOIST.

B. SNOW LOAD SHALL NOT BE ASSUMED TO ACT CONCURRENTLY WITH THE LIVE LOAD.

C. THE TOP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST.

D. SHEATHING SHALL BE WOOD STRUCTURAL PANEL OR SOLID SAWN LUMBER.

E. SHEATHING SHALL BE PERMITTED TO SUBSTITUTE FOR UP TO 1/2"-INCH OF ALLOWABLE SHEATHING THICKNESS WHERE COMBINED WITH WOOD STRUCTURAL PANEL OR LUMBER SHEATHING.

D01 General Notes

**Installation:**

- For HUC installations, models have triangle and round holes. To achieve maximum loads, fit both round and triangle holes (fastener quantities listed fit both holes).
- For installations into single 2x headers or ledgers, use the specified full length fasteners into the post and the following fasteners into the header for reduced loads in accordance with [www.strongtie.com](http://www.strongtie.com).
- 100% nails for installations with nails.
- SD #9x1 1/2 LUS26Z and LUS210Z installations with SD Screws.

**Model No. Dimensions (in.)**

Model No.	Dimensions (in.)			Nails		SD Screws	
	W	H	B	Header	Joist	Header	Joist
LUC26Z	1 9/16	4 3/4	1 3/4	6-10d	4-10d/1x1	6-SD #9x2 1/2	4-SD #9x1 1/2
LUC210Z	1 9/16	7 3/4	1 3/4	10-14d	6-10d/1x1	10-SD #9x2 1/2	6-SD #9x1 1/2
HUC26-Z	3 1/8	5 3/8	2 1/2	12-16d	6-10d	-	-
HUC28-Z	3 1/8	7	2 1/2	14-16d	10-14d	-	-
HUC210-Z	3 1/8	8 13/16	2 1/2	18-16d	10-14d	-	-

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D02 Fasteners

**Installation:**

- Field sawable, bend one time only.
- Joist must be constrained against rotation (for example, with saddle blocking) when using a single LS per connection.

**Model No. Dimensions (in.)**

Model No.	Joist Size	Dimensions (in.)				Fasteners	
		W	H	B	A1	A2	Joist
LUS26Z	2x6, 8	1 9/16	5	2	1 1/8	1 5/16	6-16d, 6-10d/1x1
SURL26Z	2x10, 12	1 9/16	8 1/8	2	1 1/8	1 5/16	10-16d, 10-10d/1x1
SURL210-Z	2x10, 12	3 1/8	8 11/16	2 5/8	1 7/16	2 3/8	14-16d, 6-16d/2x2

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D03 LUS Joist Hangers

**Installation:**

- Follow 3-step installation sequence for skewed or non-perpendicular applications.
- Do not substitute 10d/1x1 nails for face nails.
- To see an installation video on this product, visit [www.strongtie.com](http://www.strongtie.com).

**Model No. Dimensions (in.)**

Model No.	Dimensions (in.)			Fasteners	
	W	H	A	Header	Joist
LUS26Z	1 9/16	4 3/4	1 3/4	4-10d	4-10d
LUS210Z	1 9/16	7 3/4	1 3/4	6-10d	4-10d
LUS26-ZZ	3 1/8	4 7/8	2	4-16d	4-16d
LUS210-ZZ	3 1/8	9	2	8-16d	6-16d

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D04 LUC, HUC Joist Hangers

**Installation:**

- ABA, ABU for pre-installed anchors. For Simpson Strong-Tie epoxy or mechanical anchors, select and install in accordance with [www.strongtie.com](http://www.strongtie.com).
- Products require washers between the nut and the base. Washers are applied with the ABU but not the ABA, which requires a standard cut washer.

**Model No. Dimensions (in.)**

Model No.	Post Size	Dimensions (in.)			Nails		SD Screws		Machine Bolts		
		W	L	H	HB	Anchor Dia.	Nails	SD Screws	Qty.	Dia.	
ABA44Z	4x4	3 9/16	3 1/8	3	1 1/16	-	1/2	6-10d	6-SD #9x1 1/2	-	-
ABU44Z	4x4	3 9/16	3	5 1/2	1 3/4	-	5/8	12-16d	12-SD #10x1 1/2	2	1/2
ABA46Z	4x6	3 9/16	5 3/16	3 1/8	-	5/8	8-16d	8-SD #10x1 1/2	-	-	-
ABU46Z	4x6	3 9/16	5	7	2 5/8	-	5/8	12-16d	-	-	-
ABA62Z	6x6	5 1/2	5 1/4	3 1/8	-	5/8	8-16d	8-SD #10x1 1/2	-	-	-
ABU62Z	6x6	5 1/2	6 1/4	3 1/8	-	5/8	8-16d	8-SD #10x1 1/2	-	-	-
ABA82Z	8x8	7 1/2	7	-	-	2-5/8	18-16d	-	-	-	-

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D05 SUR/SUL 45° Skewed Joist Hangers

**Installation:**

- The joist may be square cut or bevel cut.
- These hangers will normally accommodate a 45° to 90° skew.

**Model No. Dimensions (in.)**

Model No.	Joist Size	Dimensions (in.)				Fasteners	
		W	H	B	A1	A2	Joist
SUR126Z	2x6, 8	1 9/16	5	2	1 1/8	1 5/16	6-16d, 6-10d/1x1
SURL126Z	2x10, 12	1 9/16	8 1/8	2	1 1/8	1 5/16	10-16d, 10-10d/1x1
SURL210-ZZ	2x10, 12	3 1/8	8 11/16	2 5/8	1 7/16	2 3/8	14-16d, 6-16d/2x2

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D06 LS Framing Angles

**Installation:**

- Install Simpson Strong-Tie SDS 3/8" x 2" wood screws, which are provided with the column base, with a 1/2" hex head driver. (Sag screws will activate the same lock.)
- Allow concrete to cure before installation of the post.
- For full loads, a minimum of 3" side cover shall be provided.

**Model No. Dimensions (in.)**

Model No.	Post Size	Dimensions (in.)				Number of SDS Screws	
		W1	W2	H	H	Beam	Post
CBSQ44-SDS2HDG	4x4	3 9/16	3 1/2	7 1/8	8 3/8	14-SDS 3/8x2"	-
CBSQ46-SDS2HDG	4x6	3 9/16	5 1/16	7 1/16	8 11/16	14-SDS 3/8x2"	-
CBSQ66-SDS2HDG	6x6	5 1/2	5 1/2	6 7/8	8 3/4	14-SDS 3/8x2"	-
CBSQ88-SDS2HDG	8x8	7 1/2	5 3/8	6 1/8	8 11/16	12-SDS 3/8x2"	-
CBSQ88-SDS2HDG	8x8	7 1/2	7 3/8	6 1/8	8 11/16	12-SDS 3/8x2"	-

1. ⓐ indicates connector is available in stainless steel. Replace SDS2HDG in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D07 LSU, LSSU Adjustable Joist Hangers

**Installation:**

- Install dome nails on beam, drive nails at an angle through the beam into the post below.
- Do not install bolts into pilot holes.

**Model No. Dimensions (in.)**

Model No.	Dimensions (in.)			Nails		SD Screws	
	W1	W2	L2	H1	H2	Beam Flange	Post Flange
BSU26Z	3 9/16	3 9/16	2 7/8	3	3	6-16d	6-SD #10x1 1/2
BSU210Z	3 9/16	5 1/2	4 3/8	3 3/8	3 3/8	12-16d	12-16d
BSU26-ZZ	3 1/8	3 9/16	2 7/8	2 15/16	2 15/16	6-10d	6-SD #9x1 1/2
BSU210-ZZ	3 1/8	5 1/2	4 3/8	2 7/8	2 7/8	12-16d	12-SDS #9x1 1/2

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D08 ABA, ABU Post Bases

**Installation:**

- For end condition, specify ECCQ.
- Install Simpson Strong-Tie SDS 3/8" x 2" screws, which are provided with the column cap, with a 1/2" hex head driver. SDS screws install best with a low speed 1/2" drill.
- A standard cut washer (provided) must be installed between the nut and the DT2Z seat.
- Butt holes shall be a minimum 1/2" to a maximum 1/4" larger than the bolt diameter.

**Model No. Dimensions (in.)**

Model No.	Post Size	Dimensions (in.)			Nails		SD Screws		Machine Bolts	
		W1	W2	L1	H	Beam Post	Beam Post	Qty.	Dia.	
PC44-16Z	4x4	3 9/16	3 9/16	2 5/8	11	7 5/16	8-16d	12-SDS #10x1 1/2	8-SD #10x1 1/2	-
PC46-16Z	4x6	3 9/16	5 1/2	2 5/8	13	9 1/4	8-16d	12-SDS #10x1 1/2	8-SD #10x1 1/2	-
PC68-16Z	6x6	5 1/2	5 1/2	4 9/16	13	9 1/4	8-16d	12-SDS #10x1 1/2	8-SD #10x1 1/2	-

1. Refer to current Wood Construction Connectors catalog for additional information.

D09 PBS Post Bases

**Installation:**

- Embed into wet concrete up to the bottom of the 1" standoff base plate. A 1/2" minimum side cover is required to obtain the full load. Holes in the bottom of the straps allow for fine concrete flow.
- Allow concrete to cure before installation of the post.

**Model No. Dimensions (in.)**

Model No.	Dimensions (in.)			Nails		SD Screws		Machine Bolts	
	W	L	H	HB	Nails	SD Screws	Qty.	Dia.	
PBS44HDG	3 9/16	3 1/2	6 1/4	3 7/16	14-16d	14-SD #10x1 1/2	2	1/2	
PBS66HDG	5 1/2	5 3/8	6 1/2	3 11/16	14-16d	-	-	-	

1. Refer to current Wood Construction Connectors catalog for additional information.

D10 CBSQ Post Bases

**Installation:**

- For end conditions, specify ECCQ.
- Install Simpson Strong-Tie SDS 3/8" x 2" screws, which are provided with the column cap, with a 1/2" hex head driver. SDS screws install best with a low speed 1/2" drill.
- A standard cut washer (provided) must be installed between the nut and the DT2Z seat.
- Butt holes shall be a minimum 1/2" to a maximum 1/4" larger than the bolt diameter.

**Model No. Dimensions (in.)**

Model No.	Beam Width	Dimensions (in.)			Machine Bolts	
		W1	W2	CC	Beam Post	Beam Post
CCQ3-4HDG	3 1/8	3 1/4	5 1/2	11	8 1/2	7 16 14
CCQ4-4HDG	4x	3 5/8	3 5/8	11	8 1/2	7 16 14
CCQ4-6HDG	4x	3 5/8	5 1/2	11	8 1/2	7 16 14
CCQ6-6HDG	4x	3 5/8	7 1/2	11	8 1/2	7 16 14
CCQ6-8HDG	4x	5 1/2	5 1/2	11	8 1/2	7 16 14
CCQ8-8HDG	6x	5 1/2	7 1/2	11	8 1/2	7 16 14

1. ⓐ indicates connector is available in stainless steel. Replace HDG in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D11 BC, BCS Post Caps

**Installation:**

- Use all specified fasteners.

**Model No. Dimensions (in.)**

Model No.	Beam Width	Dimensions (in.)			Machine Bolts	
		W1	W2	CC	Beam Post	Beam Post
CC3-14-4HDG	3 1/8	3 1/4	3 5/8	11	7 1/2	6 12 5/8 4 2 2
CC3-14-6HDG	3 1/8	3 1/4	5 1/2	11	7 1/2	6 12 5/8 4 2 2
CC4-4HDG	4x	3 5/8	3 5/8	7	5 1/2	4 5/8 2 1 2
CC6-6HDG	6x	5 1/2	5 1/2	11	7 1/2	6 12 5/8 4 2 2

1. ⓐ indicates connector is available in stainless steel. Replace HDG in model number with SS when ordering.

2. Refer to current Wood Construction Connectors catalog for additional information.

D12 AC, LPC, LCE Post Caps

**Installation:**

- Before fastening, position the star stringer with the LSCZ on the carrying member to verify where the band should be located.
- Tabs on the LSCZ must be positioned to the inside of the stars.
- The fastener that is installed into the bottom edge of the stringer must go into the second-to-last hole.
- A minimum distance of 1/2" measured from the lowest rim-post fastener to the edge of the post is required.

**Model No. Dimensions (in.)**

Model No.	Nails		SD Screws	
	Rim Joist	Stringer Wide Face	Rim Joist	Stringer Narrow Face
LSCZ	8-10d/1x1	8-10d/1x1	1-10d/1x1	8-SD #9x1 1/2

1. ⓐ indicates connector is available in stainless steel. Replace Z in model number with SS when ordering. Stainless steel models must be fastened with nails.

2. Refer to current Wood Construction Connectors catalog for additional information.

D13 PC, EPC Post Caps

**Installation:**

- Use all specified fasteners.
- For double SD seats, install TA10Z instead with 4 screws installed into the track.

**Model No. Dimensions (in.)**

Model No.	Post Size	Dimensions (in.)			Nails		SD Screws	
		W1	W2	L1	L3	Post	Beam	
PC44-16Z	4x4	3 9/16	3 9/16	2 5/8	11	7 5/16	8-16d	12-SDS #10x1 1/2
PC46-16Z	4x6	3 9/16	5 1/2	2 5/8	13	9 1/4	8-16d	12-SDS #10x1 1/2
PC68-16Z	6x6	5 1/2	5 1/2	4 9/16	13	9 1/4	8-16d	12-SDS #10x1 1/2

1. Refer to current Wood Construction Connectors catalog for additional information.

D14 CCQ, ECCQ Post Caps

**Installation:**

- Install Simpson Strong-Tie SDS 3/8" x 2" wood screws with a 1/2" hex head driver. SDS screws install best with a

ALL CONSTRUCTION SHALL COMPLY WITH THE MOST CURRENT BUILDING CODE OF NEW YORK

GENERAL NOTES:

