

*Chairman*  
David L. Mammina, A.I.A.

*Vice Chairman*  
Leslie Francis, Esq.

*Members*  
Daniel Donatelli, Esq.  
Jay Hernandez  
Patricia A. Goodsell, Esq.

# Town of North Hempstead



## Board of Zoning Appeals

210 Plandome Road  
Manhasset, NY 11030  
(516) 869-7667  
Fax (516) 869-7812

### CALENDAR FOR MARCH 19, 2025

#### RESIDENTIAL CALENDAR

**APPEAL #21677 – Kristin DiStefano; 60 Irma Ave., Port Washington; Section 5, Block 18, Lot 141; Zoned: Residence-C**

Variances §§ 70-50.C to construct additions that would be too close to the street.

**APPEAL #21678 - John Maura; 40 Orchard Farm Road, Port Washington; Section 6, Block 82, Lot 22; Zoned: Residence-A**

Variance from 70-100.2(K) to legalize a generator that is too far away from a house.

**APPEAL #21661 - Paul Friedman; 8 Old Hills Lane and 37 Bogart Avenue, Port Washington; Section 6, Block 83, Lot 4 and Section 6, Block 83, Lot 15; Zoned: Residence-A**

Variance from §70-202.1(C) to legalize a retaining wall that is too tall.

**APPEAL #21679 - Amad Mirza; 1 Hilltop Road, Searingtown; Section 7, Block 151, Lot 14; Zoned: Residence-A**

Variance from §70-102.C(1) to construct a deck in a front and side yard, and a pool in a side yard.

**APPEAL #21680 – Evan Dackow; 208 Jerome Ave., Carle Place; Section 9, Block 470, Lot 45; Zoned: Residence-C**

Variances §§ 70-50.C & 70-103(A)(1) to construct additions too close to the street and interior alterations that would result in having too few parking spaces.—

#### COMMERICAL CALENDAR

**APPEAL #21681 - Jeffrey Wilks; 1026 Willis Avenue, Albertson; Section 7, Block 230, Lot 45; Zoned: Business-A**

Variance from §70-103.A(1) to construct alterations to convert a commercial space to a physical therapy office with not enough parking on site.

**APPEAL #21682 – Rjs Property Holdings LLC; 175 Roslyn Rd., Roslyn Heights; Section 7, Block 282, Lot 127; Zoned: Business-A**

Variances §§ 70-103(B) & 70-103(O) to legalize alterations to a parking lot with parking spaces that are too small and with drive access aisles that are not wide enough.

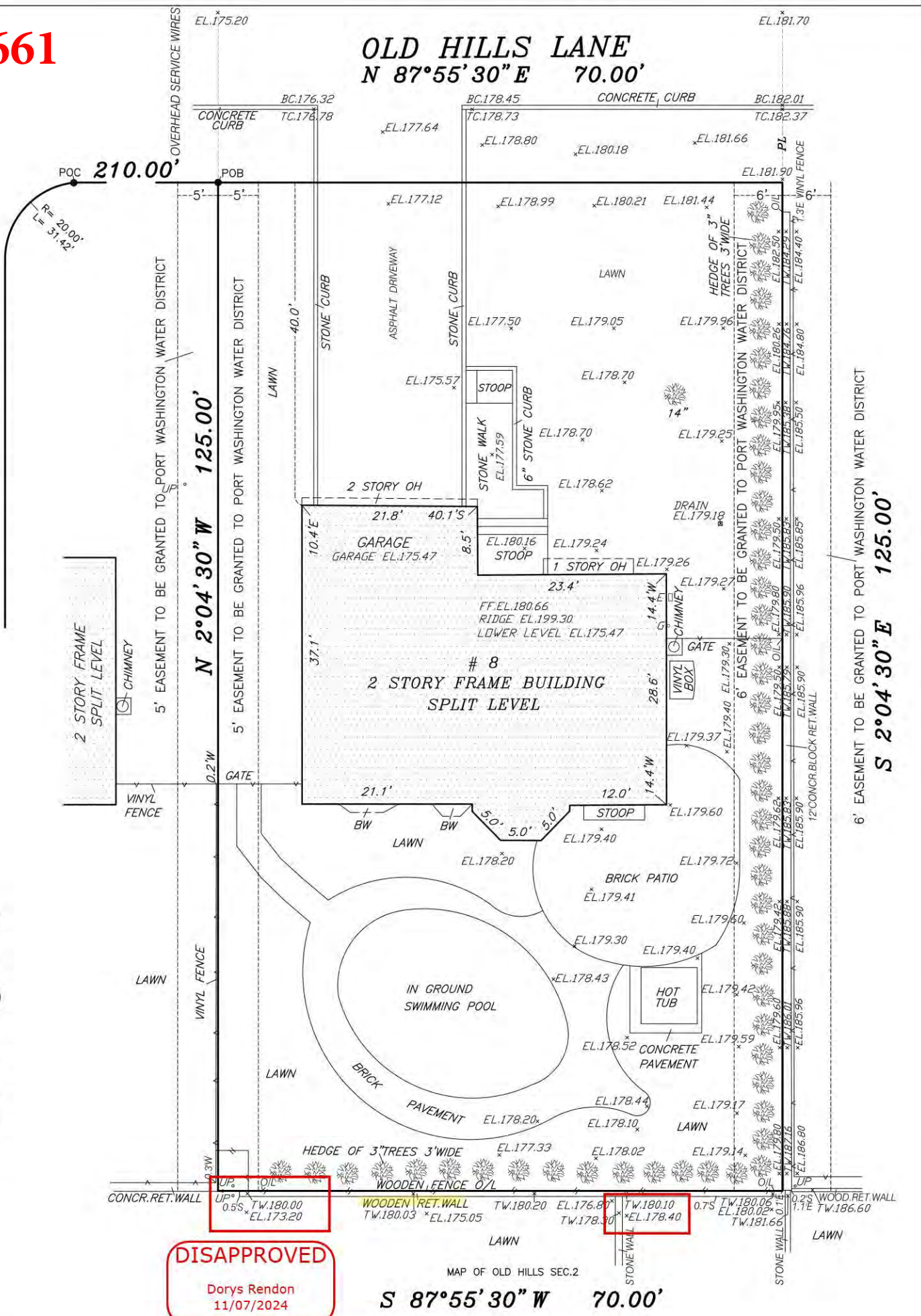
**APPEAL #21683 - NHP Crossing LLC (Tesla Charging Stations); 2048 Hillside Avenue, New Hyde Park; Section 8, Block 211-14, Lot 625B; Zoned: Business-B**  
Variance from §70-146.A to construct new EV charging stations and associated equipment that are too close to the rear property line.

**APPEAL #21684 – Caroldee Realty Corp.; 1350 Union Tpke., New Hyde Park; Section 8, Block 235, Lot 17; Zoned: Business-A & Residence-C**  
Appeal for determination, or in the alternative a Special Use Permit § 70-127 for a use similar to a permitted use, or in the alternative Variance § 70-125 to construct interior alterations for a pickle ball facility ( pickle ball courts and golf simulators) which is not a permitted use.

#21661

OLD HILLS LANE  
N 87°55'30" E 70.00'

OLD HILLS LANE



**DISAPPROVED**  
Dorys Rendon  
11/07/2024

S 87°55'30" W 70.00'

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**FINAL SURVEY**  
SCALE 1:16

TOTAL LOT AREA IS 8750 sq.ft.  
ELEVATIONS REFER TO THE NAVD 88 DATUM.  
FILED MAP  
LOT 4 BLOCK 83 ON A CERTAIN MAP ENTITLED, "MAP OF HIGHFIELD ESTATES" SURVEYED APRIL 1954 AND FILED ON DECEMBER 21, 1954 AS MAP NO. 6319.  
THE EXISTENCE OF RIGHT OF WAY AND/OR EASEMENT OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

**NOTE:**  
1. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.  
2. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
3. CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL, AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.  
4. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.

**CSE LAND SURVEYING**  
61-04 79 STREET  
MIDDLE VILLAGE, NY 11379  
TELEPHONE (347) 653-1828  
EMAIL: SUWALPLS@GMAIL.COM  
WWW.CSESUWALA.COM.

DATE: SEPTEMBER 9, 2024

CERTIFIED TO:  
DEPARTMENT OF BUILDINGS

PORT WASHINGTON  
TOWN OF NORTH HEMPSTEAD  
COUNTY OF NASSAU  
STATE OF NEW YORK  
TAX MAP  
SECTION 6  
BLOCK 83  
LOT 4

CSE 15149

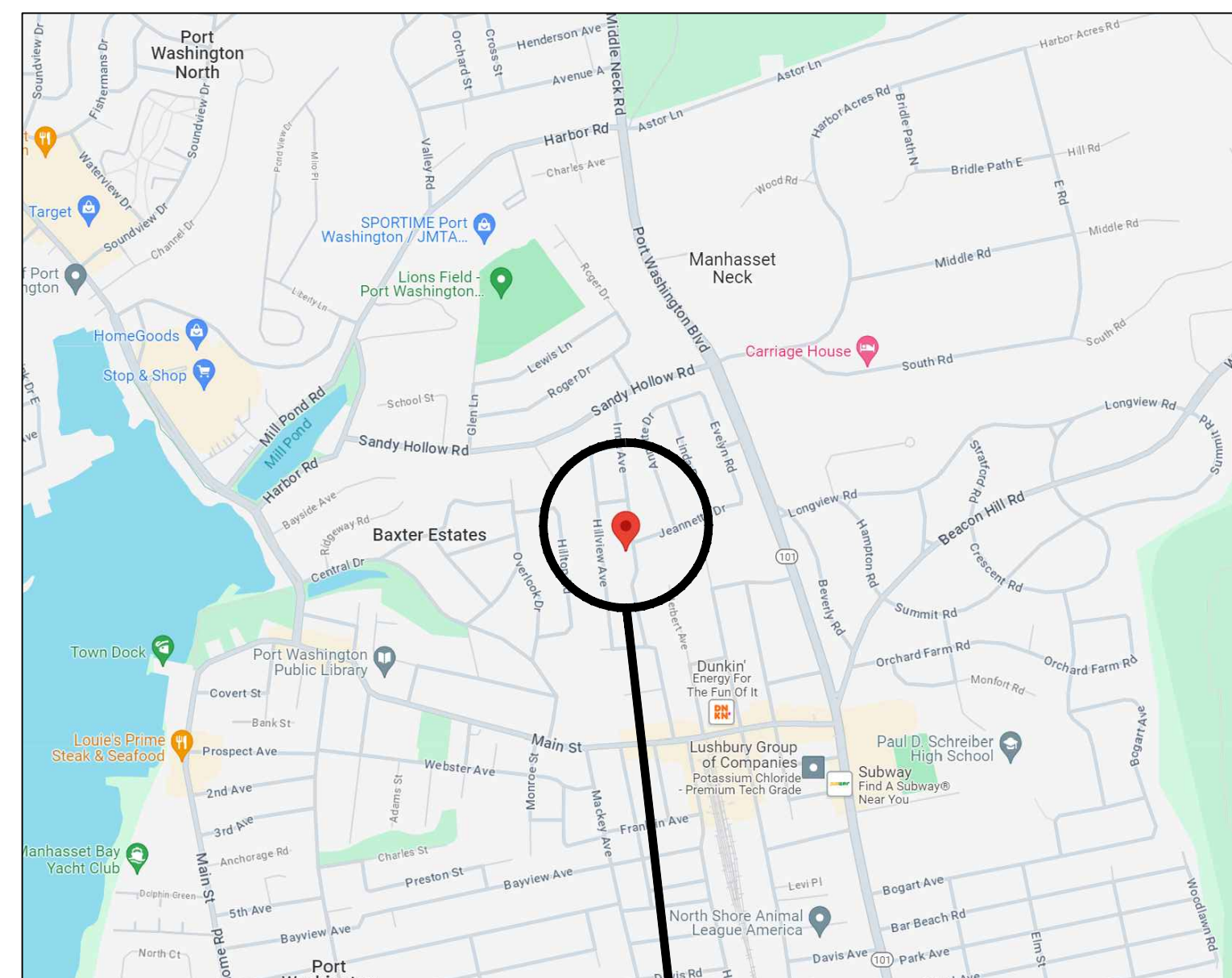
ARKADIUSZ JUSIEGA, LS NYS#050569

#21677

# Alteration and Addition to Existing Residence

## 60 Irma Avenue Port Washington, New York

**LOCATION PLAN**  
SCALE: NONE



SUBJECT SITE

**BUILDING CODE OF THE STATE OF NEW YORK DATA**

DETACHED ONE AND TWO FAMILY DWELLINGS  
OCCUPANCY GROUP R-3  
CONSTRUCTION CLASSIFICATION - TYPE V  
HEIGHT LIMITATION (TABLE 503) - 3 STORIES  
AREA LIMITATION (TABLE 503) - UNLIMITED  
THIS STRUCTURE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION  
WOOD FRAME CONSTRUCTION MANUAL 2018 EDITION (AF&PA WFCM-2018) PER SECTION R301.1 RCNYS.  
2020 BUILDING & RESIDENTIAL CODES OF NEW YORK  
2020 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE

**Material Index**

- Earth
- Sand
- Concrete
- Rigid Insulation
- Steel
- Wood Rough
- Wood Finish

**Symbol Index**

- Detail
- Building Section
- Wall Section
- Elevation
- Door Number
- Window Number
- Partition Type

**List of Drawings**

- T1.1 TITLE SHEET
- ST1.1 SITE PLAN
- ST1.2 AVERAGE FRONT YARD SETBACK PLAN AND CALCULATIONS
- A1.1 CELLAR AND FIRST FLOOR PLANS AND FIRST FLOOR ELECTRICAL PLAN
- A1.2 SECOND FLOOR AND ROOF PLANS AND SECOND FLOOR ELECTRICAL PLAN
- A2.1 WEST AND SOUTH ELEVATIONS
- A2.2 EAST AND NORTH ELEVATIONS
- A3.1 CROSS SECTION A-A
- ~~A3.2 RETAINING WALL SECTION - DELETED~~
- A4.1 DOOR AND WINDOW WINDOW SCHEDULES
- A5.1 FRAMING DETAILS
- A5.2 CONSTRUCTION NOTES
- S1.1 FOUNDATION AND FIRST FLOOR FRAMING PLAN
- S1.2 SECOND FLOOR FRAMING PLAN
- S1.3 ATTIC AND ROOF FRAMING PLANS

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ACTUAL TEMP.
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
20 PSF	130 mph	YES	YES	YES	B	SEVERE	3 FT.	MODERATE TO HEAVY	15	YES	NO	599	51°

No.	Date	Revision/Issue	Dwn	Chk
2	9-2-24	Revised List of Dwg.	JCM	JCM
1	7-30-24	Revised List of Dwg.	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
John C. Moccio, R.A.  
22 Waldron Drive  
Stony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
60 Irma Avenue  
Port Washington, New York

Drawing Name:  
TITLE SHEET

Date: 1-5-24  
Scale: As Noted  
Project No.: M22037

Drawn By: JCM  
Checked By: JCM  
Sheet No. 1 of 14

Seal: Dwg. No.: **T1.1**

**SITE INFORMATION**

60 IRMA AVENUE  
PORT WASHINGTON, NEW YORK

SECTION: 5 BLK: 1B LOTS: 141-143, 25B

**ZONING INFORMATION**

ZONE : RESIDENCE 'R-C'

**PRINCIPAL BUILDING**

MINIMUM LOT AREA = 5,000 S.F.  
 EXISTING LOT AREA = 7,314.34 S.F.  
 MAXIMUM LOT COVERAGE = 35.0% x 7,314.34 S.F. = 2,560.02 S.F.  
 EXISTING BUILDING AREA = 907.18 S.F.  
 EXISTING LOT COVERAGE = 907.18 S.F. / 7,314.34 S.F. = 12.4%  
 MAXIMUM GROSS FLOOR AREA = 2,800 S.F.  
 PROPOSED LOT COVERAGE = 1,134.18 S.F. / 7,314.34 S.F. = 15.5%  
 EXISTING GROSS FLOOR AREA  
 EXISTING 1ST FLOOR AREA = 907.18 S.F.  
 EXISTING 2ND FLOOR AREA = 693.98 S.F.  
 EXISTING TOTAL FLOOR AREA = 1,601.16 S.F.

EXISTING GROSS FLOOR AREA % = 1,601.16 S.F. / 7,314.34 S.F. = 21.9%

**PROPOSED GROSS FLOOR AREA**

PROPOSED 1ST FLOOR AREA = 907.18 S.F.  
 PROPOSED 2ND FLOOR AREA = 931.63 S.F.  
 PROPOSED TOTAL FLOOR AREA = 1,839.41 S.F.