- 1. THE WORK UNDER THIS CONTRACT SHALL CONSIST OF ALL LABOR, INSTALLATION, MATERIALS AND EQUIPMENT REQUIRED AND NECESSARY TO PERFORM ALL WORK AS SHOWN ON THE DRAWINGS SPECIFIED HEREIN AND AS REQUIRED BY CONDITIONS AT THE SITE.
- 2. ALL WORK SHALL CONFORM TO THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ALL OTHER LOCAL AGENCIES HAVING JURISDICTION.
- 3. ALL WORK SHALL CONFORM TO THE NEW YORK STATE ENERGY CONSERVATION CODE (LATEST EDITION).
- 4. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND THE NEW YORK STATE CODE.
- 5. THE HVAC SYSTEMS AND ARRANGEMENTS FOR THE INSTALLATION OF ALL HVAC EQUIPMENT AS NOTED ON THE DRAWINGS. ALL WORK SHALL BE IN COMPLIANCE WITH NEC, NEMA, NATIONAL PLUMBING CODE, ASME AND ASHRAE SPECIFICATIONS, INCLUDING ALL EQUIPMENT, FIXTURES, MATERIALS, ETC. REQUIRED BY STATE AND LOCAL CODES.
- 6. ALL PLUMBING WORK SHALL CONFORM TO THE NEW YORK STATE PLUMBING CODE REQUIREMENTS AND ALL OTHER LOCAL CODES, ORDINANCES AND AGENCIES HAVING JURISDICTION AND TO THE STANDARDS OF THE NASSAU COUNTY HEALTH DEPARTMENT.
- 7. NOTIFY ALL CORPORATIONS, ADJACENT PROPERTY OWNERS, UTILITY COMPANIES AND/OR LOCAL AUTHORITIES OWNING CONDUIT, WIRES, PIPES OR OTHER UTILITIES RUNNING TO OR ON THE PROPERTY OR IN THE AREAS AFFECTED BY THIS CONSTRUCTION AND / OR OTHERWISE REQUIRED BY THE TOWN OR LOCAL AGENCIES HAVING JURISDICTION. CAP ALL ABANDONED UTILITY LINES IN ACCORDANCE WITH THE INSTRUCTIONS FROM UTILITY COMPANIES OR LOCAL AUTHORITIES HAVING JURISDICTION.
- 8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICABLE FILING OF ALL APPLICATIONS, PERMITS, DOCUMENTS, INSURANCE, ETC. WITH ALL REGULATORY AGENCIES AS REQUIRED IN CONNECTION WITH THIS WORK.
- 9. PROVIDE SMOKE AND HEAT DETECTORS AS REQUIRED BY CODE.
- 10. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING ALL SITE AND SAFETY PROTECTION (FENCING, BARRIERS, ETC.) DURING CONSTRUCTION IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES (OSHA, ETC.) TO PROVIDE FOR THE SAFETY OF THE PUBLIC AND THE PROTECTION OF THE SITE AND BUILDING.
- 11. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS, TO VISIT THE SITE PRIOR TO SUBMISSION OF HIS BID TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. NO ADDITIONAL ALLOWANCES, OR EXTRA CHARGES, WILL BE PERMITTED BECAUSE OF HIS FAILURE TO PERFORM THE FOREMENTIONED SITE VISIT.
- 12. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCY OCCURS BETWEEN ACTUAL FIELD CONDITIONS AND DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- 13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS CONFIRMED BY FIELD CONDITIONS TAKE PRECEDENCE. IF DISCREPANCY ARISES BASED ON FIELD CONDITIONS CONSULT WITH ARCHITECT'S OFFICE BEFORE PROCEEDING WITH WORK OR ORDERING MATERIALS.
- 14. ANY ITEM OF WORK NECESSARY FOR PROPER COMPLETION OF CONSTRUCTION, WHICH IS NOT SPECIFICALLY COVERED ON THE DRAWINGS OR IN THE SPECIFICATIONS, SHALL BE CONSIDERED INCLUDED IN THIS WORK AND SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- 15. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ANY EXISTING DRENELS, TESSPOOLS, SEPTIC TANKS AND UTILITIES, UNDERGROUND PIPING OR STRUCTURES THAT MAY INTERFERE WITH NEW WORK OR DEMOLITION AND TO PROTECT SAME FROM ANY DAMAGE. THE REPAIR OF ANY DAMAGE DUE TO NEW CONSTRUCTION OR DEMOLITION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DEMOLITION, EXCAVATION, CARTING, REFUSE AND THE LEGAL DISPOSAL OF SAME AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION AND REMOVAL OF ALL DEBRIS FROM THE SITE.
- 17. THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE OWNER FOR INSTALLATION OF THE OWNER'S ALARM AND TELEPHONE SYSTEMS AND SHALL COOPERATE WITH OWNER'S INDEPENDENT CONTRACTORS. THE GENERAL CONTRACTOR SHALL PROVIDE ADVANCED NOTICE TO THE OWNER AS TO WHEN TO SCHEDULE INSTALLATION SO AS NOT TO DELAY COMPLETION OF THE PROJECT.
- 18. DISPOSE OF ALL (IF ANY) HAZARDOUS MATERIAL OR ASBESTOS IN AN APPROVED MANNER AS REQUIRED BY FEDERAL, STATE AND LOCAL AGENCIES (INCLUDING THE EPA).
- 19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY ITEM OF EXISTING CONSTRUCTION THAT IS TO REMAIN OR THAT IS DAMAGED DURING NEW CONSTRUCTION.
- 20. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OR THE WORK OF THE GENERAL CONTRACTOR, OWNER OR ANY OTHER SUBCONTRACTORS NOR SHALL HE GUARANTEE THEIR PERFORMANCE.
- 21. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THIS PROJECT MADE BY OWNER, GENERAL CONTRACTOR OR ANY SUBCONTRACTOR OR MATERIAL SUPPLIER UNLESS PROPERLY AUTHORIZED, IN WRITING, BY THE ARCHITECT.
- 22. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE GENERAL CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE GENERAL CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- 23. THE GENERAL CONTRACTOR SHALL PROVIDE FOR ALL PROPER BRACING, SHORING, DE-WATERING, ETC., AND THE PROTECTION AND SUPPORT OF THE EXISTING AND ADJACENT STRUCTURES AND TREES THAT ARE TO REMAIN. PROVIDE FOR ALL UNDERPINNING AS REQUIRED DUE TO FIELD AND PROJECT CONDITIONS.
- 24. THE GENERAL CONTRACTOR SHALL CONFIRM AND VERIFY EXISTING BEARING CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 25. THE ENTIRE WORK SHALL BE ACCURATELY FRAMED PLUMB, LEVEL AND TRUE, WELL SPIKED AND NAILED AND ANCHORED TOGETHER TO FORM A RIGID STRUCTURE AND TO INSURE EVEN SETTLEMENT THROUGHOUT.
- 26. ANY DAMAGE TO ANY EXISTING PAVEMENTS (INCLUDING PUBLIC STREETS) OR STRUCTURES TO REMAIN MUST BE REPAIRED TO THEIR ORIGINAL CONDITION OR REPLACED BY THE GENERAL CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- 27. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR INSTRUCTIONS.
- 28. RESCUE AND PROPERLY SUPPORT ALL EXISTING FRAMING AND ALL OTHER CONSTRUCTION THAT MAY BE AFFECTED BY NEW CONSTRUCTION.
- 29. REMOVE AND REPLACE ANY AND ALL DAMAGED, ROTTED OR OTHERWISE UNSOUND FRAMING. REPLACEMENT FRAMING MUST BE OF PROPER SIZE AND BEARING TO SUPPORT ANY AND ALL LOADS IMPOSED.
- 29a. PATCH ALL FLOOR, WALL AND CEILING AREAS AFFECTED BY NEW CONSTRUCTION FLUSH TO MATCH EXISTING UNLESS NOTED OTHERWISE INCLUDING REPLACEMENT AND REPAIR OF ALL TRIM, FINISHES, ETC.
- 30. DESIGN STRENGTH OF 28-DAY CONCRETE SHALL BE 3,500 PSI MINIMUM. ALL CONCRETE (CONTROLLED STONE OR GRAVEL) AND REINFORCED CONCRETE WORK SHALL CONFORM TO ACI-318 SPECIFICATIONS, LATEST EDITION. CONCRETE SHALL BE AIR-ENTRAINED (6%) WHERE EXPOSED.
- 31. ALL REINFORCING, AS REQUIRED, SHALL BE MINIMUM GRADE 60 CONFORMING TO ASTM A-615.
- 32. PROVIDE EXPANSION, CONTROL AND CONSTRUCTION JOINTS AS REQUIRED BY APPLICABLE SECTIONS OF ACI 301-84.

It is a violation of the Education Law of the State of New York for any person, unless he is acting under the direction of a licensed Professional Engineer, to alter any item on these drawings and/or in this specification in any way. If any such item is altered, the altering Professional Engineer shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration together with a specific description of the alteration.

1. THE DUTIES OF THE ARCHITECT OF RECORD AND HIS EMPLOYEES SHALL TERMINATE WITH THE COMPLETION AND DELIVERY OF WORKING DRAWINGS. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR THE SUPERVISION OF CONSTRUCTION OF THE PROJECT, NOR JOB SITE SAFETY.
2. THE ARCHITECT OF RECORD SHALL NOT BE RESPONSIBLE FOR THE ACTS OF NEGLIGENCE OR OMISSIONS OF THE CONTRACTOR OR ANY SUB CONTRACTOR OR ANY OF THE CONTRACTOR'S OR SUB CONTRACTOR'S EMPLOYEES OR AGENTS, OR OTHER PERSONS PERFORMING ANY OF THE WORK.
3. JOB SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

33. FOUNDATIONS:

- A. THE EXCAVATION FOR ALL FOOTINGS SHALL HAVE LEVEL, SOLID AND UNDISTURBED BOTTOMS. ALL FOOTINGS SHALL BEAR ON VIRGIN, UNDISTURBED SOIL, MINIMUM DEPTHS AS PER DRAWINGS. SOIL BEARING CAPACITY IS ASSUMED AS TWO TONS PER SQUARE FOOT MINIMUM. THE CONTRACTOR SHALL VERIFY SAME IN THE FIELD.
- B. MAXIMUM SLOPE BETWEEN BOTTOMS OF FOOTINGS SHALL BE ONE VERTICAL TO TWO HORIZONTAL (STEP FOOTINGS).
- C. FOOTING ELEVATIONS & DEPTHS INDICATED ARE BASED ON AND CONSTITUTE THE BEST AVAILABLE INFORMATION. IT MAY BE NECESSARY TO LOWER FOOTINGS DUE TO FIELD CONDITIONS IN ORDER TO REACH ADEQUATE BEARING MATERIAL. FOOTINGS SHALL NOT BE CONSTRUCTED UNTIL SOIL, PREPARED FOR BEARING, HAS BEEN REVIEWED BY THE ARCHITECT AND THE LOCAL AUTHORITY.

WHERE SLAB ON GRADE IS SUPPORTED ON BACKFILL, THE FILL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 8" TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FILL MATERIAL SHALL BE LIMITED TO WELL GRADED SAND OR SAND AND GRAVEL MIXTURE WITH LESS THAN 10 TO 15% FINES PASSING THE NO. 200 SIEVE AND A MAXIMUM GRAVEL SIZE OF 3/4".

FOOTINGS SHALL BE LOCATED SUCH THAT WALLS, COLUMNS, PIERS, FOUNDATION WALLS, ETC. ARE CENTERED OVER FOOTINGS IN BOTH DIRECTIONS UNLESS OTHERWISE NOTED ON THE PLAN.

STANDARD PROCEDURES OF FROST PROTECTION FOR FOOTINGS AND FOOTING EXCAVATIONS SHALL BE USED FOR WINTER CONSTRUCTION. BACKFILLING OF FOOTING EXCAVATIONS SHALL BE DONE AS SOON AS POSSIBLE TO PROTECT FOOTINGS FROM FROST ACTION.

SLAB ON GRADE, UNLESS OTHERWISE NOTED, SHALL BE 4" THICK, REINFORCED WITH ONE LAYER OF 6x6 W2.9x2.9 WELDED WIRE FABRIC CONFORMING TO ASTM A-185.

WELDED WIRE FABRIC FOR CONCRETE SLABS ON GRADE SHALL BE PLACED 2" BELOW TOP OF SLAB. LAP SPlice OVERLAP LENGTH TO BE 8" AND SHALL BE MEASURED BETWEEN THE OUTERMOST CROSS WIRES OF EACH FABRIC SHEET.

- 34. STRUCTURAL STEEL SHALL BE ASTM A-36 IN ACCORDANCE WITH ALL AISC SPECIFICATIONS (DESIGN, FABRICATION AND ERECTION).
- 35. ALL PIPE AND/OR LALLY COLUMNS TO BE SECURELY BOLTED, LEVELLED WITH STEEL SHIMS AND PACKED TIGHT WITH NON-SHRINK GROUT.
- 36. JOIST HANGERS, HOLD DOWN CLIPS, ETC. SHALL BE SIMPSON STRONG-TIE CO., INC., OR APPROVED EQUAL (SECURED WITH ANNUAL NAILS, ETC. AS PER MANUFACTURER'S SPECIFICATIONS) FOR ALL FLUSH STRUCTURAL CONNECTIONS. PROVIDE SADDLE-TYPE, HEAVY DUTY BEAM HANGERS AS REQUIRED. ALL EXTERIOR CONNECTORS, FASTENERS, ETC. SHALL BE STAINLESS STEEL. PROVIDE WELDED STEEL CONNECTIONS FOR ALL FRAMING HANGERS, ETC. AT STEEL BEAMS, COLUMNS, ETC.
- 37. ALL WOOD FRAMING SHALL BE CONSTRUCTED AND INSTALLED AS PER "NATIONAL DESIGN STANDARDS FOR WOOD CONSTRUCTION", LATEST EDITION.
  - ALL STRUCTURAL WOOD FRAMING, UNLESS OTHERWISE NOTED, SHALL BE MINIMUM HEM FIR NO. 2 OR BETTER WITH BASE DESIGN MINIMUM Fb=850 PSI; Fv = 75 PSI; Fc (PERP) = 405 PSI; E = 1,300,000 PSI (SEE PLANS FOR ADDITIONAL NOTES AND REQUIREMENTS).
  - ALL LUMBER SHALL BE PROPERLY SEASONED AND SHALL BE NEW UNLESS OTHERWISE APPROVED BY THE ARCHITECT. ALL LUMBER SHALL BE FREE FROM KNOTS, SHAKES, ROT, FUNGUS, OR OTHER DEFECTS.
- 38. ALL NEW ROOF JOISTS, HEADERS AND TRIMMERS AND OTHER HORIZONTAL WOOD MEMBERS SHALL BE SET WITH THE CROWN EDGE UPWARD.
- 39. ALL WOOD BEAMS BEARING ON MASONRY SHALL HAVE A MINIMUM BEARING OF 4" AND SHALL BE PROVIDED WITH METAL SHIELDS.
- 40. ALL WOOD BEAMS BEARING ON STEEL SHALL HAVE A MINIMUM BEARING OF 2".
- 41. DOUBLE ALL FRAMING AROUND ALL OPENINGS UNLESS OTHERWISE NOTED.
- 42. INSTALL 1/2" DIAMETER (18" LONG) ANCHOR BOLTS (HOOKED ENDS) AT SILL PLATES WITH WASHER AND NUTS SPACED 6"-8" OC; ONE FOOT FROM EACH CORNER (MINIMUM TWO BOLTS IN ANY ONE SILL).
- 43. PROVIDE AND INSTALL ALL FIRE STOPPING, CATS, BLOCKING, ETC. AT EXTERIOR WALLS AND BEARING WALLS AND AS REQUIRED BY CODE AND/OR JOB CONDITIONS AND IN ACCORDANCE WITH STANDARD ACCEPTABLE PRACTICE.
- 44. ALL NEW WINDOW AND DOOR OPENINGS SHALL HAVE STUDS TRIPLED ON JAMBS. THE INNER TWO STUDS SHALL BE CUT TO RECEIVE THE HEADER OVER THE OPENING AND SHALL EXTEND IN ONE PIECE FROM HEADER TO BEARING BELOW. THE OUTER STUD SHALL RUN IN ONE PIECE FROM SILL TO TOP PLATES.
- 45. NO STUD SHALL BE CUT TO RECEIVE PIPING LARGER THAN 1-1/2" IN DIAMETER. IF THE RUNNING OF PIPES REQUIRES THE CUTTING OF PLATES, PROPER PROVISION SHALL BE MADE FOR TYING TOGETHER AND SUPPORTING ALL STRUCTURAL MEMBERS AFFECTED BY SUCH CUTTING.
- 46. ALL JOISTS SHALL BE CROSSBRIDGED WITH SOLID BRIDGING AND/OR 5/4" x 3" BRIDGING AS INDICATED AT MID-SPAN OR INTERVALS NOT TO EXCEED 8'-0" O.C. AND SECURELY NAILED AT EACH END. BRIDGING SHALL NOT BE NAILED UNTIL AFTER PARTITIONS ARE IN PLACE. PROVIDE SOLID BRIDGING BETWEEN JOISTS OVER GIRDERS AND PLATES OF BEARING PARTITIONS. METAL BRIDGING STRAPS MAY BE SUBSTITUTED AND INSTALLED ACCORDINGLY.
- 47. THE CUTTING OF THE JOISTS TO FACILITATE THE INSTALLATION OF PIPING WILL ONLY BE PERMITTED WITH THE FOLLOWING LIMITATIONS:
  - A. THE TOP AND BOTTOM EDGES OF JOISTS MAY BE NOTCHED NOT TO EXCEED 2", EXCEPT THAT THE NOTCHING OF TOP OR BOTTOM EDGE OF JOIST IN THE MIDDLE THIRD OF ITS SPAN WILL NOT BE PERMITTED.
  - B. IF CUTTING OF A FLOOR JOIST MORE THAN 2" IS FOUND NECESSARY, A HEADER THE FULL DEPTH OF THE BEAM SHALL BE CUT IN TO SUPPORT THE END OF THE JOISTS.
- 48. WHERE PIPES MUST PASS THROUGH JOISTS, HOLES SHALL BE DRILLED TO RECEIVE THE PIPES. THE DIAMETER OF SUCH HOLES SHALL NOT BE MORE THAN 1/2" GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE. ALL DRILLING OF HOLES SHOULD BE THROUGH THE NEUTRAL AXIS OR CENTERLINE OF BEAM WHERE POSSIBLE.
- 49. ALL FLUTCH BEAMS, AS MAY BE REQUIRED, SHALL BE MINIMUM DOUGLAS FIR LARCH #1 OR BETTER (Fb = 1,200 PSI) THRU-BOLTED WITH 3/4" DIAMETER GALVANIZED BOLTS (A-325 STEEL), NUTS AND WASHERS, 2 AT EACH END WITH REMAINDER 2'-0" O.C. STAGGERED.
- 50. ALL EXTERIOR WOOD TRIM, SIDING, ETC. SHALL BE FACE, EDGE AND BACK PRIMED (ALL FOUR EDGES) PRIOR TO INSTALLATION AS PER SPECIFICATIONS AND REQUIREMENTS OF THE BENJAMIN MOORE PAINT CO.
  - PROVIDE NEW WOOD HEADERS MINIMUM (2) 2"x8" AT INTERIOR WALLS (NON-BEARING) AND (2) 2"x12" AT EXISTING EXTERIOR AND INTERIOR BEARING WALLS WITH SOLID BEARING STUD SUPPORTS AT ALL NEW WINDOWS, DOORS, AND OPENINGS AS MAY BE REQUIRED BY EXIST. CONDITIONS AND NEW CONSTRUCTION UNLESS OTHERWISE SHOWN OR NOTED.
- 51. PROVIDE NEW FULL THICK INSULATION IN ACCORDANCE WITH NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS AT ALL EXISTING EXTERIOR WALLS AND ROOF ENVELOPE AREAS EXPOSED DURING NEW CONSTRUCTION WHICH DO NOT CONTAIN INSULATION.
  - ALL PLYWOOD SHEATHING SHALL BE EXTERIOR GRADE C-D EXTERIOR, TYPE 1 EXPOSURE.
  - APA STRUCTURAL (GRADE STAMPED) UNLESS OTHERWISE INDICATED. EXPOSED PLYWOOD SOFFITS SHALL BE A-C GRADE EXTERIOR, TYPE 1, U.O.N.
- 52. PROVIDE METAL DRIP FLASHING OVER ALL WINDOWS AND DOORS AS REQUIRED.
  - PROVIDE AND INSTALL 5/8" GYPSUM BOARD TYPE "X" OR APPROVED EQUAL "FIRE CODE" GYPSUM BOARD (MINIMUM 3/4 HOUR RATED) AT GARAGE AND OVER BOILER ROOM EQUIPMENT AND WALLS ADJACENT TO HABITABLE SPACE AS REQUIRED BY STATE AND LOCAL BUILDING CODES.
  - PROVIDE AND INSTALL 5/8" GYPSUM BOARD (MINIMUM), (TYPE "X" AS NOTED), TYPICAL ALL WALLS AND CEILINGS, UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD SHALL BE TAPED AND SPOACKLED (3 COATS).

- 58. THE GENERAL CONTRACTOR IS TO PROVIDE AND ALLOW FOR NEW FLOOR FINISHES THROUGHOUT.
- 59. PROVIDE FOR ALL NEW PLUMBING, PIPING AND/OR REPIPING AND EQUIPMENT AS MAY BE REQUIRED.
- 60. THE CONTRACTOR MUST ALLOW AND PROVIDE FOR ALL NEW AND EXISTING PIPING (GAS, WATER, ETC.) AS MAY BE REQUIRED.
  - THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA FREE FROM ACCUMULATION OF ALL WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION HE SHALL REMOVE HIS WASTE MATERIAL AND RUBBISH FROM THE PREMISES AND SITE AS WELL AS ALL HIS TOOLS, CONSTRUCTION EQUIPMENT AND SURPLUS MATERIALS AND SHALL CLEAN ALL GLASS SURFACES AND LEAVE THE WORK "BROOM CLEAN".
- 61. THE GENERAL CONTRACTOR SHALL KEEP TO A MINIMUM ANY INTERRUPTION TO OWNERS DAILY ACTIVITIES UTILITY SERVICES TO THE EXISTING BUILDING. COORDINATE IN ADVANCE, ANY REQUIRED INTERRUPTION WITH THE OWNER.
- 62. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND BE RESPONSIBLE FOR COORDINATION WITH ARCHITECTURAL, STRUCTURAL, HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
- 63. ALL DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURAL AND ARCHITECTURAL CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR AND COORDINATED WITH THE NEW STRUCTURAL ELEMENTS PRIOR TO DEMOLITION, FABRICATION OR CONSTRUCTION. EXISTING CONSTRUCTION AT AREAS WHERE NEW WORK IS NOT CONTEMPLATED MAY NOT BE SHOWN. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD BEFORE PROCEEDING.
- 64. CONTRACTOR SHALL SUBMIT ERECTION AND FABRICATION DRAWINGS OF ALL STRUCTURAL CONNECTIONS AND MEMBERS INDICATED ON CONTRACT DRAWINGS.
- 65. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING, SHEETING WHEREVER REQUIRED TO SUPPORT LOADS AS MAY BE IMPOSED UPON THE STRUCTURE DURING CONSTRUCTION. SUBMIT DRAWINGS PREPARED BY LICENSED PROFESSIONAL ENGINEER.
- 66. IF THE EXISTING STRUCTURAL FRAMING HAS BEEN ASSUMED BECAUSE OF THE UNAVAILABILITY OF EXISTING DRAWINGS, BEFORE THE CONTRACTOR MAY PROCEED WITH ANY STRUCTURAL DEMOLITION OR NEW CONSTRUCTION, HE MUST REMOVE EXISTING CEILING, FLOORING, FURRING, ETC. IN THE AFFECTED AREAS SO THAT THE EXISTING CONDITIONS MAY BE FULLY EXAMINED BY THE ARCHITECT AND ENGINEER TO VERIFY AND/OR MODIFY DESIGN ASSUMPTIONS.
- 67. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE SUBMITTING SHOP DRAWINGS.
- 68. THE CONTRACTOR SHALL SUBMIT CHECKED SHOP DRAWINGS FOR REVIEW. NO DETAILS SHALL BE CHECKED BEFORE THE FRAMING PLANS HAVE BEEN SUBMITTED FOR REVIEW.
- 69. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND VERIFY THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES, CHASES, CONDUITS, DEPRESSED AREAS, FLOOR FINISHES, FILLS, ANCHORS, STONE AND MASONRY DETAILS, HANGERS, AND OTHER MISCELLANEOUS ITEMS BEFORE PLACING CONCRETE.

NO NOTE OR DETAIL OR LACK THERE OF SHALL BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM EXECUTING ALL WORK IN ACCORDANCE WITH GOVERNING BUILDING CODES.

72. IN CASE OF DISAGREEMENT BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS, THE ARCHITECTURAL REQUIREMENTS SHALL GOVERN.

73. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, CONTRACTOR SHALL NOTIFY THE PROPER AUTHORITIES AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHOD TO ACCOMPLISH THE REQUIRED RESULT.

74. ALL CONSTRUCTION SHOWN THUS SHALL HAVE NO CONCRETE SLAB, UNLESS OTHERWISE NOTED ON PLAN.

75. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR FIELD SUPERVISION NOR JOB SITE SAFETY.

76. COMPY WITH OSHA REQUIREMENTS.

77. CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR, ALL NECESSARY SHORING AND BRACING AS REQUIRED FOR THE SAFE INSTALLATION OF HIS WORK.

GENERAL REQUIREMENTS:

1. The Architect shall not be responsible for the acts of omissions of the Contractor, any Subcontractor, or any of the Contractor's, Subcontractor's employees or agents, or any other persons performing any of the work.
2. The Architect is not responsible for means and methods of construction, nor for the safety at the construction site. These responsibilities rest with the Contractor.
3. By acceptance of these documents, all contractors that have signed contracts with the Owner shall have the Owner and the Architect listed as general liability and umbrella insurance as additional insured and shall provide a hold harmless statement naming the Owner and the Architect.
4. The Contractor shall hold harmless the Owner and Architect against any and all claims arising from work performed by the Contractor, his employees, any subcontractor, or subcontractor's employees.
5. By acceptance of these documents, the Contractor agrees to perform the work in accordance with all applicable codes, including, but not limited to, the latest Edition Residential Code of New York State, the New York State Energy Conservation Code, OSHA, the New York State Plumbing Code, the National Electric Code, and all local building codes and ordinances.
6. The Contractor shall not commence any demolition and/or construction work until approval has been obtained from the Building Department and all necessary permits have been secured.
7. The Contractor shall construct the project and perform all work in accordance with industry recognized standards and accepted construction practices. Drawings are not to be scaled. Use dimensions indicated on drawings only. The Contractor shall verify all job and field conditions affecting all work, and obtain all dimensions to insure the proper strength, fit, and location of the work.
8. The Contractor shall report to the Architect any and all conditions which may affect, or prevent, the proper execution of the work. Any conflicts, discrepancies, errors, and/or omissions between the construction documents and the existing conditions shall be reported to the Architect, prior to proceeding with that portion of the work.
9. Contractor shall provide all the necessary support, bracing, shoring, etc., both temporary and/or permanent, as required for the safe installation of the new construction.
10. The Contractor shall be responsible for adequately bracing and protecting all work from damage, breakage, collapse, distortion and misalignment, in accordance with accepted construction practices. All materials and construction to be incorporated in the work shall be in strict accordance with the latest edition of A.S.T.M. specifications, where applicable, and shall conform to the standards and recommendations of the various trade institutes (A.C.I., A.I.S.C., S.U.I., etc.). All materials used for this project must be new materials, unless otherwise specified.
11. The contractor shall provide all necessary fencing, barricades, warning signs, lighting, guards, etc. to ensure the safety of the work area, the occupants, the workers, and the public.
12. The contractor shall maintain the site in a safe, clean, and orderly fashion for the duration of the construction period. All dimensions to and/or from existing walls are to the existing surfaces. All dimensions to and/or from new walls are to the face of framing, unless otherwise noted.
13. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE SUBMITTING SHOP DRAWINGS. IN CASE OF DISAGREEMENT BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS, THE ARCHITECTURAL REQUIREMENTS SHALL GOVERN.
14. THE CONTRACTOR SHALL SUBMIT CHECKED SHOP DRAWINGS FOR REVIEW. NO DETAILS SHALL BE CHECKED BEFORE THE FRAMING PLANS HAVE BEEN SUBMITTED FOR REVIEW.
15. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, CONTRACTOR SHALL NOTIFY THE PROPER AUTHORITIES AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHOD TO ACCOMPLISH THE REQUIRED RESULT.
16. THE ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR FIELD SUPERVISION NOR JOB SITE SAFETY. COMPLY WITH OSHA REQUIREMENTS.
17. CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR, ALL NECESSARY SHORING AND BRACING AS REQUIRED FOR THE SAFE INSTALLATION OF HIS WORK.

EXCAVATION, DEMOLITION & REMOVAL NOTES:

THE WORK UNDER THIS CONTRACT SHALL CONSIST OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR ALL WORK AS SHOWN ON THE DRAWINGS SPECIFIED HEREIN AND AS REQUIRED BY CONDITIONS AT THE SITE. CAP AND / OR REMOVE ALL EXISTING UTILITIES TO BE REMOVED AND / OR ABANDONED OR RELOCATE AS REQUIRED IN ACCORDANCE WITH PROJECT REQUIREMENTS, SITE CONDITIONS, AND / OR AGENCIES HAVING JURISDICTION.

- 1. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS OR AMBIGUITIES IN AND BETWEEN THE PLANS, DRAWINGS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE PLANS, DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM IN PROPER FORM FOR EXECUTION.
- 2. CONTRACTOR SHALL COMPLY WITH THE CURRENT NYS BUILDING CODE FOR SAFETY OF PUBLIC AND PRIVATE PROPERTY DURING CONSTRUCTION OPERATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH AND VERIFY ANY AND ALL SITE CONDITIONS THAT AFFECT HIS WORK.
- 4. PERFORM ALL EXCAVATION, DEMOLITION & REMOVAL WORK IN AN ORDERLY MANNER TO PREVENT DAMAGE TO THE PORTIONS OF THE BUILDING TO REMAIN.
  - ALL NECESSARY AND / OR REQUIRED SHORING, NEEDLES, JACKS, TEMPORARY BEAMS, BRACING, AND OTHER SUPPORTS SHALL BE PROVIDED AND INSTALLED TO SUPPORT EXISTING CONSTRUCTION TO REMAIN WHILE REMOVING ITEMS TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING ALL FORMS AND OBTAINING ALL PERMITS REQUIRED BY THE LOCAL AUTHORITY.
- 5. PRIOR TO ANY EXCAVATIONS, DEMOLITION AND/OR REMOVALS IT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY ALL CORPORATIONS, ADJACENT PROPERTY OWNERS, UTILITY COMPANIES AND / OR LOCAL AUTHORITIES OWNING CONDUIT, WIRES, PIPES OR OTHER UTILITIES RUNNING TO OR ON THE PROPERTY OR IN AREAS AFFECTED BY THIS CONSTRUCTION AND/OR OTHERWISE REQUIRED BY THE TOWN OR LOCAL AGENCIES HAVING JURISDICTION. CAP AND REMOVE ALL ABANDONED UTILITY LINES OR RELOCATE AS REQUIRED IN ACCORDANCE WITH THE INSTRUCTIONS FROM THE UTILITY COMPANIES OR LOCAL AUTHORITIES HAVING JURISDICTION. OBTAIN ALL PERMITS THAT MAY BE REQUIRED BEFORE WORK COMMENCES.
- 6. PROTECT AND MAINTAIN ACTIVE CONDUITS, PIPES, WIRES, ALL WALLS, (BEARING AND NON-BEARING) ETC. WHICH ARE TO REMAIN.
- 7. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL BURIED OR CONCEALED UTILITIES AND STRUCTURES AND TO PROTECT, DISCONNECT, AND / OR SEAL ALL UTILITIES FROM ANY DAMAGE PRIOR TO COMMENCEMENT OF ANY WORK.

DAMAGE TO ANY EXISTING PAVEMENTS, UTILITIES OR STRUCTURES TO REMAIN MUST BE REPAIRED TO THEIR ORIGINAL CONDITION OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

REMOVE FROM THE SITE ALL DEMOLISHED MATERIAL, EXCAVATED MATERIALS, LOOSE DEBRIS, ENCUMBRANCES AND THE LIKE. PROVIDE DISPOSAL RECEIPTS FROM APPROVED LANDFILL AREA. THE DEBRIS SHALL BE REMOVED FROM THE PREMISES IN A MANNER THAT INSURES AGAINST INJURY OR DAMAGE WHICH MIGHT OCCUR FROM FALLING DEBRIS OR OTHER CAUSES. IN NO CASE SHALL DEBRIS BE THROWN FROM WINDOWS OR THE ROOF. DO NOT BURY OR BURN ANY DEBRIS ON THE PROPERTY.

THIS CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR DEMOLITION AND FOR ALL OTHER WORK AS MAY BE REQUIRED.

THIS CONTRACTOR TO PROVIDE AND INSTALL ALL PROPER BRACING, SUPPORT, SHORING, UNDERPINNING AND PROTECTION OF EXISTING AND ADJACENT STRUCTURES, ETC. THAT ARE TO REMAIN.

THE CONTRACTOR SHALL PATCH ALL FINISHES THAT ARE DISTURBED BY THE WORK WITH LIKE MATERIALS TO THE EXTENT THAT THE FINISHED PRODUCT APPEARS COMPLETE AND INCONSPICUOUS.

WHERE EXISTING WALLS ARE SHOWN TO BE REMOVED, AND/OR NEW OPENINGS ARE SPECIFIED IN EXISTING WALLS, THE CONTRACTOR SHALL ADEQUATELY BRACE/SUPPORT THE EXISTING FLOORS, CEILINGS, ROOFS, AND OTHER STRUCTURAL ELEMENTS UNTIL THE NEW HEADERS, GIRDERS, BEAMS, OR WALLS ARE INSTALLED AS SPECIFIED.

DISPOSE OF ALL (IF ANY) HAZARDOUS MATERIAL OR ASBESTOS IN AN APPROVED MANNER AS REQUIRED BY FEDERAL, STATE AND LOCAL AGENCIES (I.E. EPA).

THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL FENCING, BARRIERS, ETC. AS REQUIRED TO PROVIDE FOR THE SAFETY OF THE PUBLIC AND THE PROTECTION OF THE BUILDING AND SITE. POSSIBLE INQUIRY PROVIDE ALL NECESSARY TEMPORARY PARTITIONS, ENCLOSURE COVERINGS AND THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FENCING, TEMPORARY CLOSURES, GUARDRAILS, BARRICADES, ETC., TO ADEQUATELY PROTECT ALL WORKMEN, OWNERS AND THE PUBLIC FROM

THE LIKE OF THE APPROVED MATERIALS AND CONSTRUCTION FOR THE EXCLUSION OF THE WEATHER, DUST AND DEBRIS FROM THE EXISTING BUILDING AND FOR CONFINING THE DUST AND DEBRIS IN THE ROOMS AND SPACES WITHIN THE BUILDING IN WHICH OPERATIONS ARE BEING PERFORMED.

THE CONTRACTOR SHALL NOT LOAD OR PERMIT ANY PART OF THE EXISTING BUILDING TO BE LOADED WITH ANY DEMOLITION DEBRIS, MATERIALS OR EQUIPMENT THAT MAY ENDANGER ITS SAFETY.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS IN CONNECTION WITH THE EXISTING CONSTRUCTION SO AS NOT TO DISTURB ANY EXISTING BEARING WALLS, COLUMNS, ETC. ALL INDUSTRY STANDARDS AND SAFETY PRECAUTIONS MUST BE TAKEN INCLUDING COMPLIANCE WITH OSHA REGULATIONS.

ADJACENT PROPERTY, SURFACES AND IMPROVEMENTS SHALL BE CLEANED OF DUST, DIRT AND DEBRIS CAUSED BY NEW WORK. RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK. BUILDING SHALL BE LEFT IN BROOM CLEAN CONDITION AT THE END OF ALL WORK. REMOVAL AS DESCRIBED HEREIN SHALL BE ACCOMPLISHED WITHOUT STORING EXCESSIVE QUANTITIES OF ANY MATERIALS, RUBBISH, DIRT, DEBRIS OR WASTE OF ANY SORT RESULTING FROM THE REMOVAL OR CONSTRUCTION OPERATIONS;

THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL EXCAVATIONS, DEMOLITION AND REMOVALS REQUIRED TO ALLOW FOR NEW CONSTRUCTION WHETHER OR NOT INDICATED ON THE PLANS. INFORMATION SHOWN ON THE PLANS IS BASED ON FIELD OBSERVATIONS AND AS SUCH, THE CONTRACTOR IS CAUTIONED THAT ANY UNFORESEEN CONSTRUCTION OR CONDITIONS NOT INDICATED OR READILY VISIBLE SHALL BE REMOVED, RELOCATED, AND / OR REPLACED AT NO ADDITIONAL COST TO THE OWNER AS DIRECTED BY THE ARCHITECT.

OPENINGS, VOIDS OR FINISHED SURFACES CREATED BY REMOVAL OR ALTERATION OF EXISTING WORK SHALL BE CLOSED OR PATCHED FLUSH WITH EXTERIOR/INTERIOR SURFACES READY TO RECEIVE NEW FINISHES AS SCHEDULED. CLEAN, PATCH AND LEVEL EXISTING PARTITIONS TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED. PATCH ALL HOLES, CRACKS, ETC. AND MAKE LEVEL AT ADJOINING SURFACE.

CONTRACTOR SHALL COORDINATE WITH ARCHITECT REGARDING ALL ITEMS OF DEMOLITION NOT IMPLIED OR SPECIFIED ON DRAWINGS OR SPECIFICATIONS.

PILES SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE NYS BUILDING CODE AND 22. THE CONTRACT SPECIFICATIONS AND SHALL NOT BE DRIVEN BELOW THE TIPS OF THE PILES SUPPORTING THE EXISTING BUILDING. SEE COUNTRY FOR INFORMATION.

CONTRACTOR SHALL FURNISH TO THE COUNTY, BEFORE ANY PILE INSTALLATION, AN IDENTIFYING LOCATION PLAN OF ALL PILES. CONTRACTOR SHALL ALSO FURNISH CERTIFICATES OF COMPLIANCE FROM AN INDEPENDENT TESTING AGENCY VERIFYING MATERIALS TO BE USED, PILE LENGTHS AND DESIGN INFORMATION PERTAINING TO THE PILES TO BE USED ON THE PROJECT.

HIGHEST WATER LEVEL HAS BEEN ASSUMED TO BE BELOW FIRST FLOOR LEVEL. HIGHEST WATER LEVEL IS ABOVE BOTTOM OF TUNNELS, RAMPS, EJECTION ROOM, ELEVATOR AND MECHANICAL PITS. SHEET PILE AND DEMATER AS REQUIRED.