PROPOSED GROSS FLOOR AREA % = 1,839.41 S.F. / 7,314.34 S.F. = 25.1%

MIN. FRONT YARD : 25'

EXISTING FRONT YARD : 20.19' & 20.3'

AVERAGE FRONT YARD

18.14'

MIN. SIDE YARD : 5'

EXISTING SIDE YARD: 11.70' (NORTH SIDE)

EXISTING SIDE YARD: 29.79' (SOUTH SIDE)

AGGREGATE SIDE YARD : 25%

25% X 10.01' = 17.5'

EXISTING AGGREGATE: 41.44'

MIN. REAR YARD : 15'

EXISTING REAR YARD: 88.50' (NORTH SIDE)

PROPOSED REAR YARD: 76.00' (NORTH SIDE)

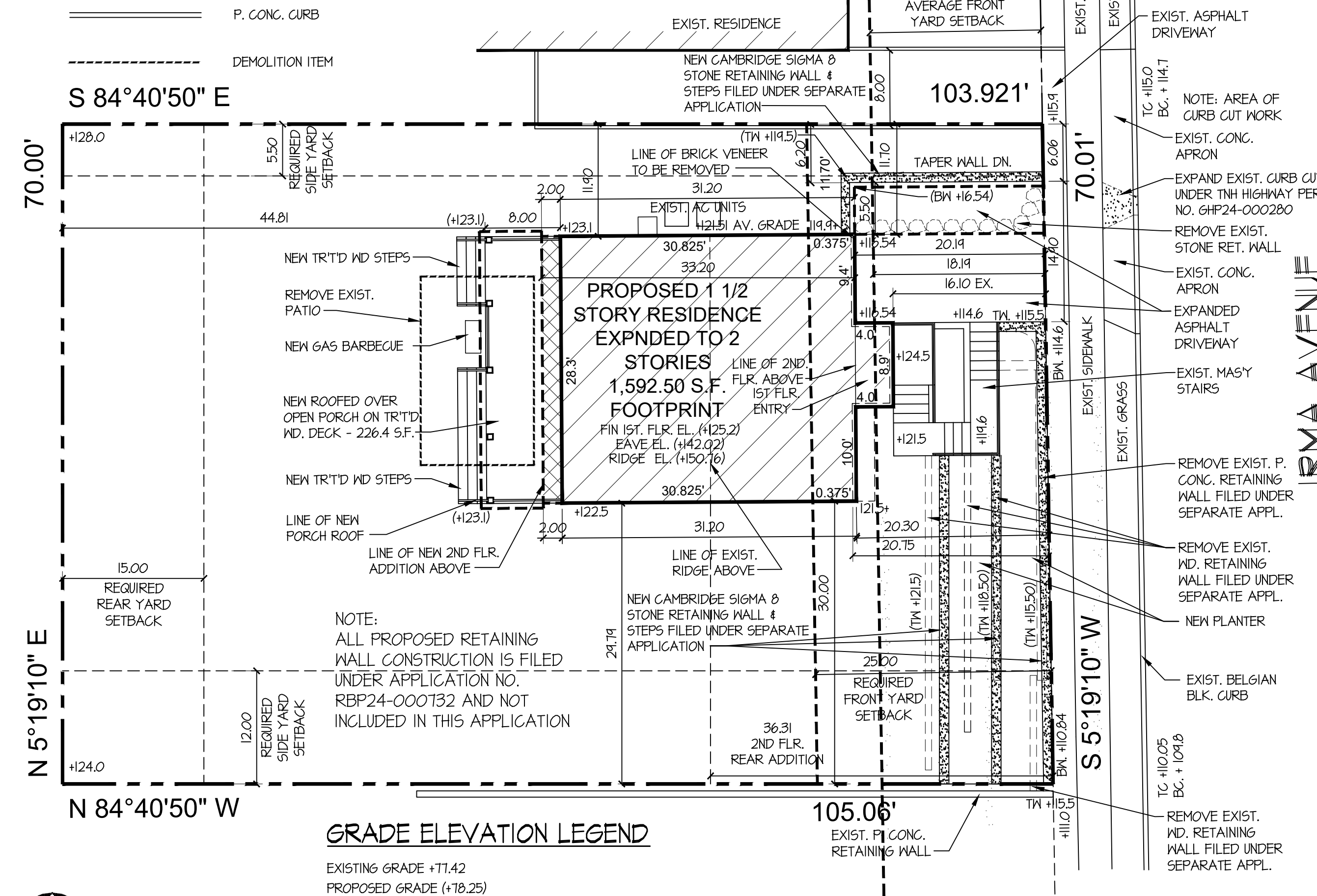
MAX. HEIGHT : 30'

EXISTING HEIGHT TO RIDGE: 22.42'

PROPOSED HEIGHT TO RIDGE: 26.86'

**LINE LEGEND**

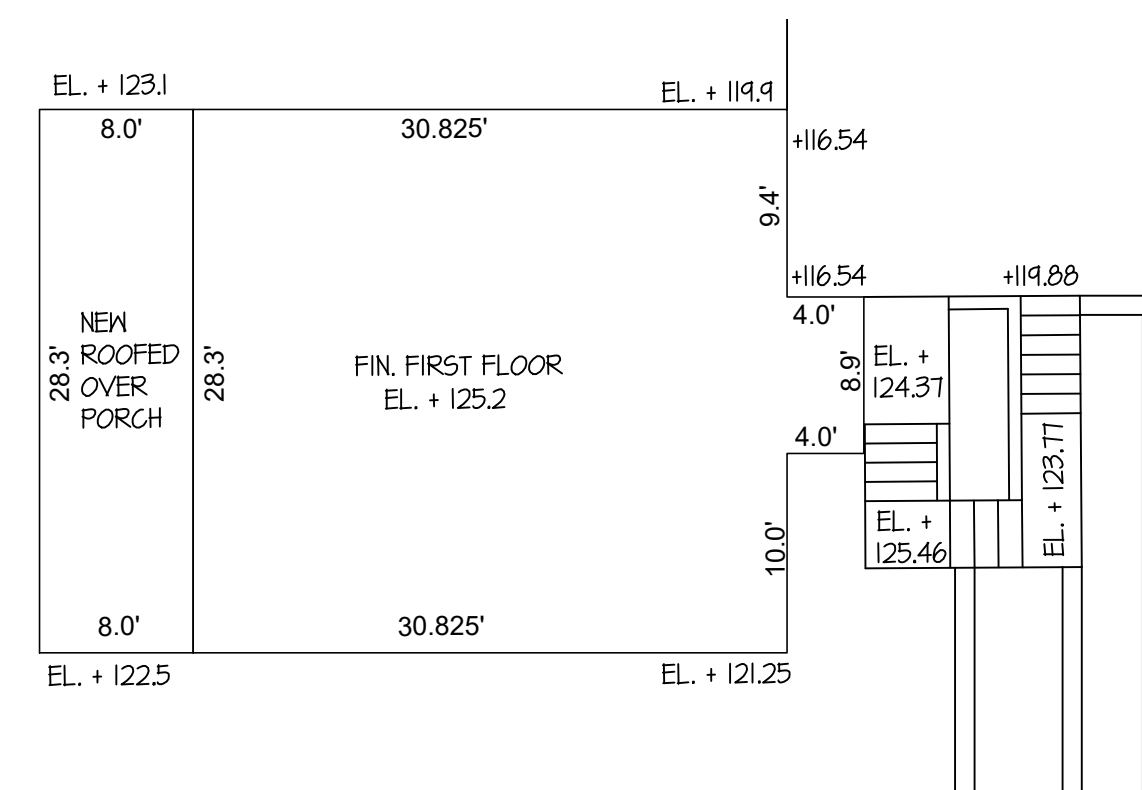
- PROPERTY LINE
- BLDG. LINE
- - - SETBACK LINE
- ==== BELGIAN BLOCK CURB
- ==== P. CONC. CURB
- - - - - DEMOLITION ITEM



**GRADE ELEVATION LEGEND**

EXISTING GRADE +11.42  
 PROPOSED GRADE (+18.25)

**SITE ALIGNMENT PLAN**  
 SCALE: 1" = 10'



**PRE-EXISTING AVERAGE GRADE**

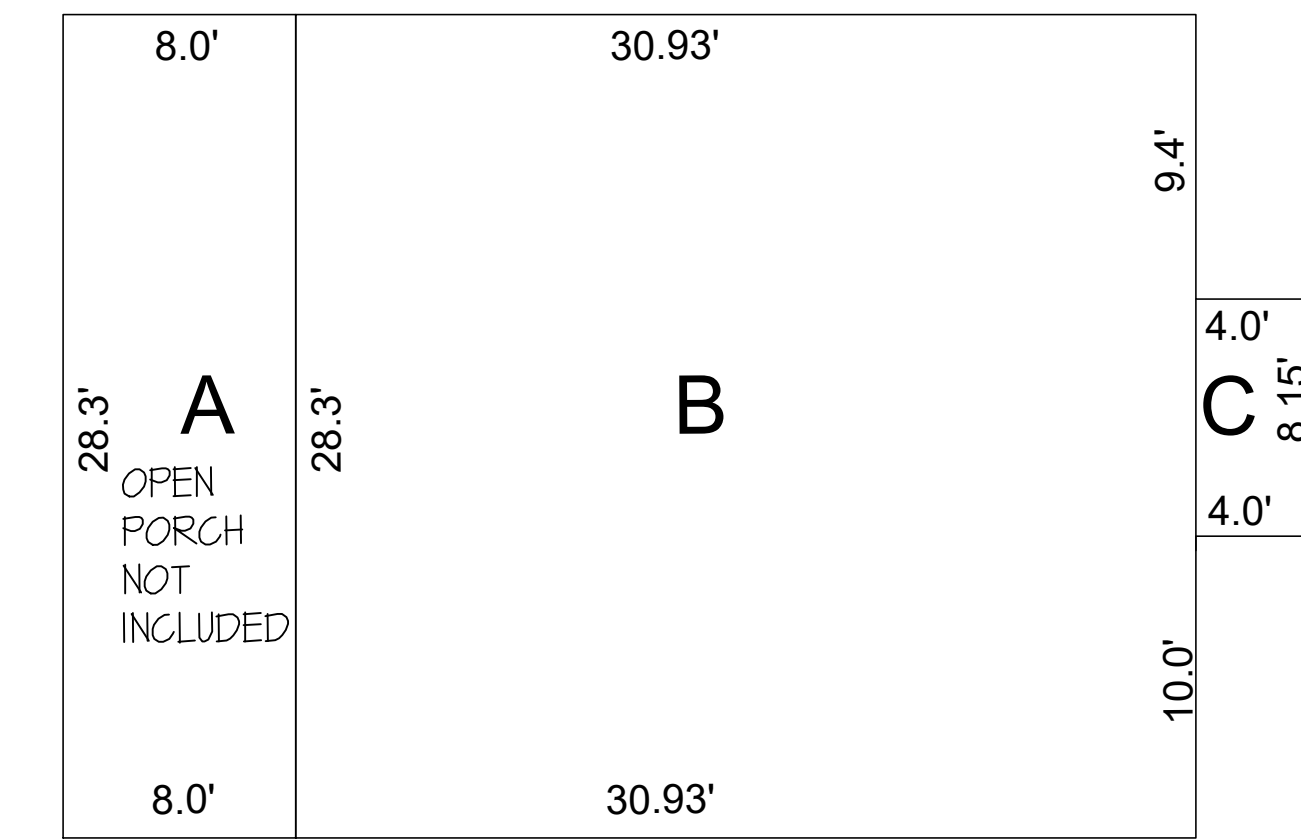
123.10 + 122.5 = 245.60 / 2 = 122.80 X 28.3 = 3,475.24  
 123.1 + 119.4 = 242.5 / 2 = 121.5 X 38.83 = 4,717.85  
 116.54 X 9.4 = 1,095.58  
 121.25 X (10 + 4) = 1,641.50  
 122.5 + 121.25 = 243.75 / 2 = 121.88 X 38.83 = 4,732.41  
 124.36 15,118.58  
 5,718.58 / 124.36 = 121.51 PRE-EXISTING AVERAGE GRADE

**PRE-EXISTING AVERAGE GRADE CALCULATIONS**  
 SCALE: 1" = 10'

**OLD AND NEW IMPERVIOUS COVERAGE**

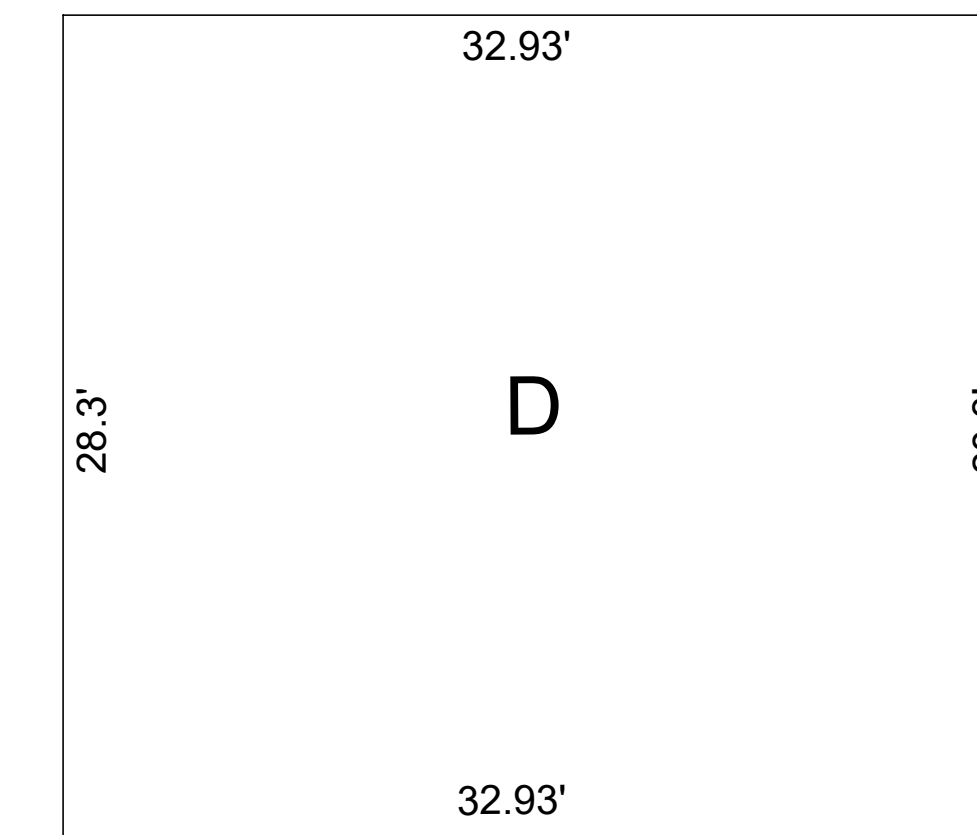
A - NEW PORCH ROOF  
 8.0 X 29.38 = 235.04  
 B - EXPANDED 2ND FLOOR  
 2.0 X 28.3 = 56.60  
 C - EXISTING MAIN DWELLING  
 30.93 X 28.3 = 875.32  
 D - EXISTING MAIN DWELLING  
 4.0 X 8.9 = 35.6  
 E - ADDED DRIVEWAY  
 20.11 X 5.0 = 100.55  
 F - EXISTING DRIVEWAY  
 20.11 X 4.4 = 89.48  
 G - EXISTING EXTERIOR STAIRS  
 11.25 X 14.13 = 158.96  
 TOTAL EXISTING IMPERVIOUS COVERAGE = 1,255.94 S.F.  
 TOTAL ADDED IMPERVIOUS COVERAGE = 386.14 S.F.  
 TOTAL PROPOSED IMPERVIOUS COVERAGE = 1,642.13 S.F.  
 % INCREASE IMPERVIOUS COVERAGE = 386.14 / 1,255.94 S.F. = 3.1%

**IMPERVIOUS COVERAGE CALCULATION**  
 SCALE: 1" = 10'



**FIRST FLOOR AREA**

A - OPEN PORCH NOT INCLUDED  
 B - MAIN DWELLING  
 28.3 x 30.93 = 875.32  
 C - MAIN DWELLING  
 8.15 X 4.0 = 32.6  
 TOTAL = 907.92



**SECOND FLOOR AREA**

D - MAIN DWELLING  
 28.3 X 32.93 = 931.93

TOTAL = 931.93

**GROSS FLOOR AREA CALCULATIONS**

SCALE: 1" = 10'

No.	Date	Revision/Issue	Dwn	Chk
4	1-16-25	Revised Floor Area Calculations	JCM	JCM
3	12-18-24	Revised Floor Area Calculations	JCM	JCM
2	9-2-24	Added Note Removing Ret. Walls		
		From This Application		
		Added Impervious Coverage Calc.	JCM	JCM
1	7-30-24	Added Setback Dimensions to		
		Rear Addition per Comments	JCM	JCM
-	5-16-24	Issued for Denial	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**

**JCM** John C. Moccio, R.A.  
 22 Waldron Drive  
 Stony Point, New York 10980  
 1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
 E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
 60 Irma Avenue  
 Port Washington, New York

Drawing Name:  
**SITE ALIGNMENT PLAN**

Date: 3-23-24 Drawn By: JCM

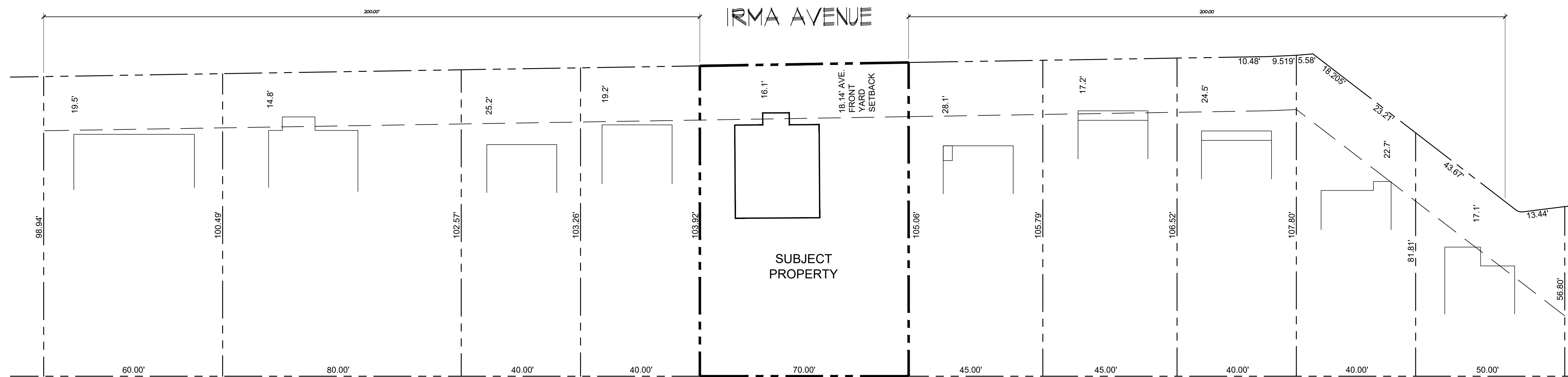
Scale: As Noted Checked By: JCM

Project No.: M22037 Sheet No. 2 of 14

Seal: Dwg. No.:



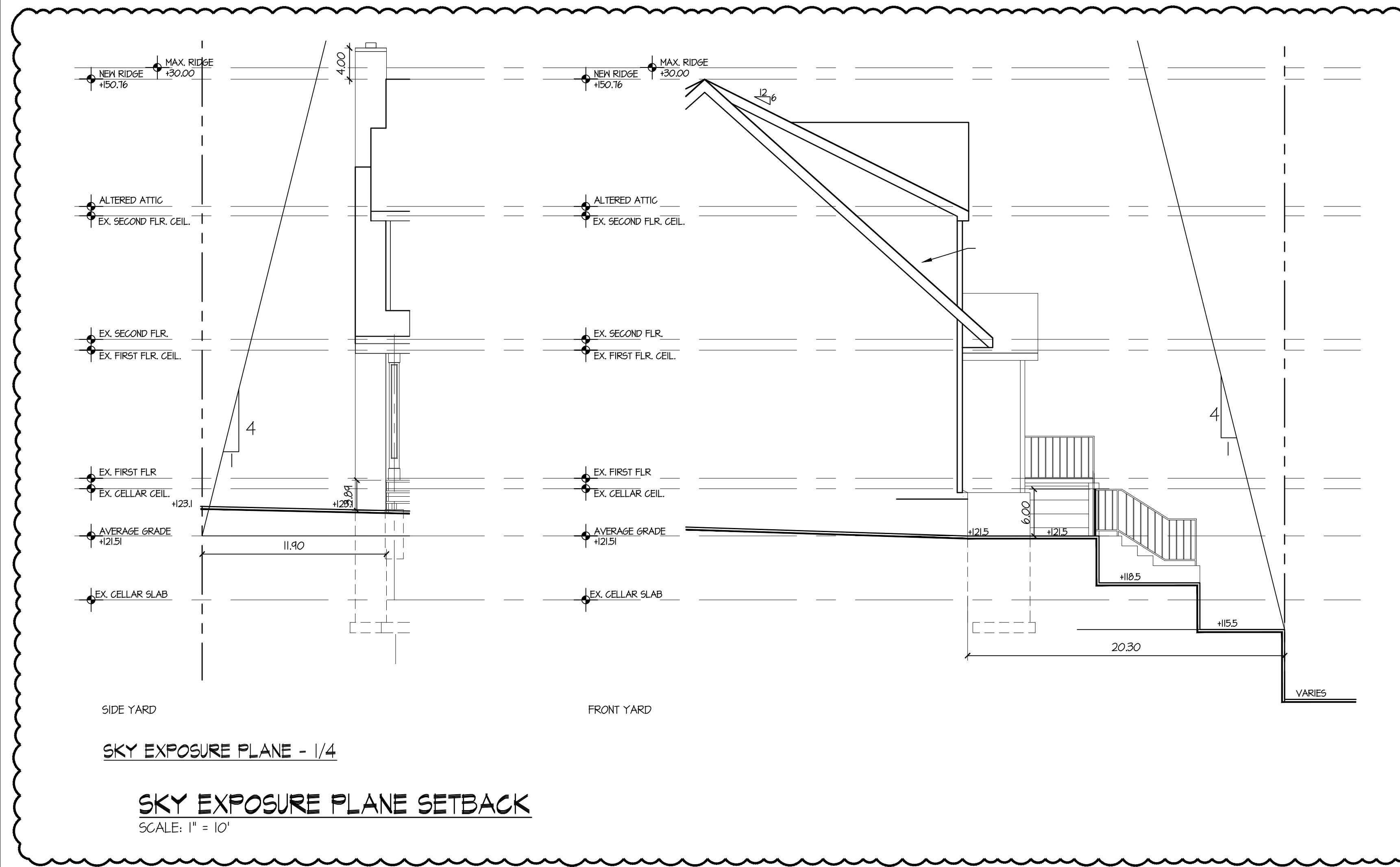
**ST1.1**



**AVERAGE FRONT YARD SETBACK PLAN**  
SCALE: 1" = 20'

$19.5' + 14.8' + 25.2' + 19.2' + 16.1' + 28.1' + 17.2' + 24.5' + 22.7' + 17.1' = 181.4' / 10 = 18.14'$  AVERAGE FRONT YARD SETBACK

**AVERAGE FRONT YARD SETBACK CALCULATION**  
SCALE: 1" = 20'



SKY EXPOSURE PLANE - 1/4

**SKY EXPOSURE PLANE SETBACK**  
SCALE: 1" = 10'

No.	Date	Revision/Issue	Dwn	Chk
1	1-16-25	Added per 1-4-25 Comments	JCM	JCM
-	7-30-24	Issued per 7-12-24 Comments	JCM	JCM

**JCM Architecture, P.C.**

**JCM** John C. Moccio, R.A.  
22 Waldron Drive  
Stony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
60 Irma Avenue  
Port Washington, New York

Drawing Name:  
**AVERAGE FRONT YARD SETBACK PLAN AND CALCULATIONS**

Date: 3-23-24 Drawn By: JCM

Scale: As Noted Checked By: JCM

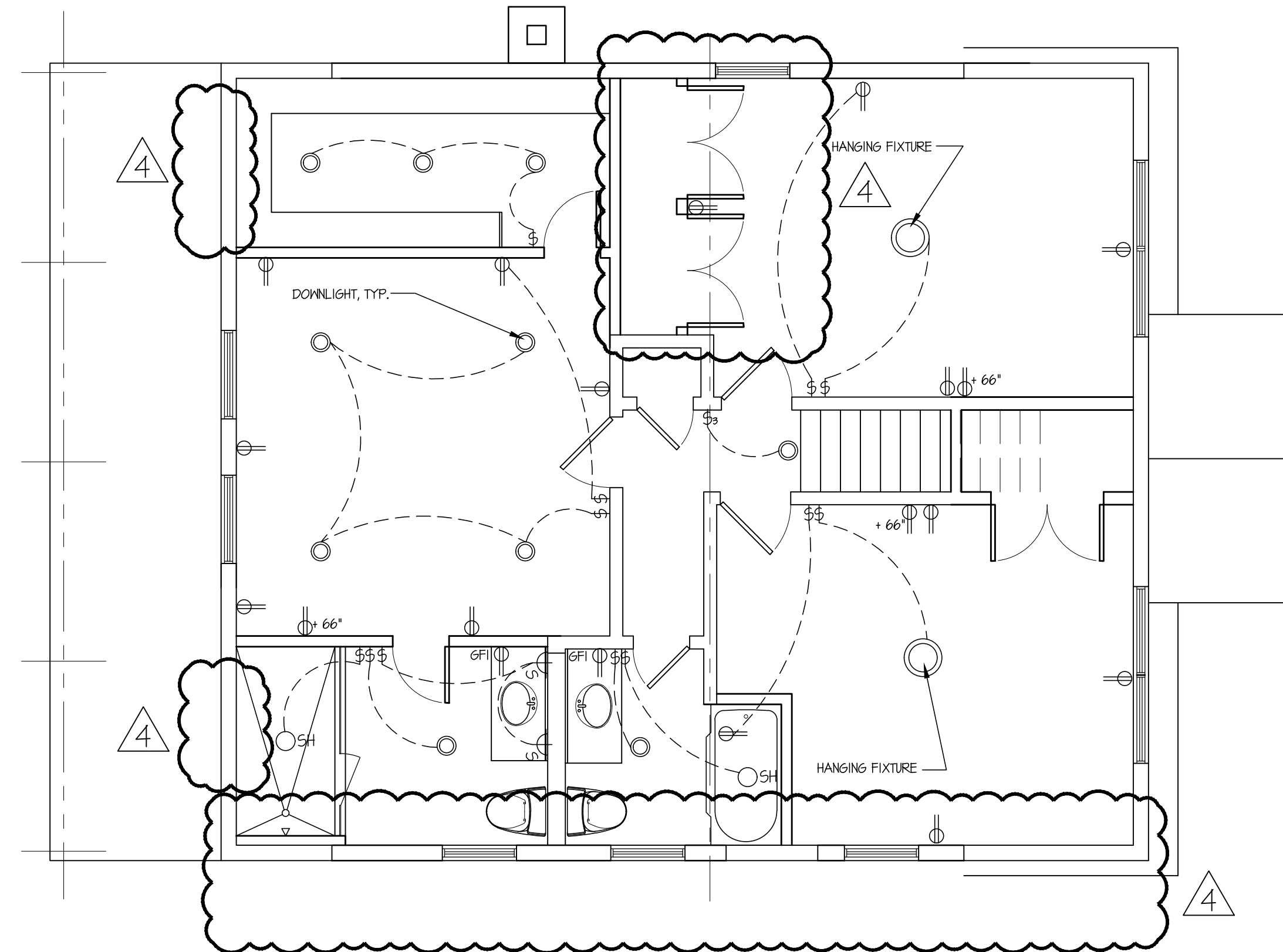
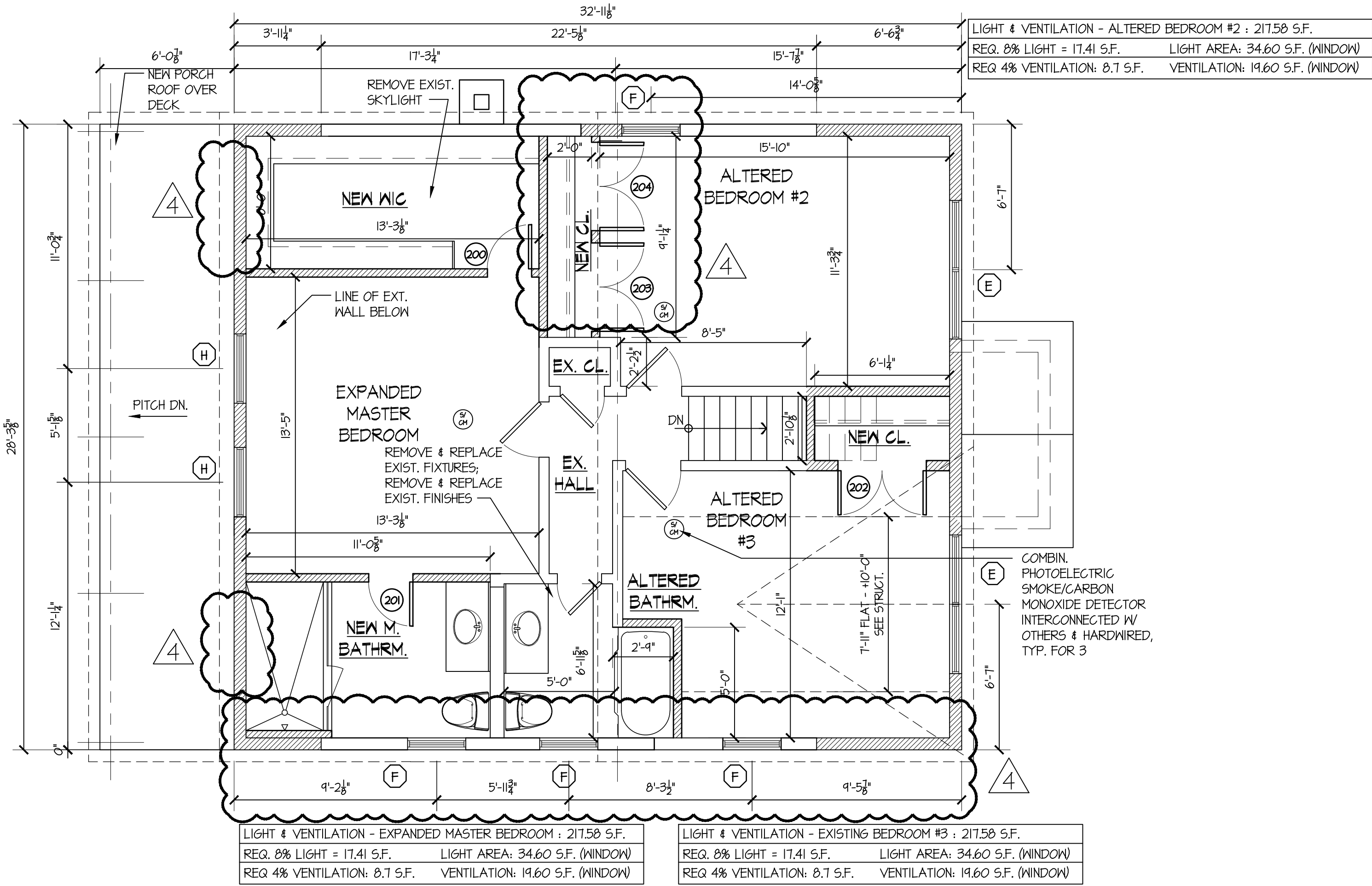
Project No.: M22037 Sheet No. 3 of 14

Seal: Dwg. No.:



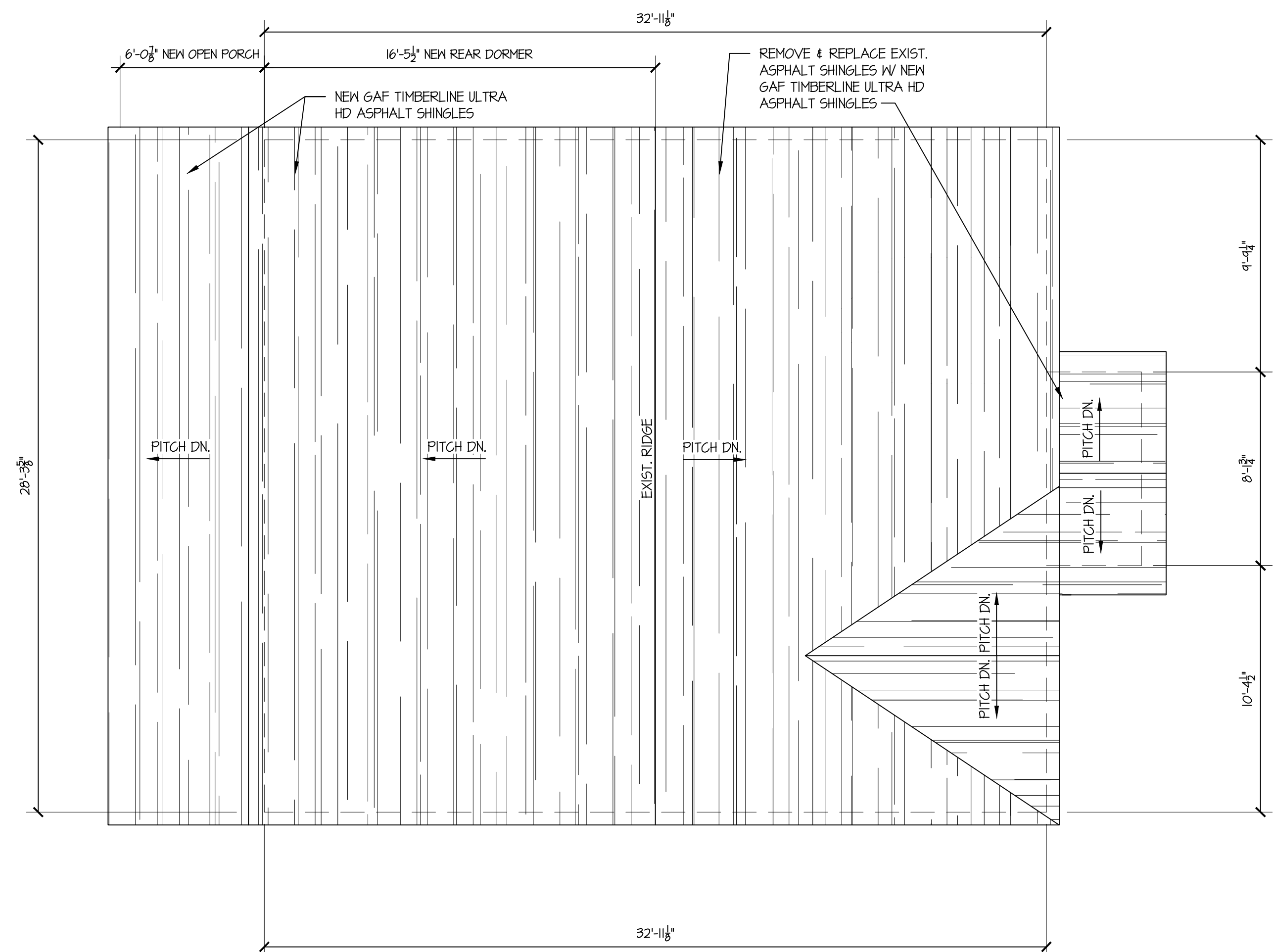
**ST1.2**





**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

No.	Date	Revision/Issue	Dwn	Chk
4	1-16-25	Revised Windows		
3	12-18-24	Expanded 2nd Fir.	JCM	JCM
2	9-2-24	Deleted Portico Roof	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
1	5-16-24	Added Electrical Plan	JCM	JCM
-	2-5-24	Reissued for Review	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM
-	10-4-23	Revised per 10-7-23 Comments	JCM	JCM
-	10-6-23	Revised per 8-4-23 Comments	JCM	JCM
-	12-24-22	Issued for Review	JCM	JCM
-	9-14-22	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
**JCM** John C. Moccio, R.A.  
 22 Waldron Drive  
 Stony Point, New York 10980  
 1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
 E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
 60 Irma Avenue  
 Port Washington, New York