- 25. KEEP BOTTOM OF PILE CAPS, GRADE BEAMS AND SLABS WELL DRAINED AND DRY UNTIL CONCRETE HAS CURED.
- 26. BACKFILLING AGAINST GRADE BEAMS OR TUNNEL WALLS IS TO BE DONE SIMULTANEOUSLY AGAINST BOTH SIDES.
- 27. PILE GROUPS AND CAPS TO BE CENTERED ON COLUMN LINES EXCEPT WHERE NOTED.
- 28. WHEN SLABS ARE SUPPORTED ON FILL OR BACKFILL THE FILL SHALL BE PROPERLY AND THOROUGHLY COMPACTED IN LAYERS NOT EXCEEDING 8" USING A VIBRATORY ROLLER.
- 29. BEFORE ANY SLABS ON GRADE ARE PLACED, THE SOIL SHOULD BE ROLLED WITH A MINIMUM OF THREE PASSES WITH A VIBRATORY ROLLER OF AT LEAST 10 TON CAPACITY.
- 30. PLACE SLABS ON GRADE IN A CHECKERBOARD MANNER IN APPROX. SQUARE AREAS OF 2,000 SQUARE FEET. PROVIDE KEYED JOINTS AS SHOWN IN DETAILS. PROVIDE 1/2" PREMOLDED FILLERS AROUND COLUMNS AND ALONG GRADE BEAMS AND ALONG WALLS AT TUNNEL AND RAMPS.
- 31. ANY SLAB ON GRADE WHICH IS PITCHED SHALL MAINTAIN UNIFORM THICKNESS.
- 32. CONSTRUCTION JOINTS IN WALLS SHALL BE VERTICAL JOINTS LOCATED A MINIMUM DISTANCE OF 4'-0" FROM ANY WALL OPENINGS. MAXIMUM DISTANCE BETWEEN JOINTS SHALL BE 60'-0" LOCATED MIDWAY BETWEEN PILE CAPS.
- 33. EXISTING STRUCTURES SHALL BE MONITORED BY THE CONTRACTOR BY ESTABLISHING SETTLEMENT MARKERS ON THE EXISTING BUILDING AND READING THEM WHENEVER NEW PILES ARE DRIVEN WITHIN 25 FEET PROXIMITY. IF ANY SETTLEMENT OCCURS, NOTIFY THE ENGINEER IMMEDIATELY.

IMPACT ARCHITECTURE  
399 CONKLIN ST SUITE 208  
FARMINGDALE NY 11735  
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631-339-0590

NO.	REASON FOR ISSUE	DATE
	OWNER REVIEW	3/21/2024
	OWNER REVIEW	4/11/2024
	OWNER REVIEW	4/29/2024
	OWNER REVIEW	5/13/2024
	BID SET	7/17/2024
	BUILDING DEPARTMENT	8/13/2024
	BUILDING DEPARTMENT	10/4/2024

ALTERATION AND ADDITION TO:  
PALMER RESIDENCE  
33 10TH STREET  
CARLE PLACE, NY 11514

- GENERAL NOTES
- 
- 
- 

DRAWN BY:		
ERC		
CHECKED:	PROJECT No.	
MEK	2416	

RESISTED ARCHITECT  
JAMES J. MORDANT  
STATE OF NEW YORK  
A-7

ALL CONSTRUCTION SHALL COMPLY WITH THE MOST CURRENT BUILDING CODE OF NEW YORK

SITework

- 1. Remove top soil and stockpile on property for reuse during final grading.
2. In laying out footings, the front, side, and rear yards shall conform to zoning laws.
3. All foundations and buildings shall be placed a minimum of 1'-0" into undisturbed soil...

LANDSCAPING

- 1. The contractor shall remove all trees, shrubs, bushes, and plantings in the area of the work, and remove and/or relocate them as directed by the Owner.
2. The contractor shall take due care and exercise good judgment to minimize damage to adjacent trees, shrubs, plantings, and grass areas.

WOOD FRAMING

- 1. Unless otherwise shown on the drawings, all structural framing lumber shall be #2 grade, or better. Douglas Fir Larch (joists, studs, rafters, girders, headers, trimmers, etc.), and shall conform to the sizes shown on the drawings.
2. All framing shall be spaced 16" o.c., unless otherwise noted on the drawings or supporting beams 12" o.c.

THERMAL AND MOISTURE

- 1. Place a copper termite shield underneath the wood sill and fiberglass sill sealer.
2. All wood that comes in contact with any concrete surface shall be treated lumber type ACO.
3. The wood sill around the house or area to be pressure treated lumber type ACO.

HEATING AND AIR CONDITIONING

- 1. All mechanical work shall be installed in strict accordance with the 2010 Residential Code of New York State, the New York State Energy Conservation Code, SMACNA, and all local rules and regulations.
2. All plumbing work shall be installed in accordance with the National Standard Plumbing Code and all local codes having jurisdiction.

PLUMBING

- 1. ENTIRE PLUMBING INSTALLATION SHALL CONFORM NATIONAL PLUMBING CODE AND TO STATE AND LOCAL BUILDING CODES AND ALL AGENCIES HAVING JURISDICTION.
2. SUPPLY AND INSTALL SHUT-OFF VALVES, WITH CHROME FINISH, ON HOT AND COLD WATER LINES AT EACH PLUMBING FIXTURE.
3. HOT AND COLD WATER PIPING ABOVE GROUND SHALL BE TYPE 'L' COPPER AND TYPE 'K' COPPER BELOW GROUND.

GAS SERVICE AND PIPING NOTES

- 1. INSTALLATION OF NEW GAS SERVICE AND PIPING SHALL CONFORM TO LOCAL UTILITY, STATE AND LOCAL AGENCIES REQUIREMENTS & SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PAYING ALL FEES, AND HAVING WORK SIGNED OFF BY ALL AGENCIES HAVING JURISDICTION.

DOORS AND WINDOWS

- 1. Exterior doors shall be as indicated on the door schedule.
2. All doors shall be glazed with safety glass.
3. All doors shall be installed in strict accordance with the manufacturer's instructions and recommendations.

FLOORING

- 1. Where indicated on the plans, floors shall be finished with 3/4" thick No.1 common Red Oak on rosin paper, and finished with two coats of polyurethane. Sealant and polyurethanes shall be compatible with each other for proper adhesion and curing.
2. Where indicated on the plans, new floors shall be finished with carpet (selected by Owner). Where carpet installed, the Contractor shall provide 1/2" solid core plywood underlayment, BC or better, nailed or screwed to the subfloor at 8" center.

DRYWALL

- 1. All walls and ceilings shall be covered with gypsum wallboard, 1/2" thick, unless otherwise noted.
2. Corner beads shall be applied to all exterior corners.
3. All joints and nails to be covered with tape and three (3) coats of spackle and polished smooth for painting.

PAINTING

- 1. Prime and two coats in color and finish as selected by owner.
2. Interior trim and door casings shall be 2 1/2" clear colonial casing, or shall match the existing.
3. Contractor shall select and fill oil nail holes.

ELECTRICAL

- 1. The Contractor shall provide all necessary electrical wiring as well as all outlets and switches required in accordance with the current Residential Code of New York State, and the National Electrical Code.
2. The Contractor shall install all overhead fuses, exhaust hoods, light fixtures, and appliances.
3. The Contractor shall select and purchase all fixtures.

SMOKE DETECTORS

- 1. Smoke detectors shall be provided on fire-rated walls with battery back-up. All smoke detectors shall be UL listed and approved by the Underwriters Laboratories, Inc.
2. All electrical work shall be installed in such a manner that the structural integrity of beams, headers, posts, girders, and other structural members is not compromised.

ASBESTOS ABATEMENT (GLOVE BAG)

- 1. GENERAL
2.1) ALL ASBESTOS OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS AS STIPULATED IN INDUSTRIAL CODE SE 6 PART 56 OF TITLE 12 NYCRR NY STATE DEPARTMENT OF LABOR.
3. ASBESTOS REMOVAL
3.1) DRY REMOVAL OF ASBESTOS WILL NOT BE PERMITTED.
3.2) PREPARE SITE AS SPECIFIED UNDER OTHER SECTIONS OF THE SPECIFICATIONS.

ASBESTOS ABATEMENT (GLOVE BAG)

- 1.1) INSTALLATION OF GLOVEBAGS:
1.1.1) PLACE ALL REQUIRED TOOLS IN TOOL POUCH.
1.1.2) SEAL SIDES OF GLOVEBAG AROUND JOINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
1.1.3) INSERT WETTING NOZZLE IN PORTHOLE AND SEAL WITH DUCT TAPE.
1.1.4) INSERT HEPA VACUUM NOZZLE IN PORTHOLE AND SEAL WITH DUCT TAPE.

DECONTAMINATION PROCEDURES

- 1.1) If additional sections of pipe insulation are to be removed, loose connections and slide bag over next section to be removed. Reconnect and repeat stripping procedure.
1.1.2) Refer to manufacturer's literature for guidance on how much insulation can be removed per bag. When bag has reached its capacity, or all insulation has been removed from that pipe, begin procedure to remove bag from pipe.
1.1.3) Wash off both end and place in tool pouch or pull into end of glove.

ASBESTOS ABATEMENT (GLOVE BAG)

- 1.1) Disposal of asbestos-containing materials as asbestos contaminated waste. As the work progresses, and to prevent exceeding allowable storage capacity on site, remove sealed and labeled containers of asbestos waste and dispose of such containers to an authorized disposal site in accordance with the requirements of disposal authority and EPA.
2.1) Dispose of asbestos-containing materials as asbestos contaminated waste. As the work progresses, and to prevent exceeding allowable storage capacity on site, remove sealed and labeled containers of asbestos waste and dispose of such containers to an authorized disposal site in accordance with the requirements of disposal authority and EPA.

TABLE 602.3 2015 IRC

Table with 3 columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENERS. Includes rows for Roof, Ceiling joists to top plate, Ceiling joist not attached to parallel rafter, etc.

TABLE R301.5 MIN. UNIFORMLY DISTRIBUTED LIVE LOADS

Table with 2 columns: USE, LIVE LOAD. Includes rows for ATTICS WITH LIMITED STORAGE, DECKS, EXTERIOR BALCONIES, FIRE ESCAPES, etc.

TABLE R401.1.1 PRELIMINARY LOAD BEARING VALUES

Table with 4 columns: CLASS OF MATERIAL, MATERIAL, LOAD BEARING CAPACITY (POUNDS PER SQUARE FOOT), REMARKS.

LINTEL SCHEDULE

Table with 4 columns: MAXIMUM OPENING, 4" BRICK OR STONE VENEER, 6" CMU WALL, 8" CMU WALL, 10" CMU WALL, 12" CMU WALL.

JACK STUD REQUIREMENTS

Table with 4 columns: HEADERS/SUPPORTS (SPAN/FT), HEADERS/SUPPORTS (SPAN/FT), HEADERS/SUPPORTS (SPAN/FT), HEADERS/SUPPORTS (SPAN/FT).

WALL STUD SPACING

Table with 2 columns: HEADERS/SUPPORTS (SPAN/FT), NUMBER OF FULL HEIGHT STUDS REQUIRED AT EACH END OF HEADER.

ASPHALT SHINGLE NAILING SCHEDULE

Table with 3 columns: BASIC WIND SPEED, NUMBER AND TYPE OF FASTENER. Includes rows for LOWER THAN 110 MPH WIND SPEED, 110 MPH OR GREATER AND THE EAVE, etc.

CEILING HEIGHT / ROOF RIDGE HEIGHT

Table with 2 columns: CEILING HEIGHT / ROOF RIDGE HEIGHT, HEEL JOINT CONNECTION ADJUSTMENT FACTORS.

TABLE R401.1.1 PRELIMINARY LOAD BEARING VALUES

Table with 4 columns: CLASS OF MATERIAL, MATERIAL, LOAD BEARING CAPACITY (POUNDS PER SQUARE FOOT), REMARKS.

ALTERATION AND ADDITION TO: PALMER RESIDENCE

399 CONKLIN ST SUITE 208 FARMINGDALE NY 11735 WWW.IMPACTARCHITECTURE.COM 631-339-0590

REASON FOR ISSUE

Table with 3 columns: NO., REASON FOR ISSUE, DATE. Includes rows for OWNER REVIEW, OWNER REVIEW, OWNER REVIEW, BID SET, BUILDING DEPARTMENT, BUILDING DEPARTMENT.

SPECIFICATIONS

NAILING SCHEDULE

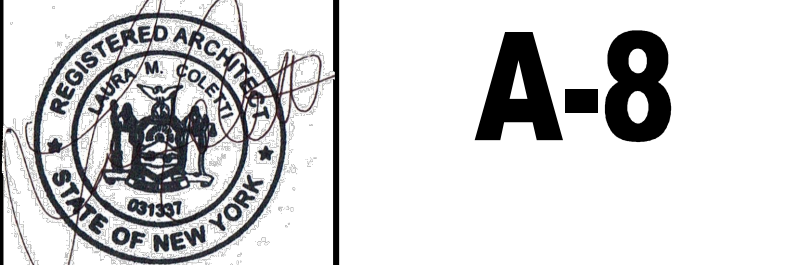
Table with 2 columns: DRAWN BY: ERC, CHECKED BY: MEK. Includes PROJECT No. 2416.

ALTERATION AND ADDITION TO: PALMER RESIDENCE

399 CONKLIN ST SUITE 208 FARMINGDALE NY 11735 WWW.IMPACTARCHITECTURE.COM 631-339-0590

REASON FOR ISSUE

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A-8

**ALL CONSTRUCTION SHALL COMPLY WITH THE MOST CURRENT BUILDING CODE OF NEW YORK ENERGY CERTIFICATION:**

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF, MEET THE REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE - LATEST EDITION.

- REQUIRED CONTROLLED INSPECTIONS**
- CONTROLLED INSPECTION INCLUDE: BORING/TEST PILLS; PILING; CONTROLLED FILLS; SUBGRADE; UNDERPINNING; WELDING; HIGH STRENGTH BOLTS; SHORING; STRUCTURAL STABILITY; MASONRY UNITS; CONCRETE (INCLUDING DESIGN MIX AND CYLINDERS).
  - BEFORE ANY FOUNDATIONS ARE CONSTRUCTED, CONTRACTOR SHALL ESTABLISH BY SURVEY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES AND TRENCHES AND PIPING TO REMAIN IN THE FINISHED WORK. THESE LOCATIONS SHALL BE SUBMITTED ON DRAWINGS TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL EXISTING CONSTRUCTION AND SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO EXTRA COST TO THE OWNER.
  - NO BACK FILLING SHALL BE DONE AGAINST FOUNDATION UNTIL CONCRETE HAS ATTAINED AT LEAST 75% OF ITS 28 DAY STRENGTH. BEFORE
  - COMPACT FILL TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D-1557. SOIL COMPACTION SHALL BE FIELD CONTROLLED BY QUALIFIED LABORATORY OR SOIL ENGINEER.

- CODES & STANDARDS, CURRENT EDITIONS:**
- NEW YORK STATE BUILDING CODE LATEST EDITION.
  - ANSI/ASCE 7-95 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES
  - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318).
  - MANUAL OF STEEL CONSTRUCTION ASD 9TH EDITION (AISC).
  - AMERICAN WELDING SOCIETY (AWS) STRUCTURAL WELDING CODE - STEEL.
  - AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).

- FOUNDATION NOTES:**
- THE EXCAVATION FOR ALL FOOTINGS SHALL HAVE LEVEL, SOLID AND UNDISTURBED BOTTOMS. ALL FOOTINGS SHALL BEAR ON VIRGIN, UNDISTURBED SOIL, MINIMUM DEPTH AS PER DRAWINGS. SOIL BEARING CAPACITY IS ASSUMED AS TWO TONS PER SQUARE FOOT MINIMUM. THE CONTRACTOR SHALL VERIFY SAME IN THE FIELD.
  - MAXIMUM SLOPE BETWEEN BOTTOMS OF FOOTINGS SHALL BE ONE VERTICAL TO TWO HORIZONTAL (STEP FOOTINGS).
  - FOOTING ELEVATIONS & DEPTHS INDICATED ARE BASED ON AND CONSTITUTE THE BEST AVAILABLE INFORMATION. IT MAY BE NECESSARY TO FIELD CONDITIONS IN ORDER TO REACH ADEQUATE BEARING MATERIAL. FOOTINGS SHALL NOT BE CONSTRUCTED UNTIL SOIL, PREPARED FOR BEARING, HAS BEEN REVIEWED BY THE ARCHITECT AND THE LOCAL AUTHORITY.
  - WHERE SLAB ON GRADE IS SUPPORTED ON BACKFILL, THE FILL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 12" TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FILL MATERIAL SHALL BE LIMITED TO WELL GRADED SAND OR SAND AND GRAVEL MIXTURE WITH LESS THAN 10 TO 15% FINES PASSING THE NO. 200 SIEVE AND A MAXIMUM GRAVEL SIZE OF 3/4".
  - FOOTINGS SHALL BE LOCATED SUCH THAT WALLS, COLUMNS, PIERS, FOUNDATION WALLS, ETC. ARE CENTERED OVER FOOTINGS IN BOTH DIRECTIONS UNLESS OTHERWISE NOTED ON THE PLAN.
  - STANDARD PROCEDURES OF FROST PROTECTION FOR FOOTINGS AND FOOTING EXCAVATIONS SHALL BE USED FOR WINTER CONSTRUCTION. BACKFILLING OF FOOTING EXCAVATIONS SHALL BE DONE AS SOON AS POSSIBLE TO PROTECT FOOTINGS FROM FROST ACTION.
  - SLAB ON GRADE, UNLESS OTHERWISE NOTED, SHALL BE 4" THICK, REINFORCED WITH ONE LAYER OF 6x6 W2.9x2.9 WELDED WIRE FABRIC CONFORMING TO ASTM A-185.
  - WELDED WIRE FABRIC FOR CONCRETE SLABS ON GRADE SHALL BE PLACED 2" BELOW TOP OF SLAB. LAP SPLICE OVERLAP LENGTH TO BE 8" AND SHALL BE MEASURED BETWEEN THE OUTERMOST CROSS WIRES OF EACH FABRIC SHEET.