Drawing Name:  
**SECOND FLOOR AND ROOF PLANS AND SECOND FLOOR ELECTRICAL PLAN**

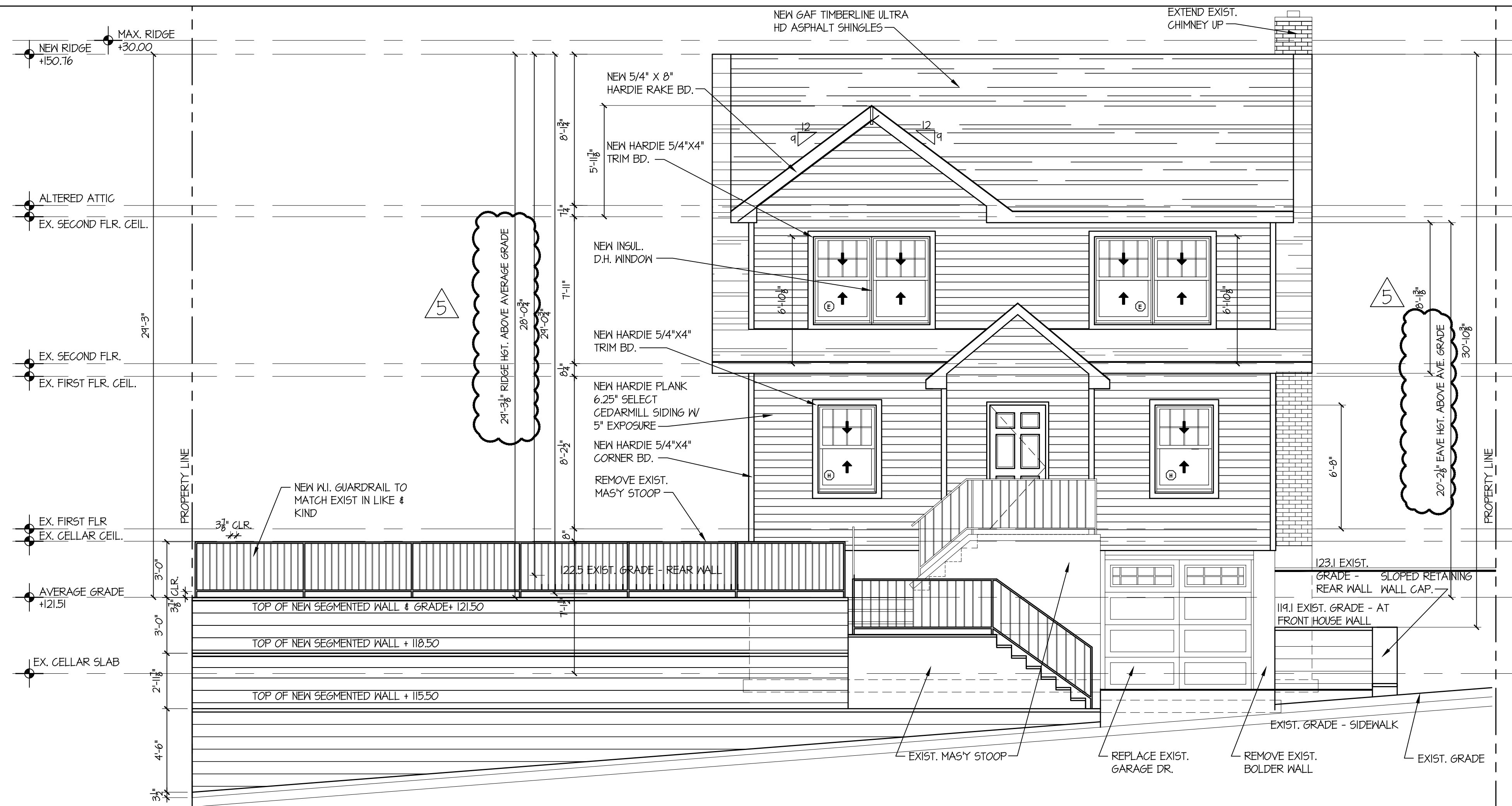
Date:	9-13-22	Drawn By:	JCM
Scale:	As Noted	Checked By:	JCM
Project No.:	M22037	Sheet No.	5 of 14

Seal:

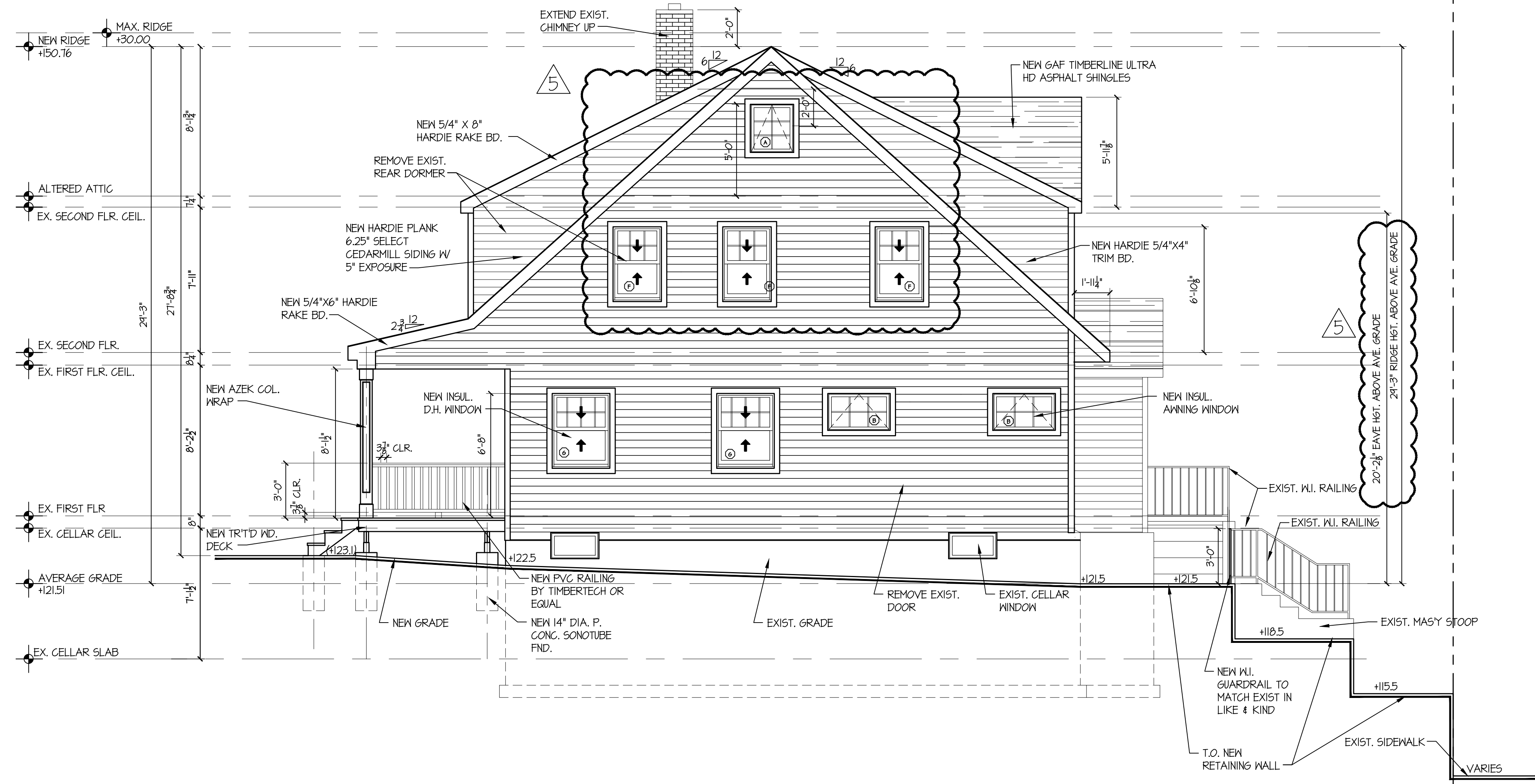
Dwg. No.: **A1.2**

**WALL LEGEND**  
 NEW WALLS  
 WALLS TO BE REMOVED  
 WALLS TO REMAIN





**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

No.	Date	Revision/Issue	Dwn	Chk
5	1-16-25	Revised Windows & Added Dims.	JCM	JCM
4	12-18-24	Revised Elevations	JCM	JCM
3	12-12-24	Expanded 2nd Flr.	JCM	JCM
2	9-2-24	Deleted Portico Roof	JCM	JCM
1	7-30-24	Added Grade Elev's, Guardrail	JCM	JCM
with Dimensions per Comments				
-	5-16-24	Issued for Permit	JCM	JCM
-	2-5-24	Reissued for Review	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
John C. Moccio, R.A.  
22 Waldron Drive  
Stony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

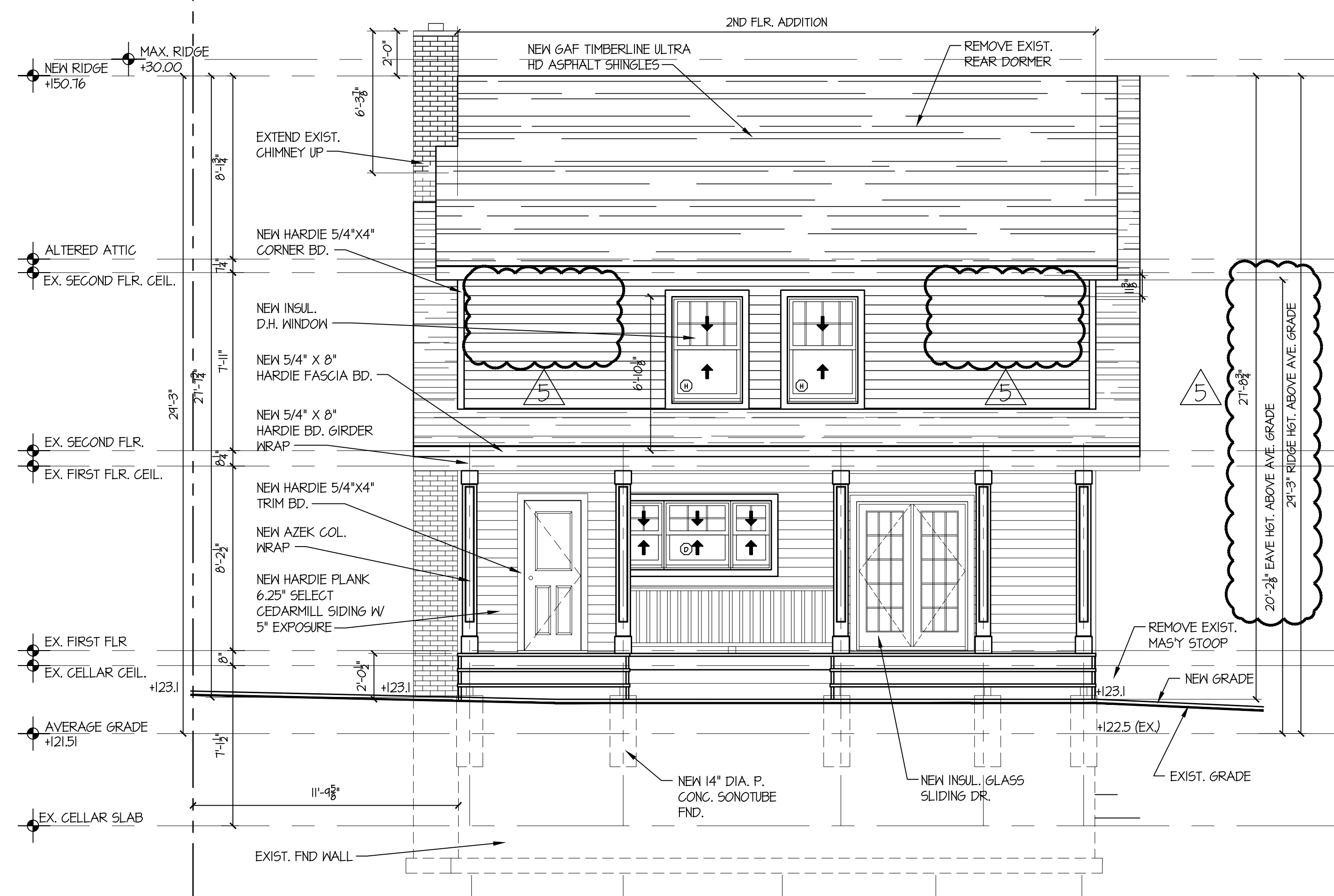
Project Name and Address:  
**Alteration and Addition to Existing Residence**  
37 Neulist Avenue  
Port Washington, New York

Drawing Name:  
**SOUTH AND EAST ELEVATIONS**

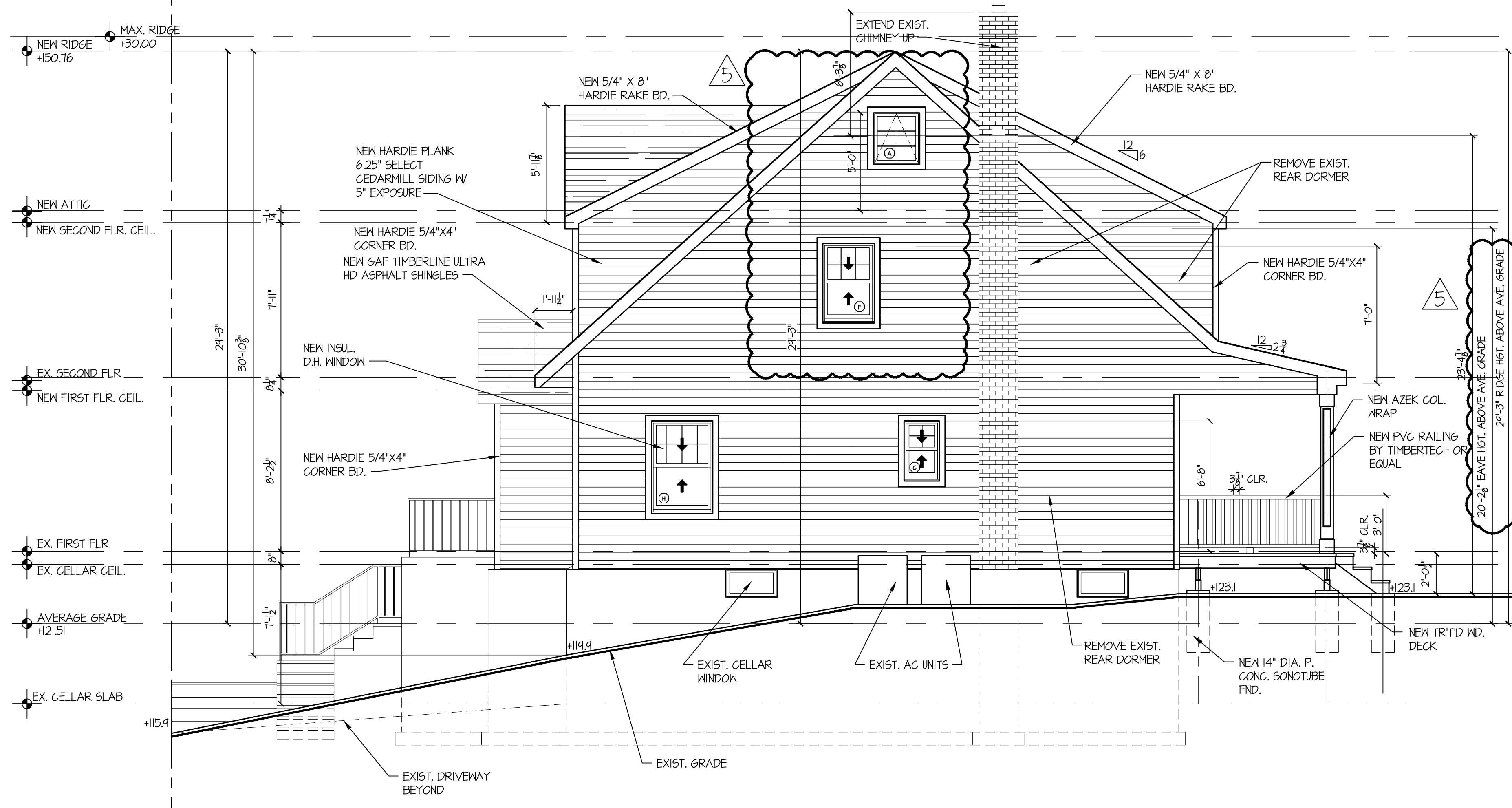
Date: 1-15-24  
Scale: As Noted  
Project No.: M22037

Drawn By: JCM  
Checked By: JCM  
Sheet No. 6 of 14

Seal:  Dwg. No.: **A21**



**1 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

No.	Date	Revision/Issue	Dwn	Chk
5	1-16-25	Revised Windows & Dims.	JCM	JCM
4	12-18-24	Revised Elevations	JCM	JCM
3	12-12-24	Expanded 2nd Flr.	JCM	JCM
2	9-2-24	Deleted Portico Roof		
1	7-30-24	Added Grade Elevations &		
		Guardrail Dimensions per Comments	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	2-5-24	Reissued for Review	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
 John C. Moccio, R.A.  
 22 Waldron Drive  
 Stony Point, New York 10980  
 1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
 E-Mail - Johnjcmra@aol.com

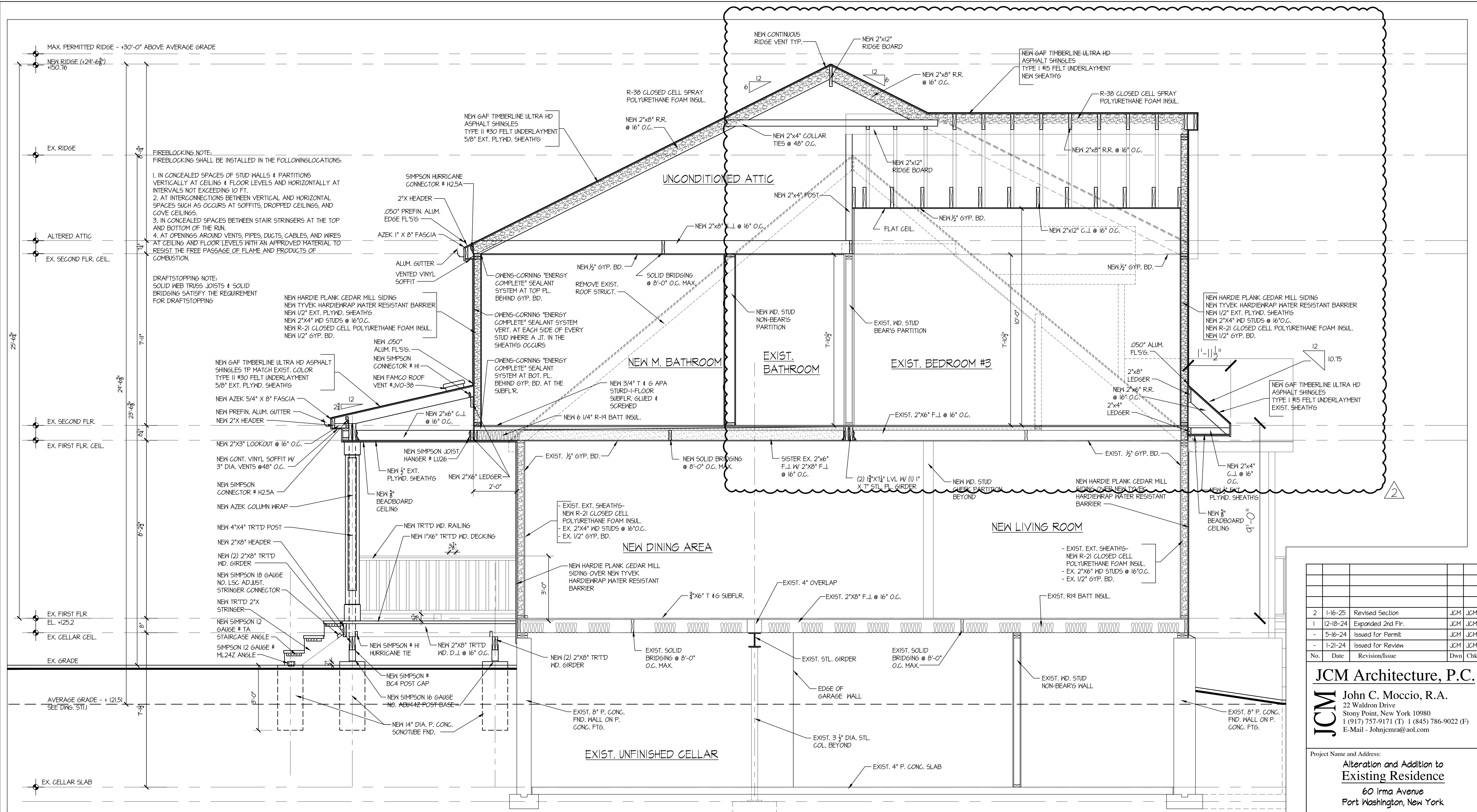
Project Name and Address:  
**Alteration and Addition to Existing Residence**  
 60 Irma Avenue  
 Port Washington, New York

Drawing Name:  
**NORTH AND WEST ELEVATIONS**

Date:	1-15-24	Drawn By:	JCM
Scale:	As Noted	Checked By:	JCM
Project No.:	M22037	Sheet No.:	7 of 14
Seal:		Dwg. No.:	



**A22**



**FIREBLOCKING NOTE:**  
 FIREBLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
 1. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS VERTICALLY AT CEILING & FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.  
 2. AT INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROPPED CEILING, AND COVE CEILING.  
 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.  
 4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

**DRAFTSTOPPING NOTE:**  
 SOLID WEB TRUSS JOISTS & SOLID BRIDGING SATISFY THE REQUIREMENT FOR DRAFTSTOPPING

**1**  
**A31**  
**CROSS SECTION A-A**  
 SCALE: 1/2" = 1'-0"

No.	Date	Revision/Issue	Dwn	Chk
2	1-16-25	Revised Section	JCM	JCM
1	12-18-24	Expanded 2nd Flr.	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
**JCM** John C. Moccio, R.A.  
 22 Waldron Drive  
 Stony Point, New York 10980  
 1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
 E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
 60 Irma Avenue  
 Port Washington, New York

Drawing Name:  
**CROSS SECTION A-A**

Date: 1-15-24  
 Scale: As Noted  
 Project No.: M22037  
 Sheet No. 8 of 14  
 Drawn By: JCM  
 Checked By: JCM

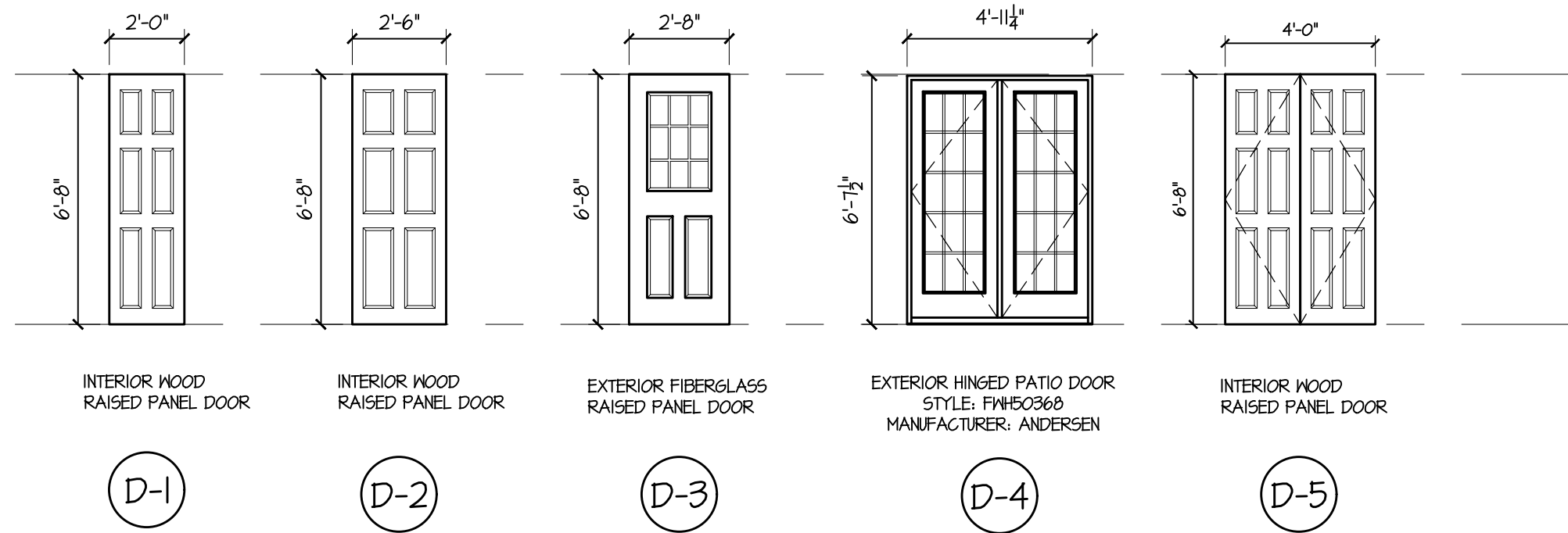


**A31**

## DOOR SCHEDULE

DOOR NO.	DOORS				LOCATION	SAD.	FIRE RTG.	REMARKS
	SIZE:	THK	TYPE	MAT.				
BI	2'-0" x 6'-8"	1-3/4"	D-1	IND	NEW POWDER ROOM	---		
100	2'-6" x 6'-8"	1-3/4"	D-2	IND	ALTERED HOME OFFICE	---		
101	2'-6" x 6'-8"	1-3/4"	D-2	IND	NEW PANTRY	---		
102	2'-0" x 6'-8"	1-3/4"	D-1	IND	NEW POWDER ROOM	MARBLE		
103	2'-6" x 6'-8"	1-3/4"	D-2	IND	NEW MIDROOM	---		
104	2'-8" x 6'-8"	1-3/4"	D-3	FIBERGLS	NEW MIDROOM	ALUM		
105	6'-11 1/2" x 6'-7 1/2"	1-3/4"	D-4	PVC/IND	NEW DINING AREA	ALUM		
200	2'-0" x 6'-8"	1-3/4"	D-1	IND	NEW WIC	---		
201	2'-0" x 6'-8"	1-3/4"	D-1	IND	NEW MASTER BATHROOM	MARBLE		
202	(2) 2'-0" x 6'-8"	1-3/4"	D-5	IND	NEW CLOSET	---		
203	(2) 2'-0" x 6'-8"	1-3/4"	D-5	IND	NEW CLOSET	---		
204	(2) 2'-0" x 6'-8"	1-3/4"	D-5	IND	NEW CLOSET	---		

NOTE: HARDWARE ALLOWANCE OF \$350 PER DOOR TO BE PROVIDED.  
1 1/2" PAIR BUTTS PER DOOR TO BE SELECTED BY OWNER



## DOOR TYPES

SCALE: 1/4" = 1'-0"

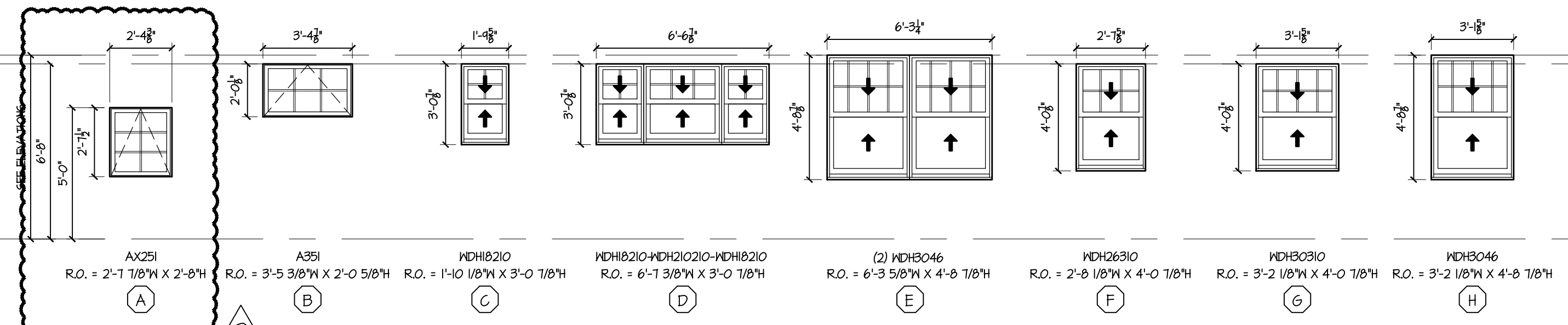
## WINDOW SCHEDULE

NOTE: ALL WINDOWS AS MANUFACTURED BY ANDERSEN SERIES 400 U.O.N.

NOTE: WINDOW GLASS SHALL BE TYPE:  
LOW E4: U - 0.24, SG - 0.32, SHGC - 0.24

WIN. NO.	MODEL NO.	QTY.	TYPE	EGRESS	COMMENTS
A	AX251	2	ANNING		
B	A351	2	ANNING		
C	NDH8210	1	DOUBLE HUNG		
D	NDH8210-NDH210210-NDH8210	1	DOUBLE HUNG-PICTURE		
E	(2) NDH3046	2	DOUBLE HUNG		
F	NDH26310	4	DOUBLE HUNG		
G	NDH30310	2	DOUBLE HUNG	YES	
H	NDH3046	5	DOUBLE HUNG	YES	

NOTE: ALL GRILLES TO BE SIMULATED DIVIDED LIGHT W/ PERMANENT EXTERIOR & REMOVEABLE INTERIOR



## WINDOW TYPES

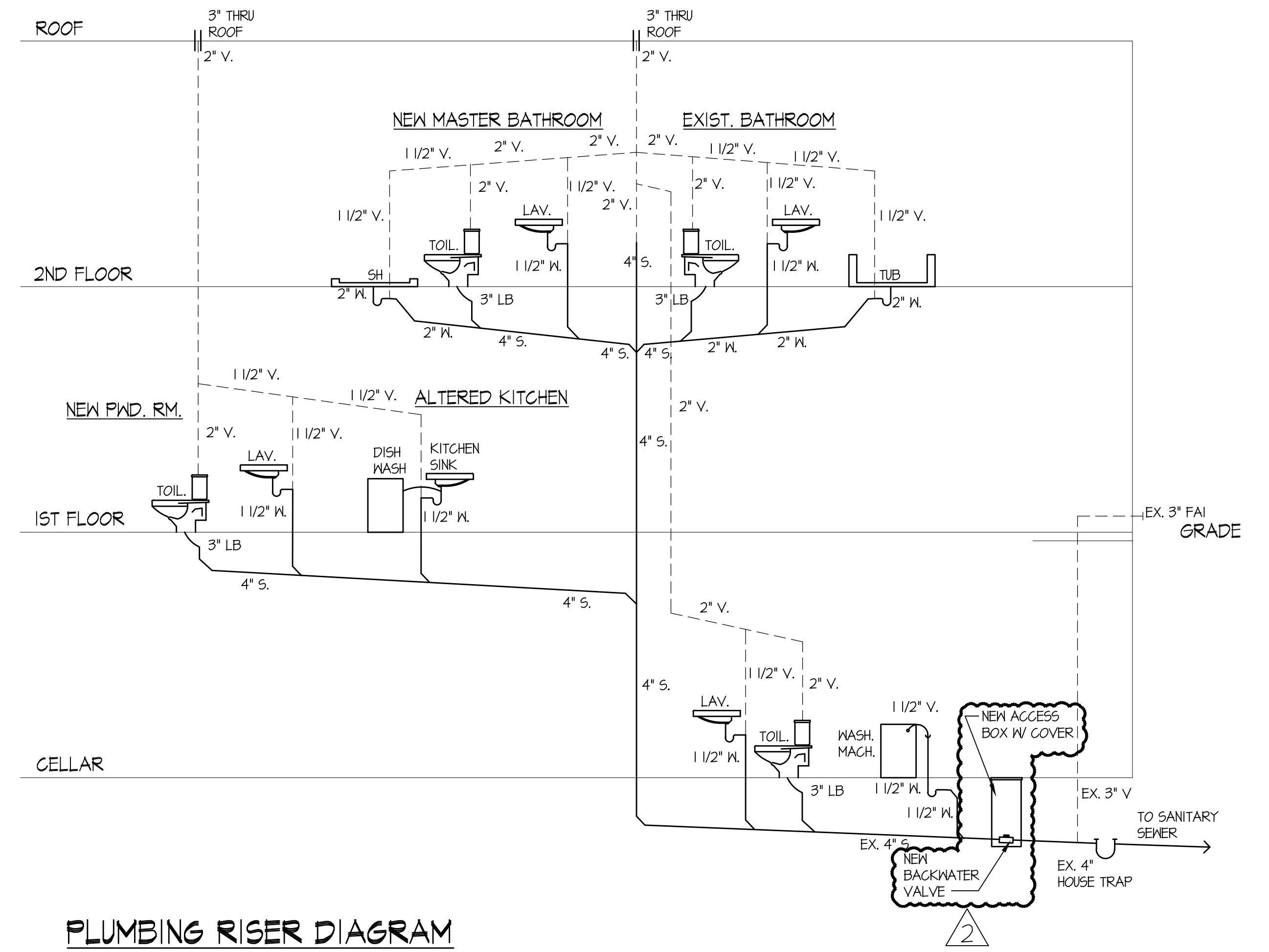
SCALE: 1/4" = 1'-0"

## EMERGENCY EGRESS INFORMATION

RONY'S SECTION R310  
REQUIRED IN HABITABLE BASEMENTS AND SLEEPING AREAS ONLY.

SILL HEIGHT 44" MAXIMUM  
MINIMUM OPENING WIDTH = 20 IN.  
MINIMUM OPENING HEIGHT = 24 IN.  
MINIMUM NET OPENING SIZE GRADE LEVEL = 5 SQ. FT. CLEAR (GRADE TO SILL HEIGHT 44" AT EXT. MAX)  
MINIMUM NET OPENING SIZE OTHER AREAS = 5.7 SQ. FT. CLEAR

WINDOW TYPE, SIZE AND MANUFACTURER	CLEAR OPG. IN.		CLEAR OPG. SQ. FT.
	WIDTH	HEIGHT	
ANDERSEN NDH3046 OR BETTER DOUBLE HUNG	33 7/8	24 1/4	5.7
ANDERSEN CN135 OR BETTER CASEMENT WITH STRAIGHT ARM HARDWARE	22 4/16	36 3/8	5.7
ANDERSEN FNH2768 OR BETTER FRENCH DOOR, HINGED	24 13/16	75 1/4	12.98
ANDERSEN FN65068 OR BETTER FRENCH DOOR, SLIDING	22 1/8	75 3/8	11.58



## PLUMBING RISER DIAGRAM

SCALE: NONE

No.	Date	Revision/Issue	Dwn	Chk
2	1-16-25	Added Backwater Valve	JCM	JCM
1	12-18-24	Revised Window Sched. 4 Types	JCM	JCM
-	5-16-24	Revised Plumbing Riser Diagram	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