- MASONRY NOTES:**
- HOLLOW LOAD BEARING MASONRY UNITS SHALL CONFORM TO ASTM C90 (GRADE N-I, NORMAL WEIGHT UNITS). ALL STRUCTURAL LOAD BEARING WALLS SHALL BE OF HOLLOW LOAD BEARING MASONRY UNITS.
  - THE MASONRY SHALL HAVE MINIMUM ULTIMATE COMPRESSIVE STRENGTHS OF F<sub>m</sub>=1500 PSI. THE STRENGTH SHALL BE OBTAINED BY USING C.M.U. WITH MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND MORTAR TYPE S OR BY CARRYING OUT PRISM TESTS IN CONFORMANCE WITH ASTM E447-92b.
  - MORTAR SHALL CONFORM TO ASTM C270 TYPE S.
  - GROUT FOR MASONRY WALLS SHALL CONFORM TO ASTM C 476-91.
  - PLACEMENT OF GROUT IN HOLLOW CELLS, PILASTERS, LINTELS AND BOND BEAMS SHALL BE ACCOMPLISHED BY LOW LIFT GROUTING, BUILD CONCRETE MASONRY TO A MAXIMUM HEIGHT OF 4 FEET, INSERT REINFORCEMENT IN DESIGNATED CELLS AND POUR GROUT OF FLUID CONSISTENCY IN CELLS WITH REINFORCEMENT. EXTEND REINFORCEMENT ABOVE THE TOP COURSE 30 BAR DIAMETERS STOP AT THE GRAVEL COURSE 1 1/2" BELOW THE TOP OF THE MASONRY COURSE SO AS TO FORM A KEY WITH THE NEXT LIFT. UNLESS OTHERWISE INDICATED, VERTICAL JOINTS SHALL BE SHOVED TIGHT.
  - HORIZONTAL AND VERTICAL FACE JOINTS SHALL BE 3/8" INCH THICK
  - FOR NON-LOAD BEARING WALL, SEE ARCHITECTURAL DRAWINGS.
  - FOR COLOR OF MASONRY UNITS, SEE ARCHITECTURAL DRAWINGS.
  - PROVIDE 1 #5 AT EACH SIDE OF MASONRY OPENINGS, AT CORNERS, AT ENDS OF WALL AND VERTICAL REINFORCING AS SHOWN ON PLAN (MIN. # 6 @ 24" HIGHT) DOWEL INTO FOUNDATION AND GROUT CELLS SOLID MIN SPLICE LENGTH = 2'-6" FOR #5 & 4'-0" FOR # 6 HOOK REINF AT ENDS.
  - PROVIDE 2 #5 AT EACH BEAM BEARING. GROUT CELLS SOLID
  - PROVIDE MASONRY TIES AT 24" O.C. AT ALL COLUMNS AND BEAMS IN MASONRY WALLS. PROVIDE MASONRY ANCHORS AT 2'-0" O.C. TOP AND BOTTOM OF END JOISTS TO MASONRY WALLS.

- PROVIDE MASONRY ANCHORS AT 24" O.C. AT ALL COLUMNS AND BEAMS IN MASONRY WALLS. PROVIDE MASONRY ANCHORS AT 2'-0" O.C. TOP AND BOTTOM OF END JOISTS TO MASONRY WALLS. MASONRY ANCHORS SHALL HAVE A MIN CAPACITY OF 1200 LB PER ANCHOR AS PER THE NEW YORK STATE BUILDING CODE.
- ALL MASONRY CONSTRUCTION SHALL COMPLY WITH ACI 530 LATEST REV. AND THE MASONRY INSTITUTE.
- FILL TOP COURSE OF MASONRY SOLID W/ MORTAR ( UNLESS NOTED)
- SEE STRUCTURAL DRAWINGS FOR BOND BEAM DETAILS.
- CONTRACTOR SHALL PROVIDE AND ACCEPT FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY BRACING AND SHORING OF MASONRY.
- ALL MASONRY WORK SHALL CONSIST OF MASONRY UNITS OF CONCRETE BLOCK AND BRICK ERECTED PLUMB AND TRUE WITH NEATLY TOOLED JOINTS.
- PROVIDE VERTICAL MASONRY CONTROL JOINTS WITH A SPACING OF APPROX. 25'-0" FOR ALL MASONRY WALLS, INTERIOR AND EXTERIOR LOCATION OF CONTROL JOINTS SHALL BE APPROVED BY ARCHITECT AND ARE TO LINE UP WITH FOUNDATION CONSTRUCTION JOINTS WHEREVER PRACTICAL. PROVIDE JOINT AT +/- 4'-0" FROM CORNERS
- MASONRY CONSTRUCTION SHALL BE INSPECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND AS NOTED ON THE DRAWINGS
- MASONRY CONSTRUCTION SHALL BE INSPECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND AS NOTED ON THE DRAWINGS
- MASONRY WALLS DESIGNED USING WORKING STRESS DESIGN. CONFORM TO A.S.T.M. C90, TYPE '1' WITH A MINIMUM COMPRESSIVE STRENGTH OF F<sub>m</sub> = 1900 PSI.
- MORTAR SHALL BE PORTLAND CEMENT TYPE 'M' OR 'S'. TYPE 'N' FOR BRICK VENEER
- PROVIDE HEAVY DUTY 'LADDER TYPE' DUR-0-WALL AT EACH SECOND COURSE. (MIN SPLICE = 6")
- PROVIDE 1 #5 AT EACH SIDE OF MASONRY OPENINGS, AT CORNERS, AT ENDS OF WALL AND VERTICAL REINFORCING AS SHOWN ON PLAN ( MIN. # 5 @ 24" FULL HEIGHT) DOWEL INTO FOUNDATION AND GROUT CELLS SOLID MIN SPLICE LENGTH = 2'-6" FOR #5 & 4'-0" FOR # 6 HOOK REINF AT ENDS
- PROVIDE 2 #5 AT EACH BEAM BEARING. GROUT CELLS SOLID
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- PROVIDE MASONRY ANCHORS AT 24" O.C. AT ALL COLUMNS AND BEAMS IN MASONRY WALLS. PROVIDE MASONRY ANCHORS AT 2'-0" O.C. TOP AND BOTTOM OF END JOISTS TO MASONRY WALLS. MASONRY ANCHORS SHALL HAVE A MIN CAPACITY OF 1200 LB PER ANCHOR AS PER THE NEW YORK STATE BUILDING CODE.
- GROUT TO BE FC 2000 PSI PER ASTM C476
- ALL MASONRY CONSTRUCTION SHALL COMPLY WITH ACI 530 LATEST REV. AND THE MASONRY INSTITUTE.
- FILL TOP COURSE OF MASONRY SOLID W/ MORTAR ( UNLESS NOTED)
- SEE STRUCTURAL DRAWINGS FOR BOND BEAM DETAILS.
- CONTRACTOR SHALL PROVIDE AND ACCEPT FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY BRACING AND SHORING OF MASONRY.
- ALL MASONRY WORK SHALL CONSIST OF MASONRY UNITS OF CONCRETE BLOCK AND BRICK ERECTED PLUMB AND TRUE WITH NEATLY TOOLED JOINTS.
- PROVIDE VERTICAL MASONRY CONTROL JOINTS WITH A SPACING OF APPROX. 25'-0" FOR ALL MASONRY WALLS, INTERIOR AND EXTERIOR LOCATION OF CONTROL JOINTS SHALL BE APPROVED BY ARCHITECT AND ARE TO LINE UP WITH FOUNDATION CONSTRUCTION JOINTS WHEREVER PRACTICAL. PROVIDE JOINT AT +/- 4'-0" FROM CORNERS

- CONCRETE SLABS:**
- ALL SLABS SHALL BE FINISHED AS NOTED ON DRAWINGS, SPECIFICATIONS AND/OR AS REQUIRED FOR FINISH TO BE PROVIDED.
  - PROVIDE RECESSES AS REQUIRED FOR FLOOR FINISHES, SADDLES, ETC.
  - CONSTRUCTION ISOLATION JOINTS (1/2" PREMOULDED FILLER & JOINT SEALER) IN SLABS-ON-GRADE AT POINTS OF CONTACT BETWEEN SLABS-ON-GRADE AND VERTICAL SURFACES, SUCH AS COLUMN, PEDESTALS, FOUNDATION WALLS, GRADE BEAMS, AND OTHER LOCATIONS AS INDICATED.
  - CONSTRUCTION CONTRACTION (CONTROL) JOINTS IN SLABS-ON-GRADE TO FORM PANELS. UNLESS OTHERWISE SHOWN ON DRAWINGS, PROVIDE JOINTS NOT EXCEEDING 15' IN EITHER DIRECTION AND LOCATED TO CONFORM TO BAY SPACING WHEREVER POSSIBLE (AT COLUMN & CENTERLINES, HALF BAYS, THIRD BAYS).

- TO FORM CONTRACTION (CONTROL) JOINTS, USE SAW CUTS 1/4" WIDE BY 1" DEPTH OR INSERTS 1/4" WIDE BY 1/4 DEPTH UNLESS OTHERWISE INDICATED.
- LOCATION OF ALL JOINTS IN CONCRETE TO BE COORDINATED BY GENERAL CONTRACTOR WITH JOINTS IN FLOOR AND WALL FINISHES AND SHALL BE REVIEWED WITH AND APPROVED BY THE ARCHITECT PRIOR TO POURING OF SLABS.
- PROPER CURING PROCEDURE SHALL BE USED FOR SLAB-ON-GRADE TO PREVENT SLAB CURL.

**CONCRETE:**

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND ACI-301 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ALL CONCRETE (28 DAYS) SHALL BE 3,500 PSI CONTROLLED STONE OR GRAVEL CONCRETE, 6% AIR- ENTRAINED WHERE EXPOSED.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60, EXCEPT STRIPS, AND TIES WHICH MAY BE GRADE 40.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- REINFORCING BARS SHALL BE SPLICED A MINIMUM OF 48 DIAMETERS OR 24", WHICHEVER IS GREATER, UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVERING OF REINFORCING STEEL SHALL BE AS FOLLOWS:

3/4"	FOR SLABS
1"	FOR INSIDE FACE OF WALLS
1-1/2"	FOR BEAMS AND COLUMNS
1-1/2"	FOR FORMED CONCRETE SURFACES EXPOSED TO WEATHER
2"	FOR FORMED CONCRETE SURFACES EXPOSED TO EARTH
3"	FOR FOOTINGS AND BEAMS POURED DIRECTLY AGAINST SOIL

- PROVIDE TWO #6 BARS MINIMUM ALL SIDES AROUND WALL OPENINGS. EXTEND HORIZONTAL BARS 2'-0" PAST OPENING ON EACH SIDE. EXTEND VERTICAL BARS FOR FULL HEIGHT OF WALL.
- ALL FOUNDATION WALLS 12" THICK OR GREATER SHALL RECEIVE TWO #5 CONTINUOUS TOP AND BOTTOM BARS UNLESS OTHERWISE NOTED.
- MINIMUM LAP TOP BARS ON MIDSPAN AND BOTTOM BARS AT SUPPORTS.
- NON-SHRINK GROUT SHALL BE NON-METALLIC, HIGH-STRENGTH WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
- PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SEPARATELY IN PLACE WHILE PLACING CONCRETE.
- THE CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL SLEEVES, INSERTS, ANCHOR BOLTS, ETC. REQUIRED BY OTHER TRADES. INSTALLATION OF ALL SUCH EMBEDMENT SHALL BE CHECKED FOR COMPLETENESS AND LOCATION BEFORE CONCRETE IS POURED AND COORDINATED WITH SHOP DRAWINGS OF TRADES REQUIRING THESE ITEMS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6"
- ALL TEMPORARY OPENINGS AND BEAM OR COLUMN POCKETS SHALL BE FILLED. PROVIDE 2x4 KEY AROUND OPENING OR POCKET, TYPICAL ALL LOCATIONS. EXPANSION AND CONTROL JOINTS BETWEEN CONCRETE MEMBERS SHALL BE FILLED WITH APPROVED MATERIAL. SEE SPECIFICATIONS FOR DETAILS.
- NO CONSTRUCTION SHALL INCLUDE IN THE BID FOR ALL REINFORCEMENT. UNLESS OTHERWISE NOTED, THE FOLLOWING PERCENTAGE OF THE GROSS SECTIONAL AREA SHALL BE PROVIDED AS MINIMUM REINFORCEMENT:

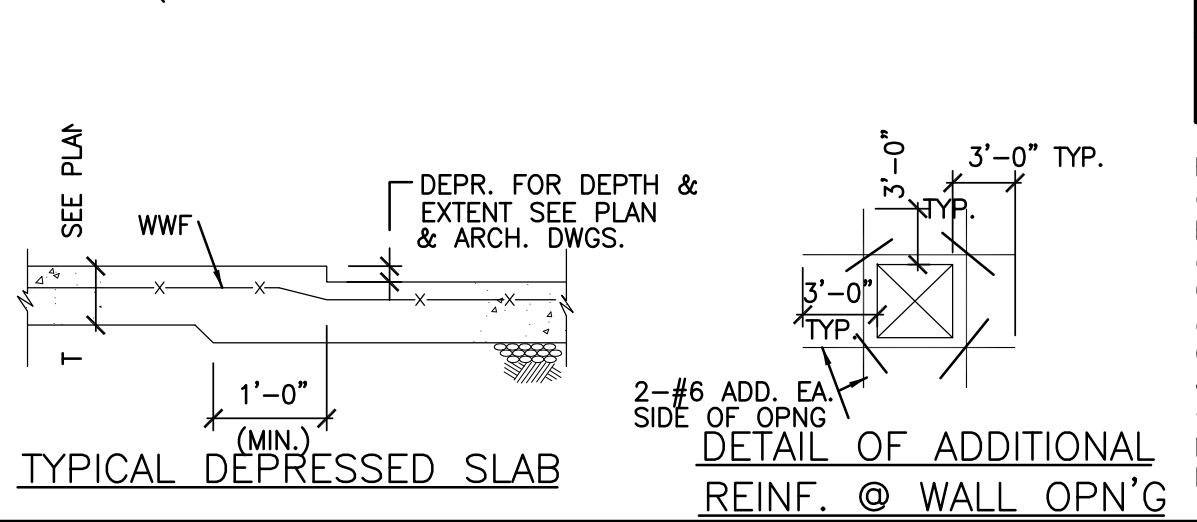
SLABS, TOP AND BOTTOM	0.20%
BEAMS, TOP AND BOTTOM	0.33%
STIRRUPS	#3 AT 8"
COLUMNS, VERTICAL	1.0%
COLUMNS, VERTICAL TIES	#3 AT 12"
WALLS	SEE TYPICAL WALL DETAILS

- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, SLEEVES FOR PIPING, ETC. THROUGH WALLS SHALL BE STEEL PIPE SLEEVES OF NOMINAL DIAMETER 2" LARGER THAN THE NOMINAL SIZE OF THE PIPE PENETRATING THE WALL. THE THICKNESS OF THE SLEEVE SHALL CONFORM TO SCHEDULE NO. 40 BUT NEED NOT BE MORE THAN 3/8".
- BACKFILL WITH LEAN CONCRETE TO BOTTOM OF FOOTING AROUND ALL PIPING ETC., PASSING BELOW FOOTINGS. MINIMUM LENGTH OF LEAN CONCRETE ENCASEMENT SHALL BE FOOTING WIDTH PLUS 4".
- WHERE NEW CONCRETE IS TO BE PLACED AGAINST EXISTING CONCRETE SURFACES, THE EXISTING SURFACE SHALL BE ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4". THE SURFACE SHALL BE CLEANED AND LANTANCE REMOVED IMMEDIATELY. ALL CONSTRUCTION JOINTS SHALL BE MOISTENED AND STANDING WATER REMOVED BEFORE THE NEW CONCRETE IS PLACED.
- CONTRACTOR SHALL INCLUDE IN THE BID FOR ALL TESTING AND REPORTS. PROVIDE FOUR TEST CYLINDERS FOR EACH 50 CU. YDS. OR FRACTION THEREOF IN ANY ONE DAY'S PLACING.
- THREE TEST CYLINDERS SHALL BE TAKEN FOR EACH DAYS POUR AND FOR EACH 50 YARDS OF EACH CONCRETE TYPE ONE TESTED AT 7 DAYS, 2 AT 28 DAYS. RESULTS SHALL BE FORWARDED TO THE ARCHITECT/ENGINEER.

**CONCRETE "CONTD"**

- DETAILS OF DESIGN FOR CONCRETE AND REINFORCING SHALL**
- CONFORM TO THE CURRENT EDITION OF THE ACI CODE AND THE MANUAL OF CONCRETE PRACTICE.
  - ALL CONCRETE EXCEPT THAT FOR ELEVATED SLABS ON COMPOSITE METAL DECK IS TO BE STONE CONCRETE. CONCRETE FOR ELEVATED SLABS TO BE LIGHTWEIGHT CONCRETE HAVING A WEIGHT OF 115 LBS/CUBIC FOOT MAXIMUM. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS TO BE AS FOLLOWS: 4,000 PSI - SLABS ON GRADE, FILL FOUNDATIONS. 3,500 PSI - ALL LIGHTWEIGHT CONCRETE.
  - CONCRETE TO HAVE THE FOLLOWING SLUMP: 4" LIGHTWEIGHT CONCRETE - MAX. 5". ALL OTHER CONCRETE - MAX. 4".
  - CONCRETE FOR STRUCTURAL SLAB ON GROUND TO CONTAIN A MINIMUM OF 2% TO 3% MAXIMUM OF 4% AIR BY VOLUME.
  - STEEL REINFORCEMENT RODS AND BARS SHALL CONFORM TO ASTM DESIGNATION A615, GRADE 60. WELDED WIRE FABRIC W/ F<sub>m</sub> REINFORCING SHALL CONFORM TO ASTM A185 Fy=60 KSI.
  - TEMPERATURE REINFORCEMENT, SPLICES, SUPPORTS FOR REINFORCEMENT SHALL CONFORM TO ALL REQUIREMENTS OF ACI 318 (LATEST EDITION) UNLESS NOTED.
  - THE CONTRACTOR SHALL SUBMIT DRAWINGS SHOWING LOCATIONS OF ALL CONSTRUCTION JOINTS FOR REVIEW AND APPROVAL OF THE ENGINEER.
  - CONCRETE TO BE CUT SHALL BE SAW CUT ON SURFACE WITH MINIMUM 1" DEPTH.
  - WIRE CLIPS FOR ATTACHMENT OF CONCRETE ENCASEMENT TO COLUMNS TO BE GALVANIZED 4x4-14/14 W.M.F.F.
  - CONCRETE COVERING OF MAIN REINFORCING STEEL SHALL BE MINIMUM OF 3/4" FOR ELEVATED SLABS, 2" FOR PIERS AND WALLS, 3" FOR CONCRETE PLACED ON SOIL AND SLAB ON GRADE.
  - ALL SLEEVES, PIPING INSERTS, ETC. TO BE EMBEDDED IN CONCRETE SHALL BE PLACED BEFORE CONCRETE IS POURED.
  - ALL DOWELS SHALL BE THOROUGHLY CLEANED AND PROTECTED WITH A CEMENT WASH.
  - ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL CONFORM WITH THE PROVISIONS OF THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AS MODIFIED BY BONY CHAPTER 19 AND LOCAL BUILDING CODES; IF THERE SHOULD BE ANY CONFLICT BETWEEN THESE CODES, THE LOCAL BUILDING CODES SHALL TAKE PRECEDENCE. COMPLY WITH CHPT 1908 OF BONY FOR AMENDMENTS TO ACI 318
  - CONCRETE (F<sub>c</sub>) SHALL BE AS FOLLOWS: ( AT 28 DAYS) A) FOUNDATION: 4,000 PSI STONE (AIR ENTRAINED) PER TABLE 1904.2.2(2) B) SLAB ON GRADE: 3,500 PSI STONE PER TABLE 1904.2.2(2) C) ON METAL DECK 4000PS1 LWT 16. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT REQUIREMENTS OF ASTM A615-60 EXCEPT AS FOLLOWS:

- WELDED STEEL WIRE FABRIC - ASTM A185
- IN ORDER TO MAINTAIN THE LATERAL STABILITY OF THE SOIL FOR ALL ISOLATED FOUNDATION PIERS AND PROPER BEDDING OF BOTTOM OF FOOTINGS OR PIERS, THE GENERAL METHOD SHOWN IN THE EXTENDED FOUNDATION SECTION SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEERS.
- ALL FOOTINGS SHALL BEAR ON 3 TON PER SQ. FT. (PER CHAPTER 1804 OF BONY) CAPACITY MATERIAL AND SHALL BE CERTIFIED BY SOILS ENGINEER/TESTING LAB. ALL CERTIFICATIONS SHALL BE PER CHAPTER 17 OF THE BONY SOILS INVESTIGATIONS SHALL COMPLY WITH SECTION 1802 OF THE BONY.
- FOOTINGS AT DIFFERENT LEVELS SHALL BE STEPPED, SO THAT THE CLEAR DISTANCE BETWEEN ADJACENT BOTTOM EDGES SHALL NOT EXCEED A SLOPE OF ONE VERTICAL TO TWO HORIZONTAL (PER SECTION 1805.1 OF THE BONY.



- VERTICAL CONSTRUCTION JOINTS IN WALLS OR GRADE BEAMS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF SPAN. PREFERABLY IN BAYS HAVING NO OPENINGS. HORIZONTAL CONSTRUCTION JOINTS IN WALLS SHALL BE AVOIDED AS FAR AS PRACTICABLE.
- BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS OR GRADE BEAMS UNTIL THE CONCRETE IS OF SUFFICIENT STRENGTH AND UNTIL THERE WALLS ARE PROPERLY BRACED, TOP AND BOTTOM, BY THE HORIZONTAL FLOOR SLAB OR TIES WHICH MAY BE GRADE 40.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- REINFORCING BARS SHALL BE SPLICED A MINIMUM OF 48 DIAMETERS OR 24", WHICHEVER IS GREATER, UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVERING OF REINFORCING STEEL SHALL BE AS FOLLOWS:
- FOR SLABS: 3/4"
- FOR INSIDE FACE OF WALLS: 1"
- FOR BEAMS AND COLUMNS: 1-1/2"
- FOR FORMED CONCRETE SURFACES EXPOSED TO WEATHER: 1-1/2"
- FOR FORMED CONCRETE SURFACES EXPOSED TO EARTH: 2"
- FOR FOOTINGS AND BEAMS POURED DIRECTLY AGAINST SOIL: 3"
- PROVIDE TWO #6 BARS MINIMUM ALL SIDES AROUND WALL OPENINGS. EXTEND HORIZONTAL BARS 2'-0" PAST OPENING ON EACH SIDE. EXTEND VERTICAL BARS FOR FULL HEIGHT OF WALL.
- ALL FOUNDATION WALLS 12" THICK OR GREATER SHALL RECEIVE TWO #5 CONTINUOUS TOP AND BOTTOM BARS UNLESS OTHERWISE NOTED.
- MINIMUM LAP TOP BARS ON MIDSPAN AND BOTTOM BARS AT SUPPORTS.
- NON-SHRINK GROUT SHALL BE NON-METALLIC, HIGH-STRENGTH WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
- PROVIDE PROPER HIGH CHAIRS, SPACERS AND SUPPORTS TO HOLD REINFORCING SEPARATELY IN PLACE WHILE PLACING CONCRETE.
- THE CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL SLEEVES, INSERTS, ANCHOR BOLTS, ETC. REQUIRED BY OTHER TRADES. INSTALLATION OF ALL SUCH EMBEDMENT SHALL BE CHECKED FOR COMPLETENESS AND LOCATION BEFORE CONCRETE IS POURED AND COORDINATED WITH SHOP DRAWINGS OF TRADES REQUIRING THESE ITEMS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6"
- ALL TEMPORARY OPENINGS AND BEAM OR COLUMN POCKETS SHALL BE FILLED. PROVIDE 2x4 KEY AROUND OPENING OR POCKET, TYPICAL ALL LOCATIONS. EXPANSION AND CONTROL JOINTS BETWEEN CONCRETE MEMBERS SHALL BE FILLED WITH APPROVED MATERIAL. SEE SPECIFICATIONS FOR DETAILS.
- NO CONSTRUCTION SHALL INCLUDE IN THE BID FOR ALL REINFORCEMENT. UNLESS OTHERWISE NOTED, THE FOLLOWING PERCENTAGE OF THE GROSS SECTIONAL AREA SHALL BE PROVIDED AS MINIMUM REINFORCEMENT:

SLABS, TOP AND BOTTOM	0.20%
BEAMS, TOP AND BOTTOM	0.33%
STIRRUPS	#3 AT 8"
COLUMNS, VERTICAL	1.0%
COLUMNS, VERTICAL TIES	#3 AT 12"
WALLS	SEE TYPICAL WALL DETAILS

- CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, SLEEVES FOR PIPING, ETC. THROUGH WALLS SHALL BE STEEL PIPE SLEEVES OF NOMINAL DIAMETER 2" LARGER THAN THE NOMINAL SIZE OF THE PIPE PENETRATING THE WALL. THE THICKNESS OF THE SLEEVE SHALL CONFORM TO SCHEDULE NO. 40 BUT NEED NOT BE MORE THAN 3/8".
- BACKFILL WITH LEAN CONCRETE TO BOTTOM OF FOOTING AROUND ALL PIPING ETC., PASSING BELOW FOOTINGS. MINIMUM LENGTH OF LEAN CONCRETE ENCASEMENT SHALL BE FOOTING WIDTH PLUS 4".
- WHERE NEW CONCRETE IS TO BE PLACED AGAINST EXISTING CONCRETE SURFACES, THE EXISTING SURFACE SHALL BE ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4". THE SURFACE SHALL BE CLEANED AND LANTANCE REMOVED IMMEDIATELY. ALL CONSTRUCTION JOINTS SHALL BE MOISTENED AND STANDING WATER REMOVED BEFORE THE NEW CONCRETE IS PLACED.
- CONTRACTOR SHALL INCLUDE IN THE BID FOR ALL TESTING AND REPORTS. PROVIDE FOUR TEST CYLINDERS FOR EACH 50 CU. YDS. OR FRACTION THEREOF IN ANY ONE DAY'S PLACING.
- THREE TEST CYLINDERS SHALL BE TAKEN FOR EACH DAYS POUR AND FOR EACH 50 YARDS OF EACH CONCRETE TYPE ONE TESTED AT 7 DAYS, 2 AT 28 DAYS. RESULTS SHALL BE FORWARDED TO THE ARCHITECT/ENGINEER.

Concrete forms shall be steel or wood and shall be properly cleaned and oiled before using...

Concrete forms shall be steel or wood and shall be properly cleaned and oiled before using...

Basement exterior foundation walls to be damp-proofed with a trowel on asphalt and asphalt impregnated felts or other approved waterproof coating, to grade line.

Sill anchors shall be a minimum of 5/8" diameter, galvanized steel, hooked bolts, furnished with washers and nuts. Embedment shall be 8" in cast-in-place concrete and 16" in concrete block cells that have cells filled solid with concrete. Anchors shall be located a maximum of 1'-0" from each end of sill and 3'-0" maximum on center. Provide anchors at 1'-0" (max) from each end of joint of the sill plate. Use Simpson Titen HD threaded anchor, 1/2" x 6". All anchors to be installed into a drilled hole, and secured with nut and lock washer over Simpson 'LBPS' 3" x 3" for 5/8" dia. bolt.

- COMPACTED BACKFILL**
- A. MATERIALS**
- FILL AND BACKFILL MATERIAL OBTAINED FROM ON-SITE CUTTING OR EXCAVATION OR SOURCES LOCATED AWAY FROM THE CONSTRUCTION SITE (BORROWED) SHALL BE CLEAN SAND, GRAVEL, EARTH OR A MIXTURE OF THESE CONTAINING NO ORGANIC MATTER WITH A MAXIMUM SIZE OF 4".
  - COMPACTED FILL UNDER SLAB ON GRADE SHALL BE WELL GRADED SAND OR "BANK RUN" GRAVEL FROM SITE OR SOURCES APPROVED BY THE SOILS ENGINEER AND APPROVED AS SUITABLE MATERIAL FOR THE PURPOSE OF SUPPORTING THE BUILDING FOUNDATION AND SLAB ON GRADE. (DESIGN BEARING CAPACITY IS 3 TONS PER SQ. FT.)

- B. COMPACTED BACKFILL**
- PROMPTLY BACKFILL EXCAVATIONS AS WORK PERMITS, BUT NOT BEFORE CONCRETE WALLS AND FOOTINGS HAVE ATTAINED FULL DESIGN STRENGTH AND PIPING AND OTHER ITEMS BELOW BACKFILL HAVE BEEN TEST APPROVED.
  - BACKFILL AND FILL TO NEW SURFACE GRADES AS REQUIRED. IF SUFFICIENT SOUND AND APPROVED FILL MATERIALS ARE NOT ON HAND TO COMPLETE FILLING OPERATIONS TO REQUIRED GRADES, PROVIDE SAME.
  - FILL SHALL BE CONSIDERED AS SATISFACTORY BEARING MATERIAL, THEN PLACED IN ACCORDANCE WITH THE FOLLOWING PROCEDURE:
    - BEFORE PLACEMENT OF FILL, THE GROUND SURFACE SHALL BE STRIPPED OF ALL ORGANIC GROWTH, WOOD, RUBBISH, DEBRIS AND OTHER DELETERIOUS OR UNSUITABLE MATERIALS. AFTER STRIPPING, THE GROUND SURFACE SHOULD BE COMPACTED TO THE DENSITY DESCRIBED BELOW.
    - MATERIALS FOR FILL SHALL CONSIST OF CLEAN GRANULAR SOIL CONTAINING NO DELETERIOUS MATTER. IT SHALL CONTAIN NO PORTIONS EXCEEDING 4" IN ITS LARGEST DIMENSION, BE WELL GRADED AND CONTAIN NO MORE THAN 12% BY WEIGHT OF MATERIAL PASSING THE NUMBER 200 SIEVE.
    - FILL SHALL BE PLACED AND COMPACTED AT ITS OPTIMUM MOISTURE CONTENT, IN UNIFORM LAYERS NOT MORE THAN ONE FOOT THICK AND EACH LAYER SHALL BE COMPACTED TO A DENSITY OF 95% OF ITS MAXIMUM DENSITY AT SLAB AND 98% AT FOOTINGS.
    - COMPACTED FILL OPERATIONS SHALL BE CONTINUOUSLY INSPECTED AND CERTIFIED BY A SOILS ENGINEER/TESTING LAB.
  - BACKFILL EQUALLY IN LIFTS ON BOTH SIDES OF FOUNDATION WALLS TO BALANCE SOIL PRESSURE.

**TABLE R402.2 MIN SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE**

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH <sup>a</sup> (f <sub>c</sub> )		
	MODERATE WEATHERING POTENTIAL <sup>b</sup>	MODERATE	SEVERE
BASEMENT WALLS, FOUNDATION AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2,500	2,500	2,500 <sup>c</sup>
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500 <sup>d</sup>
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	2,500	3,000 <sup>d</sup>	3,000 <sup>d</sup>
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	2,500	3,500 <sup>d,f</sup>	3,500 <sup>d,f</sup>

- FOR SI: 1 POUND PER SQUARE INCH=6.895 kPa  
a. STRENGTH AT 28 DAYS  
b. SEE TABLE R301.2(1) FOR WEATHERING POTENTIAL  
c. CONCRETE IN THESE LOCATIONS THAT IS SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE d  
d. CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT  
e. SEE SECTION R402.2 FOR MAXIMUM CEMENTITIOUS MATERIALS CONTENT  
f. FOR GARAGE FLOORS WITH A STEEL-TROWELED FINISH, REDUCTION OF THE TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) NOT TO BE LESS THAN 3 PERCENT IS PERMITTED IF THE SPECIFIED COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED TO NOT LESS THAN 4,000 PSI.

**STRUCTURAL STEEL:**

- THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE MANUAL OF STEEL CONSTRUCTION ASD 9TH EDITION (AISC).
- ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE - STEEL.
- STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION AS FOLLOWS, UNLESS OTHERWISE NOTED:
  - A. ROLLED SHAPES: ASTM A992, F<sub>y</sub> = 50,000 PSI.
  - B. BASE PLATES AND BEARING PLATES: ASTM A572 F<sub>y</sub> = 50,000 PSI.
  - C. FASTENERS:
 

ANCHOR BOLTS	ASTM A325, GRADE A
ANCHOR BOLT NUTS	ASTM A307
ANCHOR BOLT WASHERS	ASTM A307
SHOP AND FIELD BOLTED CONNECTIONS	ASTM A325SSC
HIGH STRENGTH NUTS	ASTM A563
HIGH STRENGTH WASHERS	ASTM A436
- CONNECTIONS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STEEL CONSTRUCTION ASD 9TH EDITION (AISC) UNLESS OTHERWISE SHOWN. ALL CONNECTIONS SHALL HAVE MINIMUM OF TWO BOLTS. WHERE BEAM REACTIONS OR CONNECTION DETAILS ARE NOT SHOWN, BEAM CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE LESSER OF 75 PERCENT OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM (IN FLEXURE) LATERALLY SUPPORTED OR THE FULL SHEAR CAPACITY OF WEB.
- ALL BOLTED CONNECTIONS, UNLESS OTHERWISE NOTED, ARE TO BE MADE WITH A325 HIGH STRENGTH BOLTS. HIGH STRENGTH BOLTS SHALL BE 3/4" DIAMETER UNLESS OTHER SIZES ARE SHOWN OR ARE NECESSARY AND APPROVED.
- BOLTED CONNECTIONS SHALL BE SLP CRITICAL - CLASS A SURFACE. BOLTS ARE TO BE FULLY PRETENSIONED. THREADS TO BE EXCLUDED FROM SHEAR PLANE.
- COPEs, BLOCKS & REINTRANT CUTS SHALL HAVE 1" MINIMUM RADIUS FILLETS.
- STEEL BEAMS ARE TO BE INSTALLED WITH THEIR SPECIFIED, OR NATURAL CAMBERS UPWARDS.
- ENDS OF COLUMNS AND BEAMS IN BEARING ARE TO BE MILLED.
- WELD ELECTRODES SHALL BE E70XX U.O.N.
- SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING REQUIREMENTS.
- STRUCTURAL STEEL PRIMER PAINT: ZINC RICH PRIMER.

- METALLIC OR NON-METALLIC SHRINKAGE RESISTANT GROUT SHALL BE PRE-MIXED FACTORY PACKAGED. COMPRESSIVE STRENGTH SHALL BE F<sub>c</sub>=5,000 PSI, CONFIRMING TO ASTM C 1107, GRADE C.
- WELDERS IN ACCORDANCE WITH A.W.S. SPECIFICATIONS, LATEST EDITION
- BEARING ENDS OF COLUMNS SHALL BE MILLED PERPENDICULAR TO AXIS OF THE COLUMN WILL BEARING AREA OF BASE PLATE.
- ALL EXTERIOR HUNG OR LOOSE LINTELS SHALL BE HOT-DIP GALVANIZED.
- CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL MEMBERS OF THE FIELD WILL NOT BE PERMITTED.
- ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A325, UNLESS OTHERWISE NOTED.
- ALL FIELD SPLICES AND CONNECTIONS SHALL BE WELDED OR BOLTED USING HIGH STRENGTH BOLTS.
- SPLICES SHALL BE DESIGNED TO DEVELOP THE FULL CAPACITY OF THE MEMBER AT THE POINT OF THE SPLICE. MEMBERS SHALL NOT BE SPLICED AT POINTS OF MAXIMUM STRESS.