## JCM Architecture, P.C.

**JCM** John C. Moccio, R.A.  
22 Waldron Drive  
Stony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

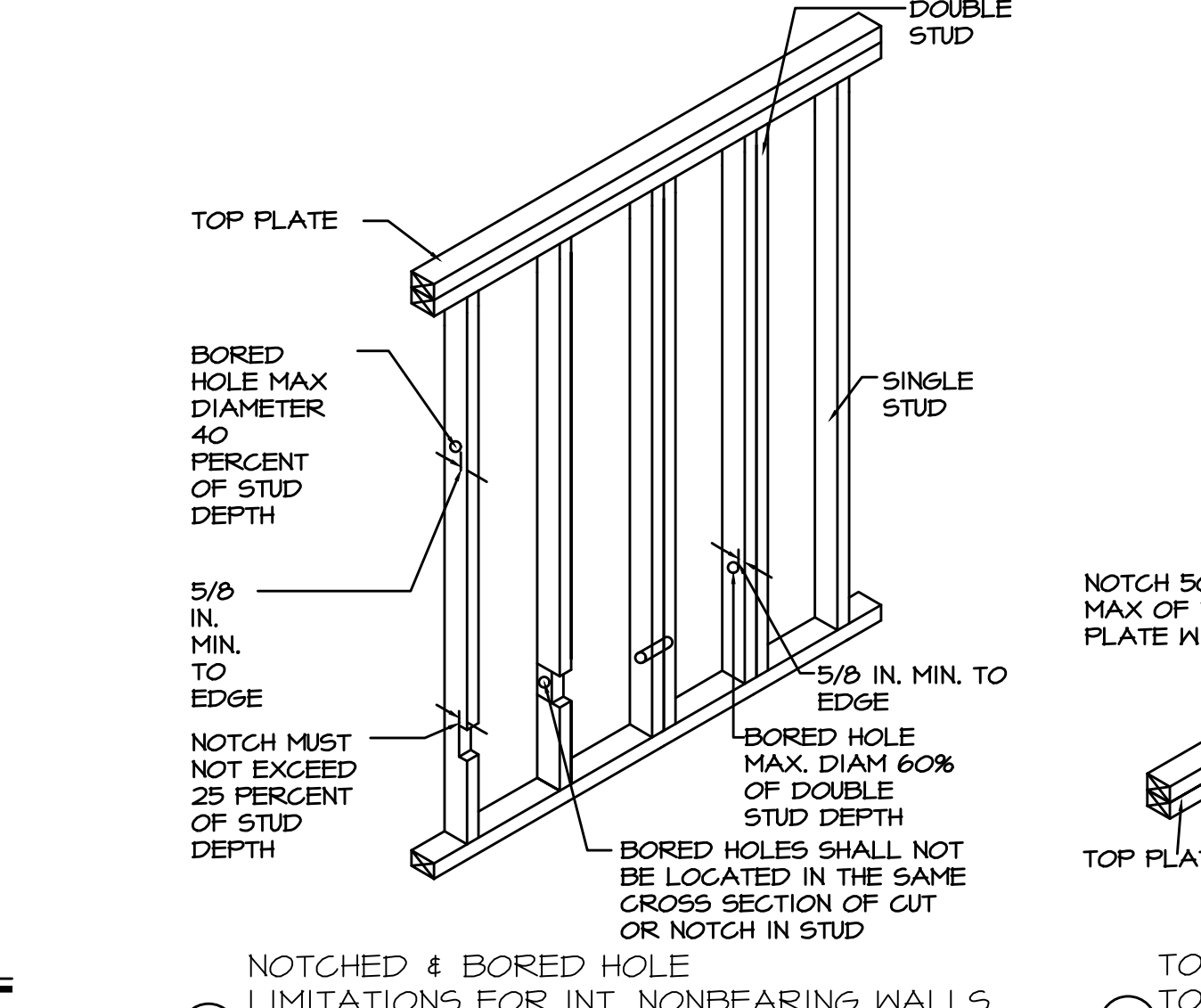
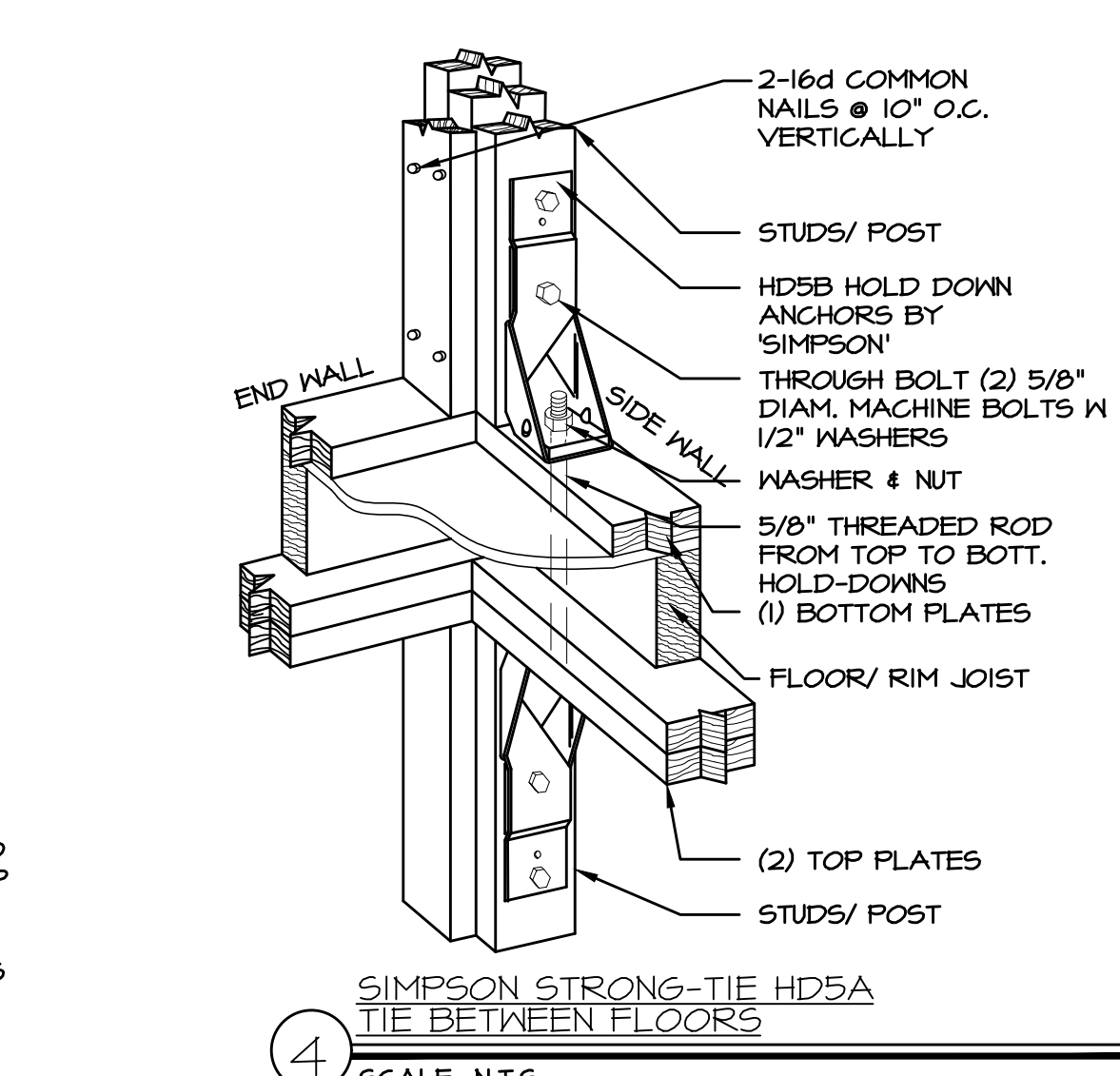
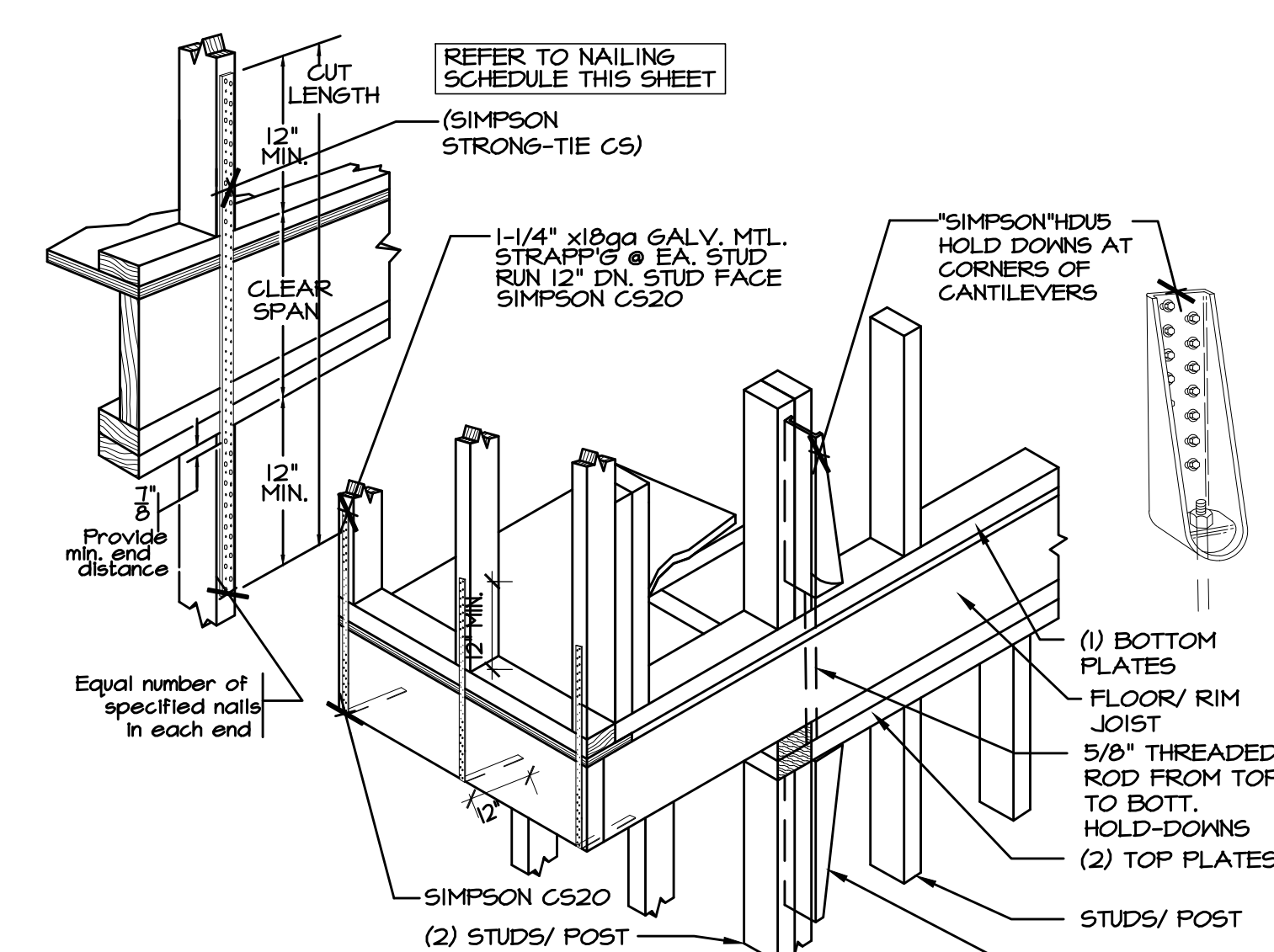
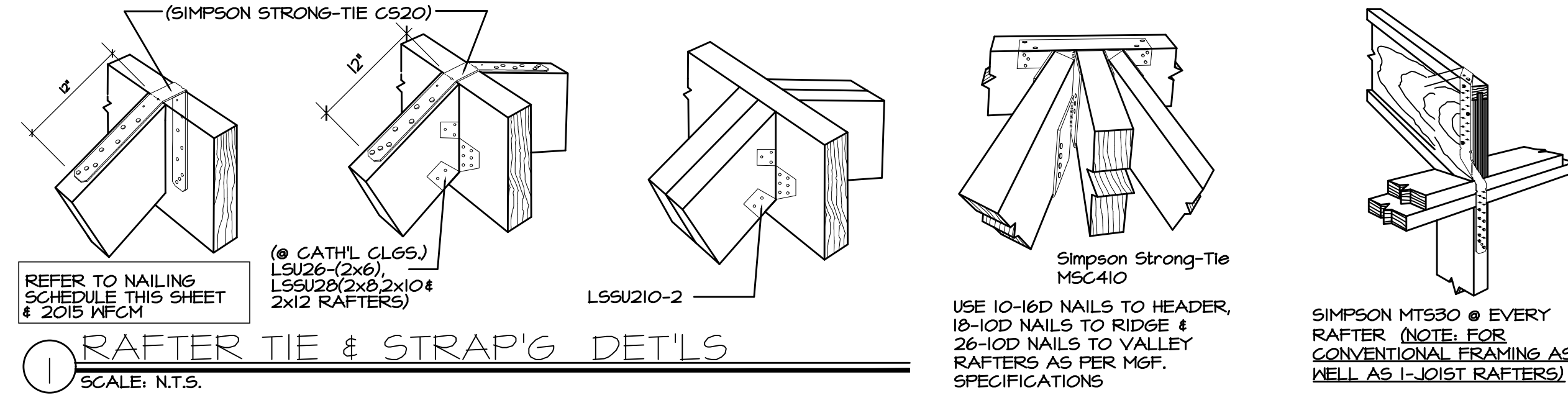
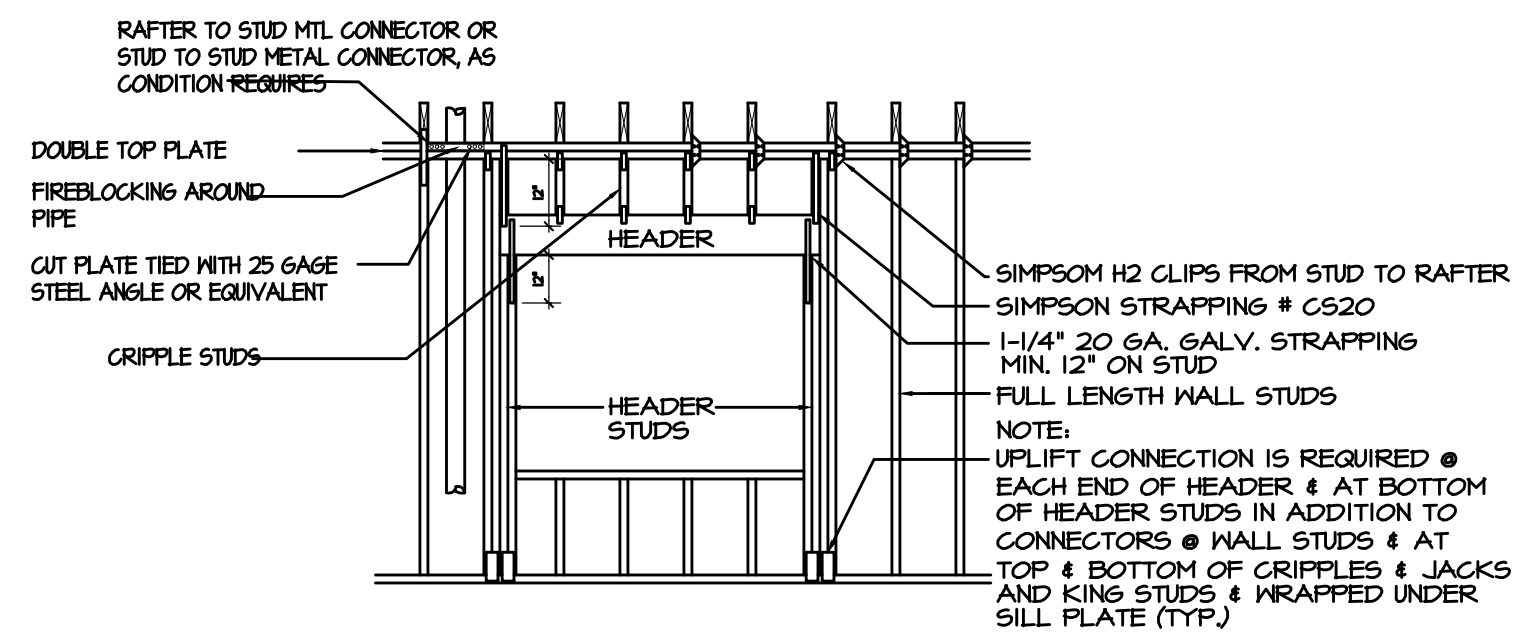
Project Name and Address:  
**Alteration and Addition to Existing Residence**  
60 Irma Avenue  
Port Washington, New York

Drawing Name:  
**DOOR AND WINDOW SCHEDULES AND PLUMBING RISER DIAGRAM**

Date:	2-6-21	Drawn By:	JCM
Scale:	As Noted	Checked By:	JCM
Project No.:	M20039	Sheet No.:	9 of 14
Seal:		Dwg. No.:	



**A4.1**

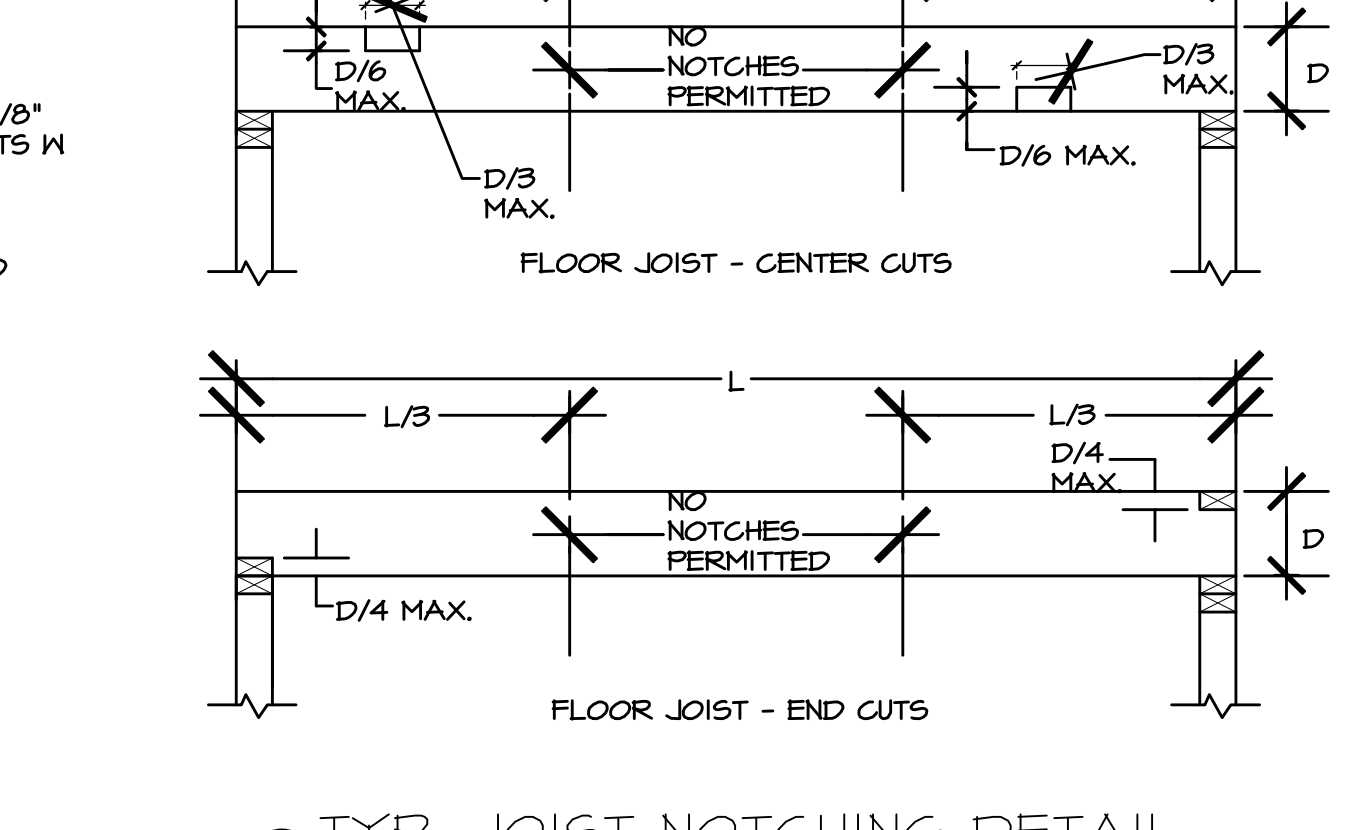
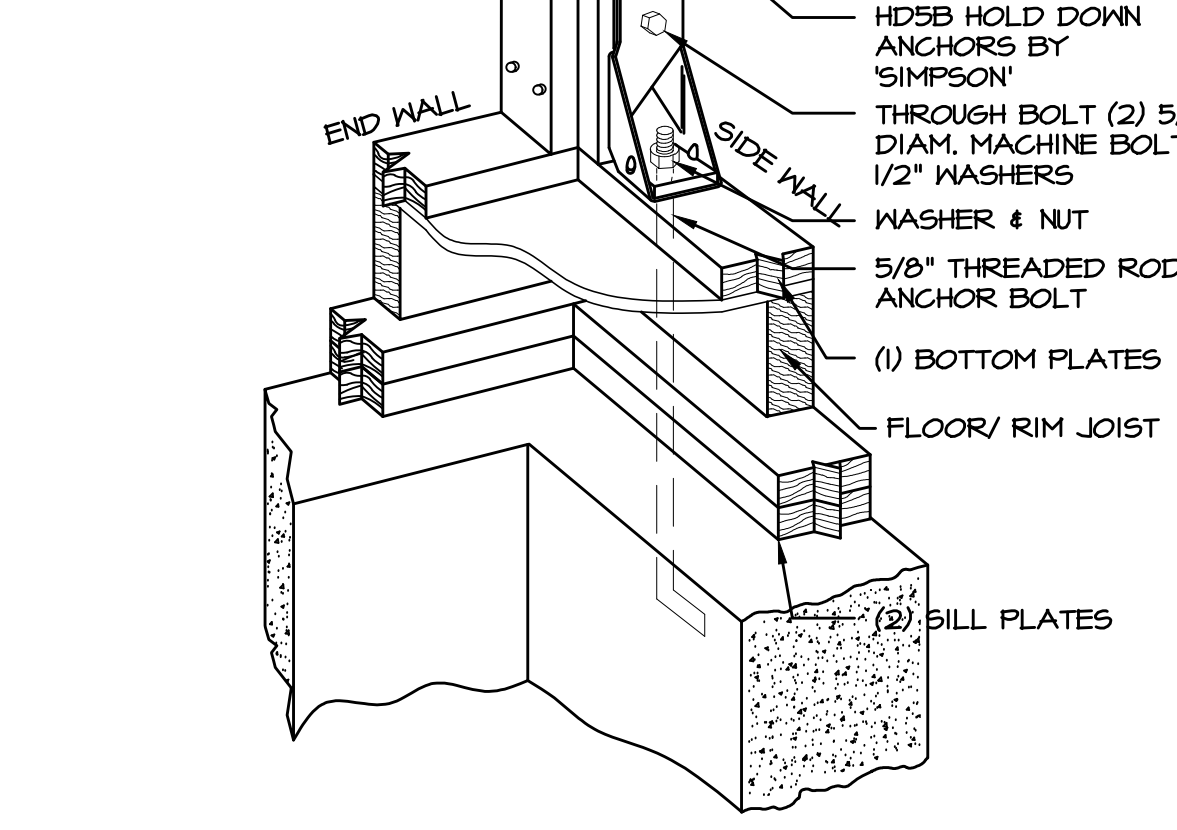
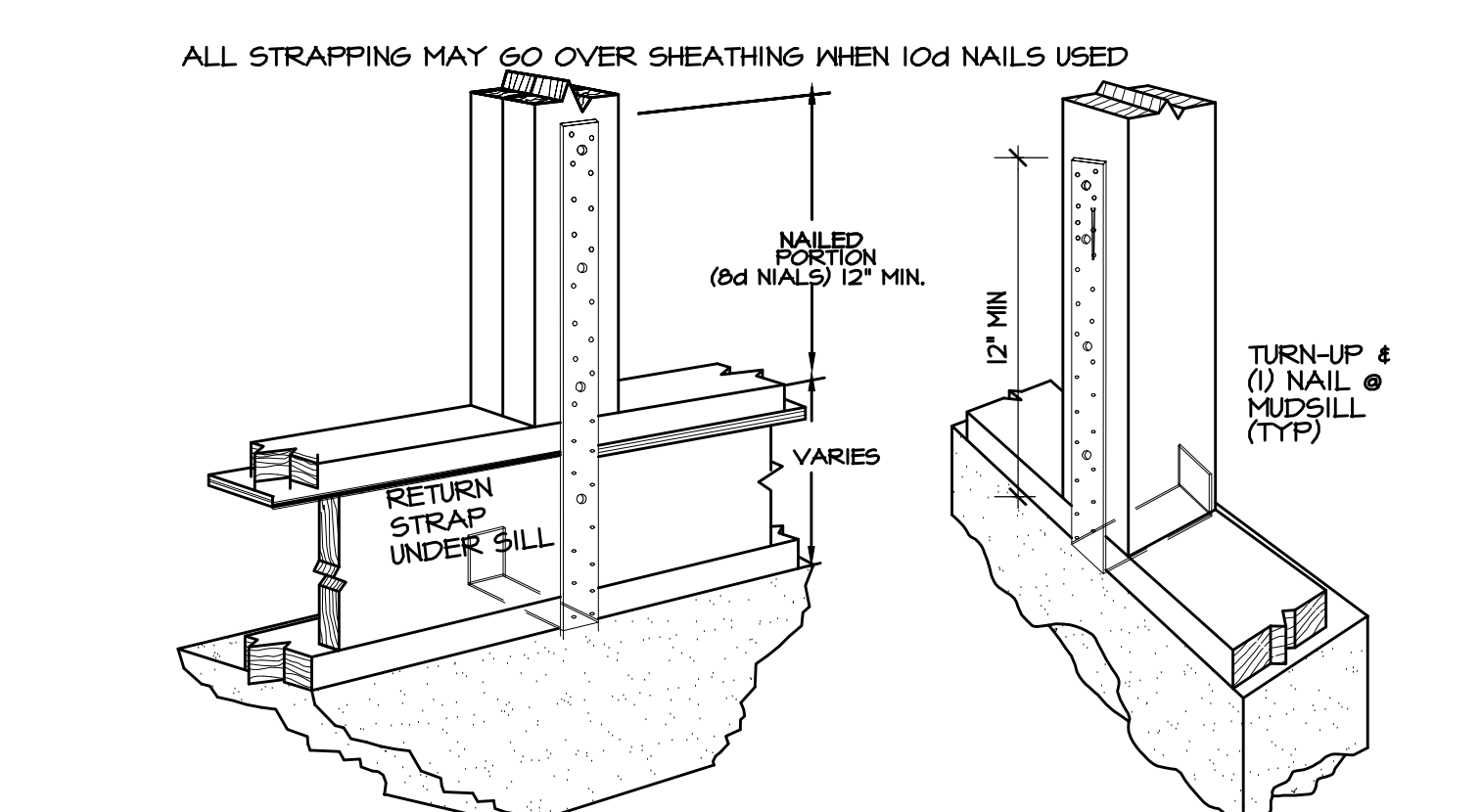


**WALL & CANTILEVER STRAPPING/HOLD-DOWN DETAILS**  
 1. INSTALL STRAPPING @ 16" O.C.  
 2. FLOOR JOISTS MUST ALIGN W STUDS  
 ALL STRAPPING MAY GO OVER SHEATHING WHEN 10d NAILS USED

**SIMPSON STRONG-TIE HD5A TIE BETWEEN FLOORS**  
 SCALE: N.T.S.

**NOTCHED & BORED HOLE LIMITATIONS FOR INT. NONBEARING WALLS**  
 SCALE: N.T.S.

**TOP PLATE FRAMING TO ACCOMMODATE PIPING**  
 SCALE: N.T.S.

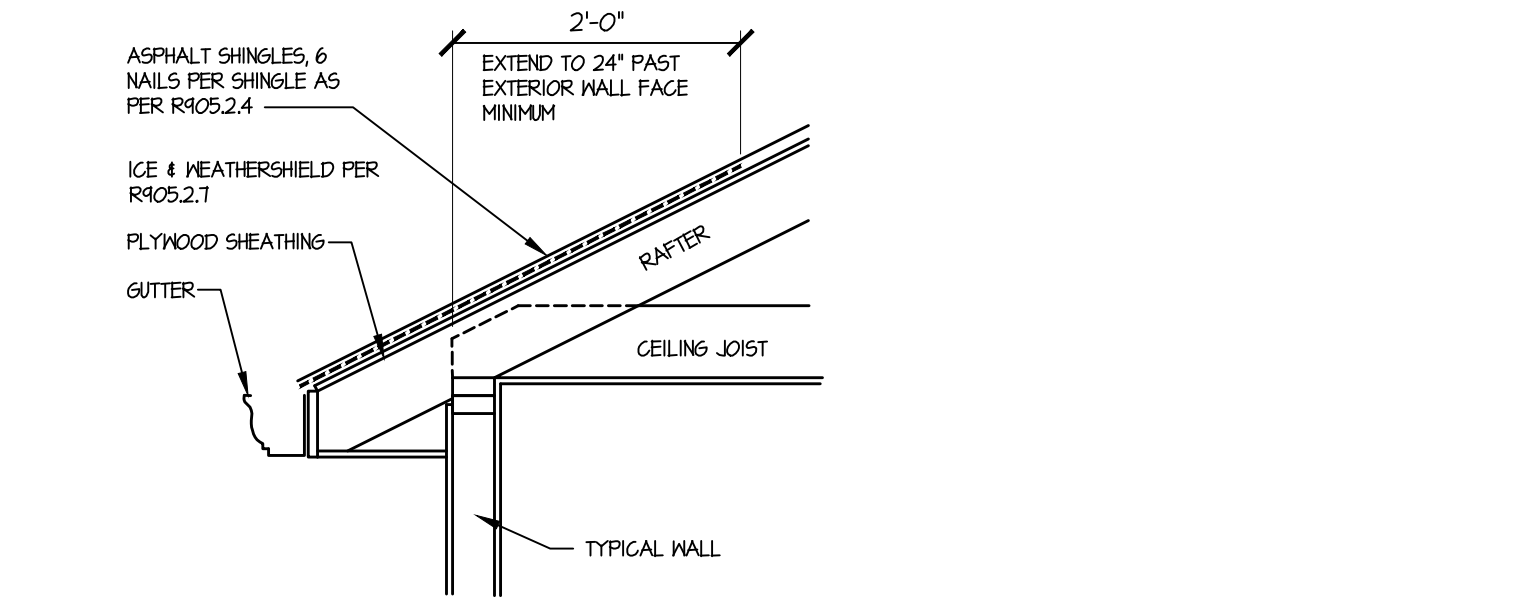


**WALL HOLD-DOWN STRAPPING (UPLIFT ONLY)**  
 SCALE: N.T.S.  
 1. (1) STRAP ON EACH WALL STUD, & WRAP UNDER SILL PLATE AND UP ON INSIDE FACE OF SILL  
 2. INSTALL MIN. 1/2" ANCHOR BOLTS - SPACING AS PER TABLE 3.2A, THIS SHEET # 12" FROM ALL CORNERS & EACH SIDE OF SILL SPLICE, UTILIZING 3-1/2"sq.

**SIMPSON STRONG-TIE HD5B HOLD DOWN CONNECTION**  
 SCALE: N.T.S.  
 @ ALL CORNERS & ANY BREAK IN WALL GREATER THAN 4'-0"

**TYP. JOIST NOTCHING DETAIL**  
 SCALE: N.T.S.

**PIPE OR CONDUIT**  
 D (ACTUAL DEPTH)



**ICE PROTECTION DETAIL**  
 SCALE: N.T.S.

No.	Date	Revision/Issue	Dwn	Chk
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
 John C. Moccio, R.A.  
 22 Waldron Drive  
 Stony Point, New York 10980  
 1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
 E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
 60 Irma Avenue  
 Port Washington, New York

Drawing Name:  
**FRAMING DETAILS**

Date: 1-15-24  
 Scale: As Noted  
 Project No.: M22037

Drawn By: JCM  
 Checked By: JCM  
 Sheet No. 10 of 14  
 Dwg. No.:



**A5.1**

## FRAMING NOTES

- ALL NEW FRAMING LUMBER TO BE DOUGLAS FIR #1 OR BETTER, UNLESS OTHERWISE NOTED AND HAVE A MIN. BENDING STRESS OF 1,000 PSI, MODULUS OF ELASTICITY OF 1,100,000.
- LVL (LAMINATED VENEER LUMBER) SHALL HAVE A MINIMUM BENDING STRESS OF 2600 PSI, AND MIN. MODULUS OF ELASTICITY OF 1,900,000 PLS (PARALLAM) SHALL HAVE A MINIMUM BENDING STRESS OF 2,900 PSI AND MIN. MODULUS OF ELASTICITY OF  $E=2.0 \times 10^6$  PSI.
- FLITCH PLATE HANGERS SHALL BE CONSTRUCTED WITH A36KSI STEEL MIN. AND HAVE A BOLT PATTERN AS SHOWN IN DETAILS. IT IS RECOMMENDED THAT FLITCH PLATE HEADERS BE SHOP FABRICATED, SUCH AS BY BETTER HEADER SANDWICH PLATE SYSTEM. BETTER HEADER IS LOCATED AT 115 SOUTH 13TH ST. LINDENHURST NY 11751.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE ACQ TREATED.
- PROVIDE SOLID BLOCKINGS AT INTERVALS NOT EXCEEDING 8'-0" FOR FLOOR JST SPAN.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITION WALLS, AND UNDER ALL BATHUBS AND JACUZZI TUBS.
- FOR JOIST RUNNING PARALLEL TO BEARING WALL, PROVIDE SOLID BLOCKING 16" O.C. AND ALIGN WITH STUDS ABOVE AND BELOW.
- FRAMED OPENING IN FLOOR AND CEILINGS SHALL HAVE ALL HEADER AND TRIMMER JOIST/RAFTERS DOUBLED ON ALL SIDES. USE SIMPSON HANGERS FOR TRIMMER JOISTS.
- PROVIDE GALVANIZED SIMPSON JOIST HANGERS FOR ALL FLUSH MEMBERS AND CONNECTIONS.
- PROVIDE 2 INCHES OF BEARING MIN. FOR ALL MEMBERS.
- PROVIDE FIRESTOPPING IN WALLS, AT STAIRS ALONG SIDE STRINGERS BETWEEN FLOORS, BETWEEN WALL CAVITIES AND CONCEALED HORIZONTAL SPACES SUCH SOFFITS AND DROP CEILINGS.
- SUBFLOORS SHALL BE  $\frac{3}{4}$ " CDX PLYWOOD, GLUED AND NAILED.
- FRAMING SHALL BE STRAPPED AS SHOWN IN DETAILS TO PROVIDE CONTINUOUS LOAD PATH FROM THE RAFTERS TO THE FOUNDATION.
- SEE DETAILS FOR NOTCHING AND DRILLING OF FRAMING MEMBERS. SEE ATTACHED DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY AND SAFELY SUPPORTING ALL LOADS DURING REMOVING AND ERECTION OF ALL WALL HEADERS, THIS INCLUDES ALL SUPPORT DESIGNS AND CONSTRUCTION METHODS TO PERFORM ALL WORK WITHOUT DAMAGING EXISTING AND OR PROPOSED STRUCTURE.
- ALL DECK LUMBER SHALL BE ACQ TREATED AND ALL FASTENERS AND JOIST HANGERS SHALL BE COMPATIBLE WITH TREATED LUMBER.
- ALL FASTENERS AND HANGERS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. SEE DECK DETAILS FOR FASTENING REQUIREMENTS OR RAILING AND STRUCTURE.
- DOUBLE STUDS AT ALL OPENINGS IN THE EXTERIOR AND BERING WALLS. DOUBLE ALL JOIST, HEADERS AND TRIMMERS AROUND ALL OPENINGS AND UNDER ALL PARTITIONS.
- A MIN. OF ONE  $\frac{3}{8}$ " ANCHOR BOLT SHALL BE PROVIDED WITHIN 6"-12" OF EACH END PLATE, AND HAVE A MIN. EMBEDMENT OF 7" IN CONC. SONOTUBE PIER AND OR FOUNDATION. ALSO 3" SQUARE WASHERS SHALL BE USED ON ALL ANCHOR BOLTS WITH THE ANCHOR BOLTS SPACING BEING 45" O.C. THROUGHOUT INCLUDING INTERIOR ZONES, AND 34" O.C. IN 8" END ZONE. (WFGM2018, SECTION 3.2.2.1 AND TABLE 3.2 B AND 3.2C)

## GENERAL NOTES

- THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE OUTLINE SPECS WHEN PROVIDED. IF PROVIDED THE SPECIFICATIONS MAY HAVE TO BE MODIFIED TO AGREE BUILDING PLANS.
- ASSUMED SOIL TO BE CLAY, SANDY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, HM AND CH) WITH A MIN. SOIL BEARING CAPACITY OF 1,500 PSF AS PER TABLE R.401 41-RCNY'S 2010.
- CONCRETE TO BE MIN 3500 PSI 28 DAY TEST PREDICATED ON THE ABOVE SOIL ASSUMPTION IF OTHER SOILS ARE ENCOUNTER LOWER BEARING VALUES ARE TO BE ASSUMED AND THE FOUNDATION MUST BE REDESIGNED.
- ALL FOOTINGS TO REST ON VIRGIN UNDISTURBED SOIL.
- DESIGN LOADS ARE AS FOLLOWS PER SF.