- THE STRUCTURAL STEEL CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH TOP OF CONCRETE COLUMN.
- SHOP PAINT: FOR ALL STEEL MEMBERS THAT DO NOT RECEIVE SPRAY-ON FIREPROOFING OR CONCRETE ENCASEMENT PROVIDE SHOP PAINT AS INDICATED BELOW:
  - 01. INTERIOR (NON-EXPOSED STEEL) BEAMS SHALL RECEIVE ONE COAT OF 90/93 TME-ZINC W/ METEC AT A MINIMUM DRY FILM THICKNESS OF 2.0 MILS TO 3.5 MILS.
- ALL WELDS NOT SPECIFICALLY CALLED OUT SHALL BE AT LEAST THE MINIMUM WELD SIZE AS SPECIFIED BY CURRENT AISC STEEL DESIGN
- SHOP DRAWINGS-SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL STEEL INDICATED ON THE CONTRACT DRAWINGS

- THE CONTRACTOR SHALL FILE WITH THE OWNER AND ARCHITECT AN AFFIDAVIT FROM THE MANUFACTURER OF STRUCTURAL STEEL, CERTIFYING THAT THE STEEL MEETS THE MINIMUM REQUIREMENTS FOR STRUCTURAL STEEL AS DEFINED IN THE A.I.S.C. SPECIFICATIONS LATEST EDITION AND BONY CHAPTER 22 STRUCTURAL STEEL DESIGN USING ALLOWABLE STRESS DESIGN METHOD. ALL STRUCTURAL STEEL COMPONENTS ARE DESIGNED USING ALLOWABLE STRESS DESIGN METHOD PER CHAPTER 1604.1 OF BONY.
- THE STRUCTURAL STEEL FRAMING AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF THE A.I.S.C. \*SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS\* LATEST EDITION.
- THE DESIGN FABRICATION AND ERECTION OF OPEN WEB STEEL JOIST CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING. (ALLOWABLE STRESS DESIGN) A.I.S.C.-S.J.I. SPECIFICATIONS, LATEST EDITION STANDARD SPECIFICATIONS FOR OPEN WEB STEEL JOISTS - K SERIES STANDARD SPECIFICATIONS FOR LONGSPAN STEEL JOISTS - SERIES STANDARD SPECIFICATIONS FOR DEEP LONGSPAN STEEL JOISTS - DLH SERIES
- ALL STRUCTURAL STEEL SHALL BE A.S.T.M. A992 GR. 50 (F<sub>y</sub> = 50KSI), TUBE STEEL: f<sub>y</sub>=46 KSI.
- ALL SHOP CONNECTIONS SHALL BE WELDED OR BOLTED. BOLTS TO BE 3/4" DIA. A.S.T.M. A-325-TC BEARING TYPE AND MEET A.I.S.C. SPECIFICATIONS, SECTION 1.16 WELDS TO BE E70XX AND MEET A.I.S.C. SPECIFICATIONS, SECTION 1.17. FIELD BOLTS 3/4" DIA. A325 TC.
- ALL WELDING TO BE DONE BY LICENSED WELDERS, PER SECTION 2208 OF BONY
- ALL STEEL DETAILS SHALL BE DESIGNED TO CONFORM TO ARCHITECTURAL REQUIREMENTS.
- ALL HUNG LINTELS SHALL BE PROVIDED WITH VERTICAL AND HORIZONTAL ADJUSTMENT.
- ALL FIELD CONNECTIONS MAY BE BOLTED USING A.S.T.M. A325-TC BOLTS BEARING TYPE EXCEPT AS FOLLOWS: WHERE WELDED CONNECTIONS ARE REQUIRED, PER SECTION 2209 OF BONY.
- TOPS OF ALL COLUMNS SHALL BE 1" BELOW TOP OF HIGHEST BEAM FRAMING INTO COLUMN UNLESS BEAMS RUN OVER TOPS OF COLUMNS AND AS DETAILS REQUIRE.
11. ALL LIFT CONNECTIONS SHALL BE FULL STRENGTH CONNECTIONS CAPABLE OF RESISTING THE MAX UNIFORM LOAD ON THE SPECIFIC BEAM AND SPAN. PROVIDE 2 L'S SHEAR CONN. CONNECTIONS AT ALL UNBRACED BEAMS SHALL BE TOP AND SEAT WITH 2 L'S SHEAR CONN.

AISC CHAPTER A GENERAL PROVISIONS ALLOWABLE STRESS DESIGN  
A2 TYPE OF CONSTRUCTION: TYPE 2 (SIMPLE FRAMING)  
A7 CONNECTIONS TO BE BEARING TYPE.</



CONSTRUCTION NOTES:

A. GENERAL

- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS OR PROGRAMS. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL EXISTING ELEMENTS DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, DISTORTION, COLLAPSE OR MISALIGNMENT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- THE OWNER SHALL BE RESPONSIBLE FOR SUPERVISION DURING CONSTRUCTION. THE OWNER SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL REQUIRED BUILDING PERMITS PRIOR TO THE START OF ANY WORK.
- ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE VILLAGE OF PATCHOGUE.
- THE ELECTRICAL CONTRACTOR SHALL LOCATE AND DISCONNECT AT THE SERVICE PANEL, ALL CIRCUITS AFFECTED BY CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

B. FOUNDATION

- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OF 1 TON/SF BEARING CAPACITY. ALL FOOTINGS WERE DESIGNED BASED UPON THIS SOIL BEARING CAPACITY. CONTRACTOR SHALL FIELD VERIFY PRIOR TO POURING OF ANY FOOTINGS AND ASSUME FULL RESPONSIBILITY.
- ALL EXTERIOR WALL FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW GRADE. SLOPE GRADE AWAY FROM FOUNDATION WALLS.
- ALL FILLED AREAS SHALL BE COMPACTED LAYER BY LAYER.

C. CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS AND RECOMMENDATIONS OF ACI 318-05 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- COORDINATE SIZE AND LOCATION OF ALL SLEEVES, OPENINGS, RECESSES AND DEPRESSIONS REQUIRED BY ARCHITECTURAL AND MECHANICAL CONSIDERATIONS.

D. STRUCTURAL

- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 (UNLESS OTHERWISE NOTED) 875psi Fb.
- WOOD THAT COMES IN CONTACT WITH MASONRY AND CONCRETE SHALL BE WOLMANIZED/PRESSURE TREATED.
- JOISTS, RAFTERS AND BEAMS SHALL HAVE A MINIMUM OF 3" BEARING AT ENDS.
- CONTRACTOR SHALL VERIFY THE CONCRETE FOUNDATION WALL FOR ANCHOR BOLT LOCATIONS, ELEVATIONS OF TOP OF FOUNDATIONS AND ALIGNMENT, PRIOR TO ERECTION.
- EXTERIOR WALLS SHALL BE 2" x 4" WOOD STUDS @ 16"o.c. UNLESS NOTED OTHERWISE ON PLANS, EXTERIOR SHEATHING SHALL BE 1/2" CDX PLYWOOD.

SECTION AJ 301 - CLASSIFICATION OF WORK  
CLASSIFICATION PER AJ301.7 - ADDITION  
WORK SHALL COMPLY WITH SECTION AJ 801 AS AN ADDITION

BUILDING CODE ANALYSIS

- THE ADDITION AND RENOVATION ILLUSTRATED ON THE FOLLOWING SHEETS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND ALL LOCAL AUTHORITIES HAVING JURISDICTION. CUSTOM DESIGN CALCULATIONS HAVE BEEN DONE BY THE ARCHITECT FOR THIS PROJECT.
- THE FOLLOWING ARE DESIGN LOADS UTILIZED IN THE DESIGN OF THIS ADDITION/RENOVATION:
 

A. LIVE LOADS:	
UNINHABITABLE ATTICS WITHOUT STORAGE	10psf
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20psf
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30psf
BALCONIES (EXTERIOR) AND DECKS	40psf
FIRE ESCAPES	40psf
GUARDS AND HANDRAILS	200psf
GUARD IN-FILL COMPONENTS	50psf
PASSENGER VEHICLE GARAGES	50psf
ROOMS OTHER THAN SLEEPING ROOMS	40psf
SLEEPING ROOMS	30psf
STAIRS	40psf
GROUND SNOW LOAD (Pg)	20psf
B. DEAD LOADS:	
EXTERIOR STUD WALL SHEATHED	15 psf
STUD WALL W/SHEATHING ON EA. SIDE	8 psf
CEILING JOIST W/SHEATHING	10 psf
ROOF RAFTER W/PLYWD SHEATHING	12 psf
C. SEISMIC LOADS:	
LATERAL EARTHQUAKE LOAD	<33g - EXEMPT
D. WIND LOADS:	140 mph WIND ZONE

#21658

Architect of Record



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2410 NORTH OCEAN AVENUE  
SUITE 300 FARMINGVILLE, NY, 11738  
T - 631.320.3305 F - 631.320.3307

Owner

Shirell Roebuck  
4 Orient Court  
Westbury, NY 11590  
P - 917-771-5837

Contractor

Surveyor

Barry M. Fahrner, L.S. P.C.  
206 Church Street  
Freeport, NY 11520  
P - 516-623-2069

Project Data

4 Orient Court  
Westbury, NY 11590

Proposed:  
Rear Deck and Patio

Drawing Title

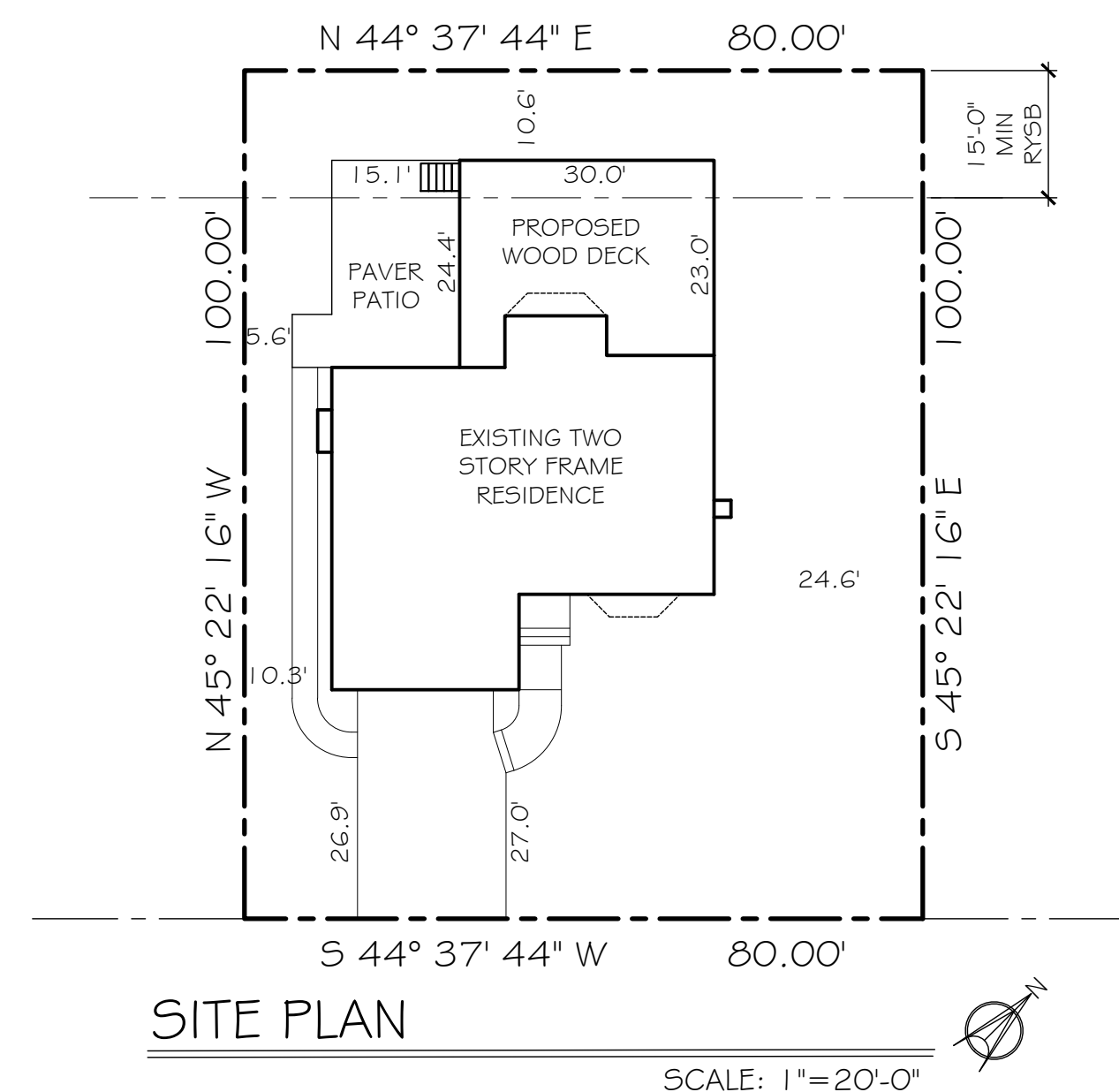
COVER SHEET

Revisions	Date
Issued for Review	9-26-24
Issued for Filing with TONH	10-29-24

GROUND SNOW LOAD FIGURE R 301.2(6)	WIND DESIGN				SEISMIC DESIGN CATEGORY R301.2.2	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP(e)	ICE SHIELD UNDER-LAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX FIGURE R 403.3(2)	MEAN ANNUAL TEMP
	WIND SPEED(MPH) FIGURE R 301.2(5)A	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING(a)	FROST LINE DEPTH(b)	TERMITE(c)					
20 PSF	130	NO	NO	NO	B	SEVERE	36"	M-H	11	YES PER R905.1.2	NO	599	51

SECTION: 11	BLOCK: 414	LOT: 426	
ZONING DISTRICT: RESIDENCE C DISTRICT			
LOT AREA: 8,000.00 SQ.FT. (MIN ALLOWED = 5,000 SQ.FT.)			
ZONING	ALLOWED	EXISTING:	PROPOSED:
FRONT YARD:	25 FEET MIN	326.9 FEET	N/C
REAR YARD:	15 FEET MIN	33.6 FEET	10.6 FEET
SIDE YARD MIN:	5 FEET MIN	10.3 FEET	N/C
SIDE YARDS TOTAL:	25% LOT WIDTH MIN (80 x 25% = 20' MIN)	34.9 FEET	N/C
HEIGHT:	30 FT / 2 1/2 STYS	+/- 22.5 FEET	N/C
BUILDING AREA:	35 % MAX		
	HOUSE	1,592.63 SQ.FT.	N/C
	DECK:	N/A	616.69 SQ.FT.
BUILDING AREA:		1,592.63 SQ.FT.	2,209.32 SQ.FT.
LOT AREA COVERAGE:		19.91 %	27.62 %

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW AND DENIAL ONLY. FULL CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED UPON APPROVAL OF THE VARIANCE



TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH <sup>a</sup> (f <sub>c</sub> )		
	WEATHERING POTENTIAL <sup>b</sup>		
	NEGLIGABLE	MODERATE	SEVERE
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2,500	2,500	2,500 <sup>c</sup>
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500 <sup>c</sup>
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	2,500	2,500 <sup>d</sup>	2,500 <sup>d</sup>
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	2,500	2,500 <sup>d,e,f</sup>	2,500 <sup>d,e,f</sup>

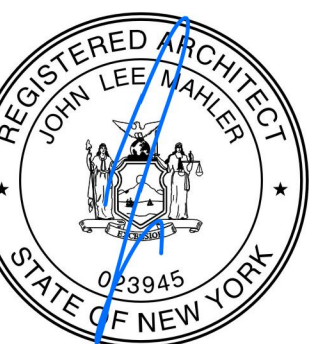
- FOR SI: 1 POUND PER SQUARE INCH = 6.895 kPa
- STRENGTH AT 28 DAYS PSI.
  - SEE TABLE R301.2(1) FOR WEATHERING POTENTIAL.
  - CONCRETE IN THESE LOCATIONS THAT MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE d.
  - CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.
  - SEE SECTION R402.2 FOR MAXIMUM CEMENTITIOUS MATERIALS CONTENT.
  - FOR GARAGE FLOORS WITH A STEEL-TROWELED FINISH, REDUCTION OF THE TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) TO NOT LESS THAN 3 PERCENT IS PERMITTED IF THE SPECIFIED COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED TO NOT LESS THAN 4,000 PSI.

JM2 Project Data

Job #: 2024-1531  
Date: September 26, 2024  
Designed By: BF  
Checked By: JM  
Scale: As Noted

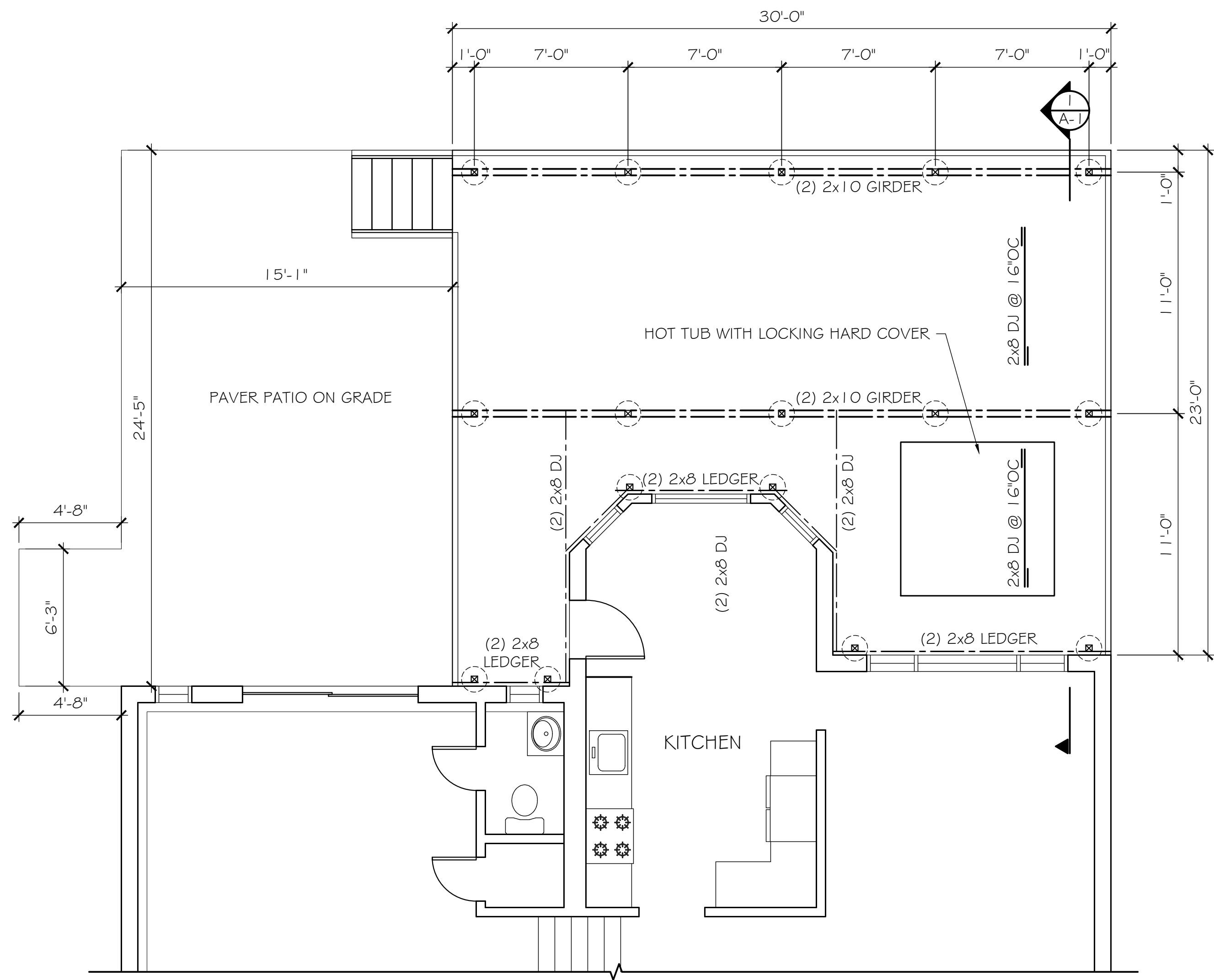
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Seal & Signature



Sheet #

CS-1

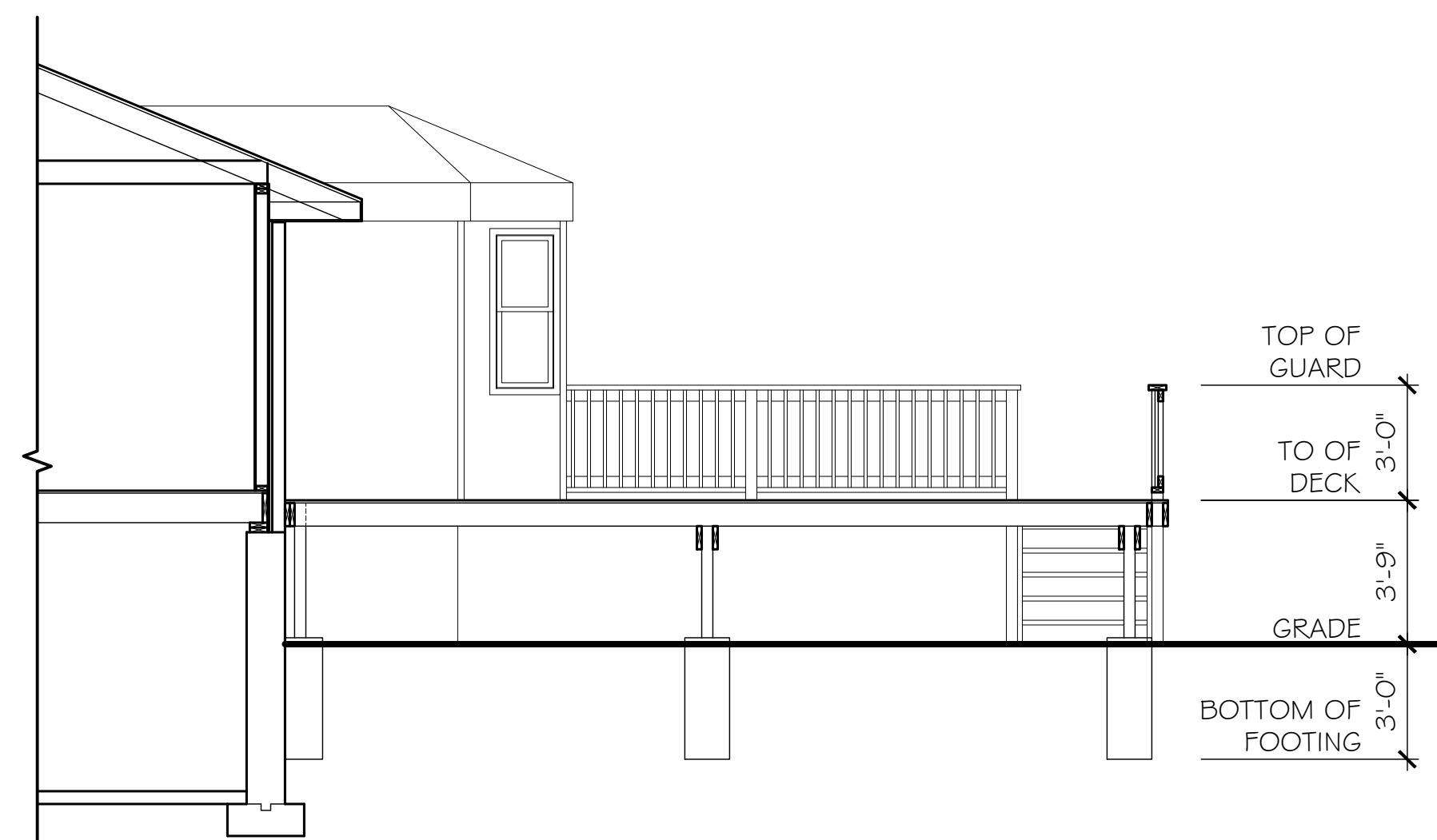


DECK PLAN

SCALE: 1/4" = 1'-0"

NOTE:  
ALL LUMBER SHALL BE PRESSURE TREATED

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SECTION I

SCALE: 1/4" = 1'-0"



NORTH (REAR) ELEVATION

SCALE: 1/4" = 1'-0"

Architect of Record



JM2 ARCHITECTURE, P.C.  
2410 NORTH OCEAN AVENUE  
SUITE 300 FARMINGVILLE, NY, 11738  
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4 Orient Court  
Westbury, NY 11590

Proposed:  
Rear Deck and Patio

Drawing Title

FLOOR PLANS  
SECTION & ELEVATION

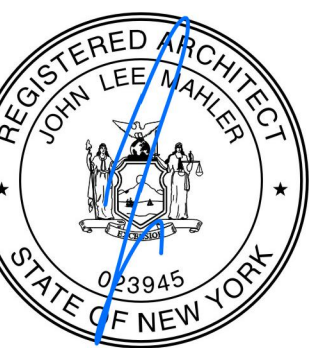
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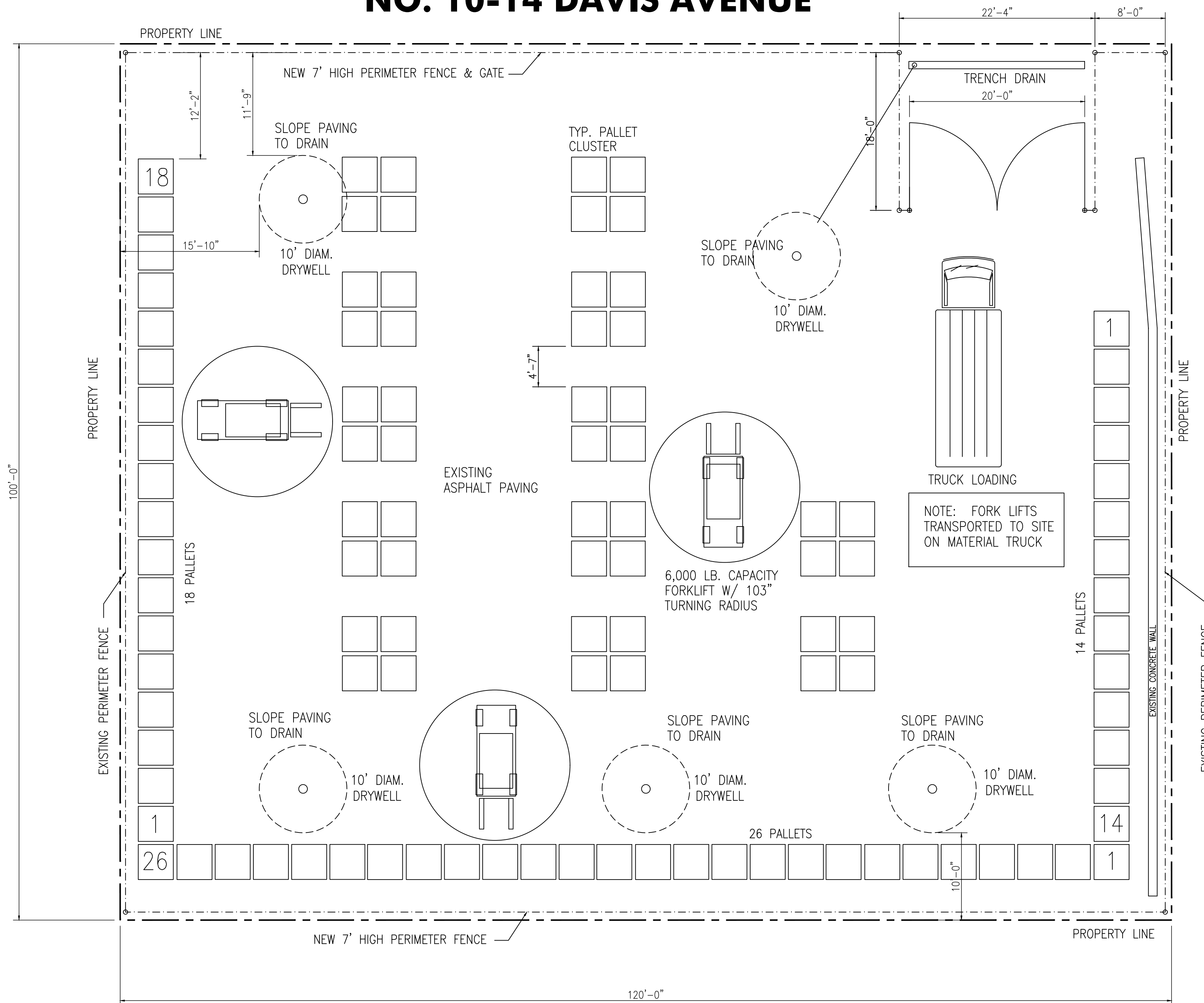


Sheet #

A-1

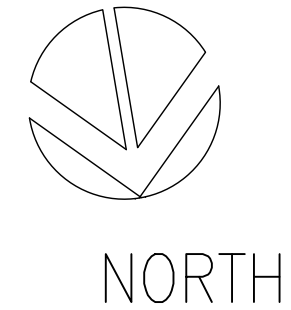
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**NO. 10-14 DAVIS AVENUE**



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

SEC.5, BLK. 132, LOTS 567-572



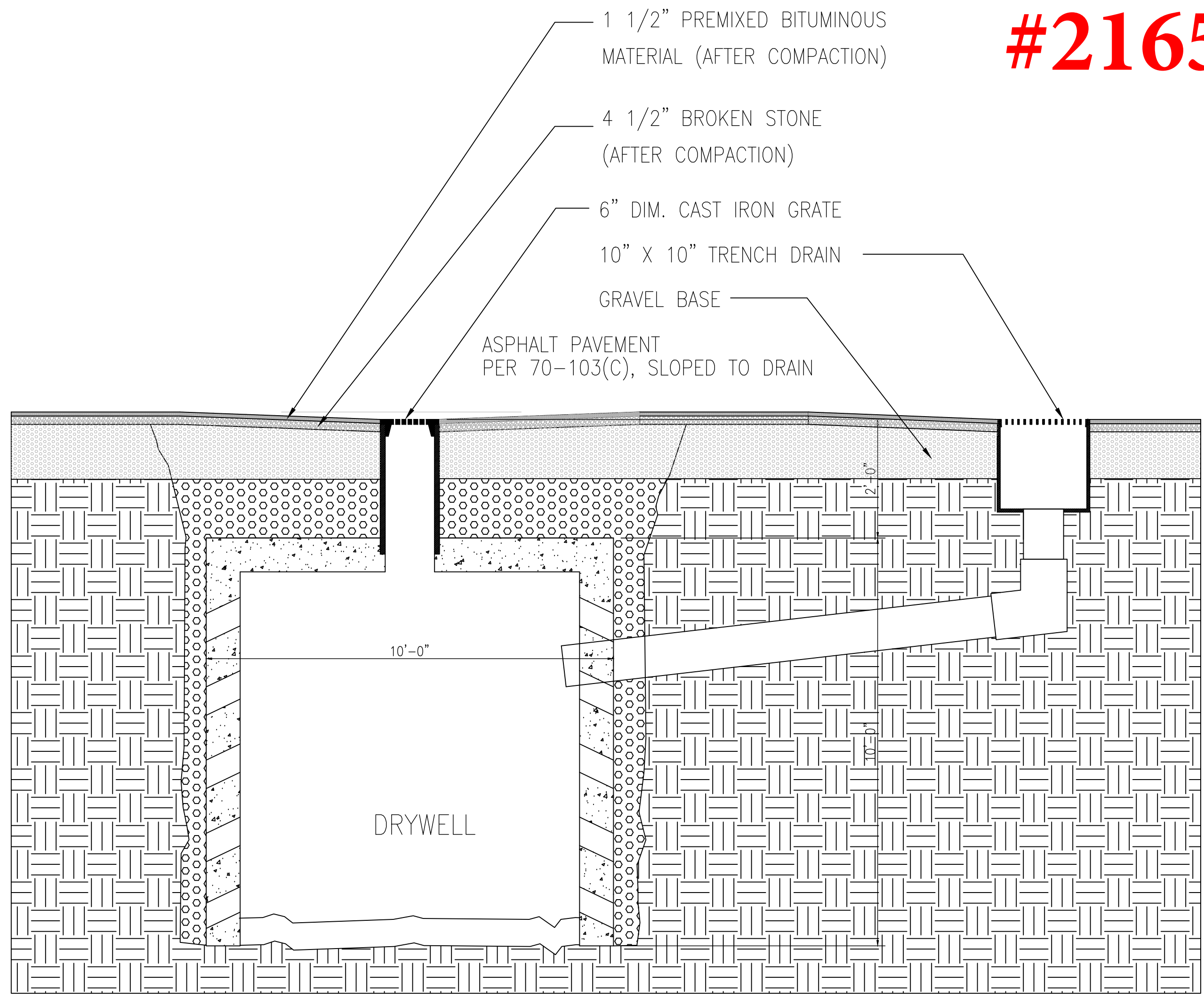
4' X 4' PALLETS  
4'X4' = 16 SF

6,000 LB. FORKLIFT

LOT AREA = 12,000 SF  
ALLOWABLE ACCESSORY STORAGE = 15%  
12,000 X 15% = 1,800 SF  
1,800 / 16 = 112.5 PALLETS  
1 CLUSTER = 4 PALLETS  
28 CLUSTERS = 112 S.F. STORAGE FOOTPRINT

EXISTING EMPTY LOT HAS ASPHALT PAVING

NEW FENCE AND GATES TO BE CHAIN LINK WITH PRIVACY SLATS, SIMILAR TO EXISTING FENCING ALONG SIDE PROPERTY LINES.



**2 PAVING AND DRAINAGE DETAILS**  
NOT TO SCALE

YARD AREA (12,000 SQUARE FEET)	GROUND AREA X 3.0" RAINFALL 12,000 SQ. FT. X .25' = 3,000 CU. FT.
TOTAL VOLUME FOR DRAINAGE CALCS. = 3,000 CU. FT x 7.481=22,443 GALLONS.	
ADD NEW DRYWELL RING 10' DIAMETER =	63.62 SQUARE FEET (9')
63.62 SQ.FT. X 10' DEEP = 636.2 CU. FT.	
3,000 CF / 636.2 CF = 4.7 DRYWELLS REQUIRED	

**3 STORM WATER DISPOSAL CALCULATIONS**

REVISED PER REVIEW COMMENTS 12-4-24  
DATE

**DONALD & LIISA SCLARE ARCHITECTS**  
20 South Washington Street  
Port Washington, NY 11050  
(917) 865-1618  
sclare\_architect@yahoo.com

**NEW FENCE & SITE DRAINAGE FOR LOT**

**10-14 Davis Avenue  
Port Washington, N. Y.**

**SITE PLAN & DETAILS**

SEAL	SCALE: 1/8"=1'-0"	PROJECT NO.:
	DATE: 11/23/24	DRAWING NO.:
	DRAWN BY:	<b>A-1</b>
CHECKED BY:	SHEET	OF
FILE:		