LOCATION	LIVE	DEAD	DEFLECTION LIMIT
1ST FLOOR	40LB	10LB	1/360
2ND FL. (SLEEP 6 AREA)	30LB	10LB	1/360
ROOF (W/FIN. CEIL'G)	30LB SNOW	15LB	1/240
ROOF (W/FIN. CEIL'G)	30LB	17LB	1/180

- THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE WHEN BUILDING IN ANY OTHER JURISDICTION, EITHER INSIDE OR OUTSIDE NYS CODE. VARIIFICATIONS MAY BE REQUIRED.
- THE ARCHITECT / ENGINEER HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION CONFORMING WITH THESE PLANS, OR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRESS IN CONNECTION WITH THE WORK THERE ARE NO WARRANTIES, NOR ANY GUARANTEES IMPLIED THE USE OF THESE PLANS.
- DO NOT SCALE DRAWINGS FOLLOW DIMENSIONS ONLY. ALL DIMENSIONS ARE A NOMIAL SIZE EXAMPLE. INTERIOR WALL DIMENSIONS SHOWN: 0'-4" ACTUAL INTERIOR WALL THICKNESS: 0'-4"  $\frac{3}{8}$ " SOME ROOMS MAY HAVE THERE DIMENSIONS ADJUSTED TO THIS FACTS.
- ALL MATERIALS TO BE USED ON THE PROJECT SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF THEIR PRODUCT.
- ALL MASONRY SHALL BE TIED TO STRUCTURE WITH SUITABLE NON-CORROSIVE STRAPS AND ANCHORS INTENDED FOR THESE SPECIFIC USE.
- LUMBER TO BE GRADE MARKED PRIOR TO DELIVERY TO SITE, SUBJECT TO INSPECTION.

## MEP NOTES

- ALL PLUMBING WORK SHALL CONFORM TO CHAPTER 26 THROUGH 33 OF THE RESIDENTIAL CODE OF NYS AND PERFORMED BY A LICENSED PLUMBING CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND RELOCATING ALL WATER, ELECTRICAL, AND GAS LINES, INCLUDING METERS THAT CONFLICT WITH PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNERS OF RESPECTIVE METERS.
- THE OWNER SHALL SELECT ALL PLUMBING FITURES PRIOR TO STARTING WORK.
- ALL MECHANICAL WORK SHALL CONFORM WITH CHAPTERS 12 THROUGH 24 OF THE RESIDENTIAL CODE OF NYS AND BE PERFORMED BY A LICENSED CONTRACTOR.
- CLOTHES DRYER EXHAUST DUCTS SHALL BE CONSTRUCTED OF MINIMUM .016" THICK RIGID METAL DUCTS. THE MAX LENGTH SHALL BE REDUCED 25', FOR EACH 45-DEGREE BEND. THE LENGTH SHALL BE REDUCED 25' AND 90-DEGREE BENDS SHALL REDUCE THE LENGTH BY 5'. THE DIAMETER OF THE EXHAUST DUCT SHALL BE AS REQUIRED BY THE CLOTHES DRYER LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS FLEXIBLE TRANSITION DUCT USED TO CONNECT THE DRYER TO THE EXHAUST DUCT SYSTEM SHALL BE ONE LENGTH AND NOT TO EXCEED 8', AND SHALL NOT BE CONCEALED WITHIN CONSTRUCTION. THE DRYER EXHAUST DUCT SYSTEM SHALL CONFORM WITH SECTION M 1501 OF THE RESIDENTIAL CODE OF NYS.
- ALL ELECTRICAL WORK SHALL CONFORM TO CHAPTERS 34 THROUGH 43 OF THE RESIDENTIAL CODE OF NYS, AND BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL SUPPLY THE OWNER WITH THE UNDERWRITERS CERTIFICATE UPON COMPLETION UNDER COMPLETION OF ALL ELECTRICAL WORK.
- THE OWNERS SHALL SELECT ALL FIXTURES, OUTLETS, AND SWITCHES AND COORDINATE THERE LOCATIONS WITH THE ELECTRICIAN. LIGHT WILL BE REQUIRED IN ALL ROOMS, CLOSETS AND OVER ALL STAIRWAYS.
- THE ELECTRICAL SERVICE AND ALL OVERHEAD / UNDERGROUND ELECTRICAL LINES AND OTHER UTILITY LINES SHALL BE RELOCATED OR MAINTAINED BY A LICENSED ELECTRICAL CONTRACTOR AND / OR THE ELECTRICAL UTILITY COMPANY.

## GLAZING AND FLOOD NOTES

- ALL GLAZING SHALL BE INSULATED, HIGH-PERFORMANCE GLASS (IG-35).
- ALL INTERIOR PARTITIONS TO BE 2X4 WOOD STUDS @ 16" O.C. W/ GYP. BD BOTH SIDES. DOUBLE-UP FLOOR JOISTS UNDER PARTITIONS RUNNING PARALLEL.
- GYPSTUM BD. TO BE  $\frac{1}{2}$ " TAPERED EDGE "SHEETS ROCK", TAPED AND SPACKLED (3 COATS) OR EQUAL, UNLESS OTHERWISE NOTED ON DRAWING.
- PROVIDE FLASHING AT ALL ROOF, WALL, OR OTHER INTERSECTIONS, OER HEADS OF ALL OPENINGS AND UNDER SILLD OF ALL WINDOWS AND DOOR, CAULK ALL JOINTS EXPOSED TO WEATHER.
- ROOF COVERING SHALL BE CLASSIFIED AS TYPE A OR B. ALL STRUCTURAL STEEL SHALL BE MIN. 36,000 PSI.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND INSPECTED BY THE BOARD OF FIRE UNDERWRITERS AS PER THE NEG.
- SINGLE STATION SMOKE & CARBON MONOXIDE DETECTING DEVICE TO BE INSTALLED ADJACENT TO SLEEPING AREAS ON EACH FLOOR LEVEL AND SHALL BE LOCATED ON OR NEAR CEILING.
- CURBS, CURB CUTS AND PAVING MUST CONFORM WITH ALL REGULATIONS AND REQUIREMENTS OF THE DEPARTMENT OF PUBLIC WORKS.

ALL BUILDINGS STRUCTURE ERECTED IN AREAS PRONE TO FLOODING TO BE BUILT ACCORDING TO 2020 RCNY'S SECTIONS R322 (FLOOD-RESISTANT CONSTRUCTION)

-ALLOW FOR 2'-0" FREEBOARD AS PER R322.1.4.I  
 -ALL WOOD MATERIALS INSTALLED UNDER FLOOD ELEV. TO BE A.G.Q. AND DECAY RESISTANT DESIGN AND METHODS OF CONSTRUCTION TO BE USE MUST MEET THE APPLICABLE CRITERIA OF CHAPTER R322 OF THE 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK.

R408.1: UNDER FLOOR VENTILATION.  
 THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS 1 VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE THE INSTALLATION OF THE OPERABLE LOUVERS SHALL NOT BE PROHIBITED.

-THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 S.F. OF UNDER FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING.  
 -THE MINIMUM NET AREA OF FLOOD VENT OPENINGS SHALL NOT BE LESS THAN 1 SQUARE INCH FOR EACH 1 S.F. OF UNDER FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 12" OF GRADE.

## ADDITIONAL NOTES

- THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING DETAILED, TRADE BY TRADE, SCHEDULE OF THE COMPLETE PROJECT INDICATING A COMPLETION DATE.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD VERIFYING QUALITY OF WORK. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
- ALL WORK SHALL CONFORM TO THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE.
- DIMENSION FIGURES SHALL ALWAYS BE TAKE IN PREFERENCE TO SCALING OF DRAWINGS, ALL DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED BEFORE ORDERING MATERIALS.
- ARCHITECT IS NOT RESPONSIBLE FOR SUPERVISION, INSPECTION OR ADMINISTRATION OF THIS CONSTRUCTION PROJECT.
- ALL ELECTRICAL WORK SHALL BE UNDERWRITERS APPROVED AND COMPLY WITH ALL STATE AND LOCAL CODES.
- ALL SOFFITS ARE TO HAVE CONTINUOUS VENT.
- SEAMLESS LEADERS AND GUTTERS AT ALL NEW ROOF SLOPES PROVIDE CONCRETE SPLASH BLOCK AT TERMINATION OF ALL LEADERS.
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR WALL OPENINGS AND ROOF INTERSECTIONS. STEP FLASHING WILL BE PROVIDED AT ALL CHIMNEYS IN CONTRACT WITH THE ROOF. ALL VENTED PIPES R OTHER PROTRUSIONS SHALL BE PROPERLY FLASHED WITH BASE AND CAP FLASHING.
- CONTRACTOR TO VERIFY ALL WORK WITH MECHANICAL AND ELECTRICAL CONTRACTORS TO COORDINATE LOCATION OF SLEEVES, PIPING, DUCTS, AND CONDUIT AND ELECTRICAL OUTLETS.
- CAULK AND SEAM ALL JOINTS PROVIDING A POSITIVE BARRIER AGAINST THE PASSAGE OF AIR AND MOISTURE.
- ALL CONTRACTORS SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY OWNER, BUILDING MANAGEMENT AND GOVERNMENT AGENCIES HAVING JURISDICTION AS WELL AS STATUARY REQUIREMENTS FOR DISABILITY BY JOB CONDITIONS AND/OR OWNER'S REQUIREMENTS. INSURANCE SHALL PROTECT OWNER, ARCHITECT, AND ANY OTHERS FROM LIABILITY DUE TO CONTRACTOR'S NEGLIGENCE. CERTIFICATES OF INSURANCE SHALL BE SENT TO OWNER AND DEPARTMENT OF BUILDING PERMIT PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL CONTRACTORS SHALL CHECK CONDITIONS AND TEXT ALL ELEMENTS UNDER THEIR JURISDICTION WITHIN WORK AREA. ANY ITEMS FOUND INCONSISTENT, FAULTY OR DAMAGED DUE TO DEMOLITION OR ACCIDENT SHALL BE REPAIRED PATCHED OR REPLACED AT THE DISCRETION OF ARCHITECT AND AT CONTRACTORS EXPENSE.
- CONTRACTOR IS TO PROVIDE PROPER PROTECTION OF EXISTING AREA AND NEW WORK AND WHERE INADEQUATE PROTECTION IS PROVIDED. THE CONTRACTOR IS TO REFURNISH SURFACES AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF DEBRIS PRODUCED AS A RESULT OF ALL WORK BY THEIR SUBCONTRACTORS OR THEIR OWN INSTALLERS, AND SHALL LEAVE AREAS BROOM CLEAN AFTER THE COMPLETION OF THE WORK DAY.
- ALL UNSATISFACTORY WORK SHALL BE REMOVED AND RE-EXECUTED AT NO COST TO THE OWNER OR ARCHITECT.
- ALL CHANGES WHICH RESULT IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY OWNER. EXTRA COST PROPOSALS SHALL BE SUBMITTED TO OWNER FOR APPROVAL.
- GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO FULLY GUARANTEE THEIR WORK AND ALL MATERIALS FOR THE MIN. OF ONE (1) YEAR STARTING FROM THE COMPLETION OF THE JOB AND ACCEPTANCE OF THE COMPLETED PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODE STANDARDS AND GOOD PRACTICE.
- GENERAL CONTRACTOR TO PROVIDE ANY TEMPORARY SHORING, UNDERPINNING, AND / OR TEMPORARY STRUCTURAL WORK REQUIRED FOR THE ADEQUATE EXECUTION OF THE JOB.
- ALL PARTITIONS AND JOINTS ARE TO BE TAPED, SPACKLED, AND POLISHED SMOOTH AND READY TO RECEIVE PAINT OR WALL COVERINGS. ALL CORNERS TO RECEIVE METAL CORNER BEADS.
- ALL WALLS TO BE PAINTED SHALL BE TAPED, SPACKLERS AND PAINTED WITH TWO COAT OF PRIMER AND TWO COATS OF FINISH PAINT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THE CONTRACTOR OR ANY SUBCONTRACTOR OR ANY OF THE CONTRACTOR'S OR SUBCONTRACTOR'S EMPLOYEES OR AGENTS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

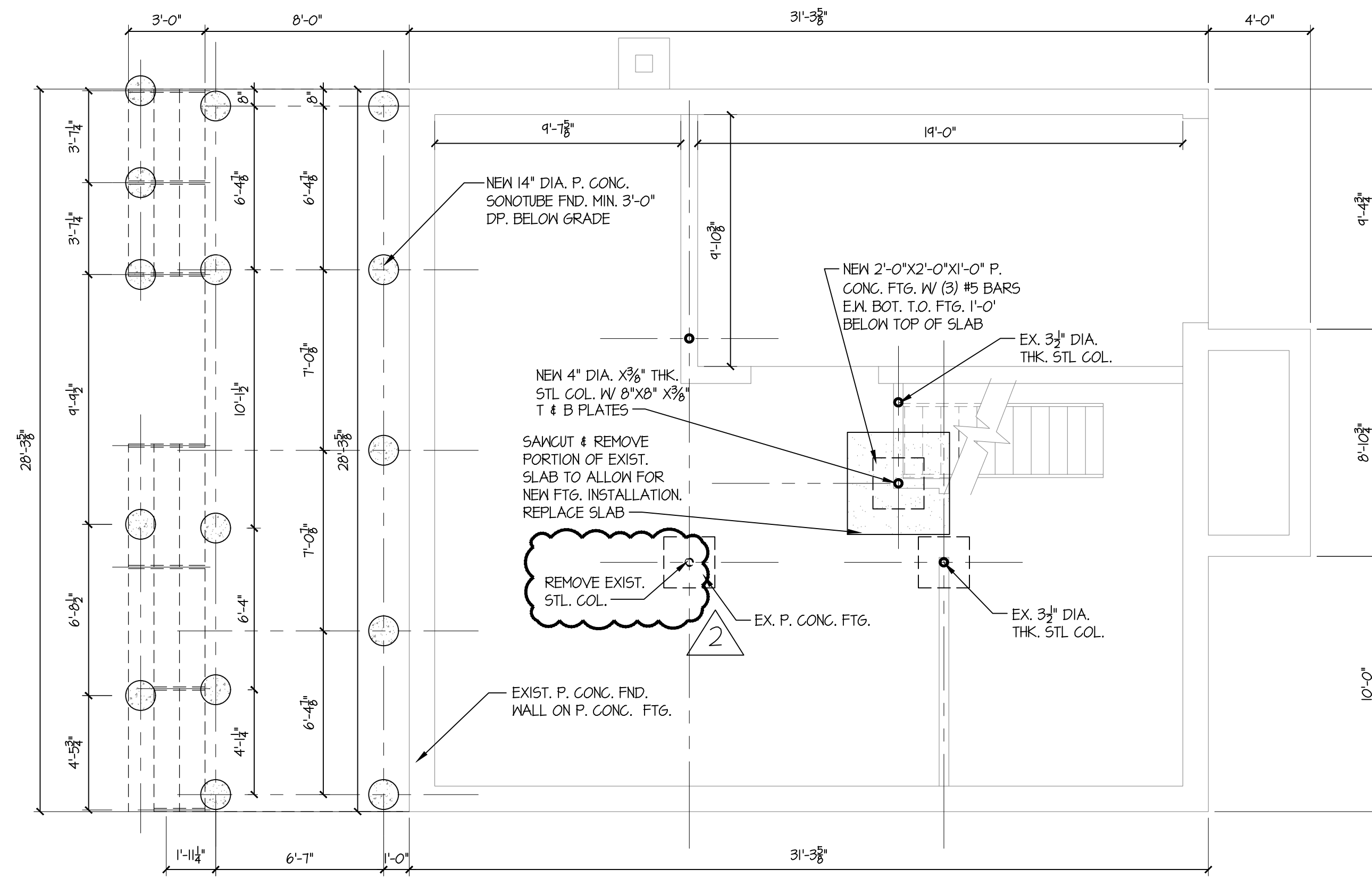
## COMBINATION SMOKE/CARBON MONOXIDE DETECTOR NOTES

- SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED AS REQUIRED BY RESIDENTIAL, BUILDING, AND FIRE CODES OF NEW YORK STATE.
- DETECTORS SHALL BE PHOTOELECTRIC TYPE AND TO COMPLY WITH RS 2034-08.
- UNITS TO BE HARD WIRED WITH INSTALLATION TO COMPLY WITH RS 120-15.
- UNITS TO BE APPROVED BY BOARD OF STANDARDS AND APPEALS, ACCEPTED PERSUANT TO RULES AND REGULATION FROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING LABORATORY SUCH AS:  
(A) UNDERWRITERS LABS, NORTHBROOK, ILLINOIS.
- POWER SUPPLY TO BE DIRECT FROM BUILDING WIRING WITHOUT SWITCHES IN CIRCUIT SO THAT UNITS IN CONTINUOUS OPERATION.
- UNITS SHALL BE INSTALLED IN AREAS DESIGNATED ON PLANS THEY SHALL BE LOCATED ON OR NEAR THE CEILINGS AND WITHIN 15'-0" OF ANY ROOMS USED FOR SLEEPING PURPOSES. FOR DWELLING UNITS WITH MULTIPLE LEVELS. WHEN ANY LEVEL HAS ONLY ONE MEAN OF EGRESS, UNITS SHALL BE PROVIDED ON ALL LEVELS.
- (A) CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE MIN. OF 4" FROM ANY WALL. (B) WALL MOUNT - CLOSEST EDGE OF UNIT SHALL BE A MIN. OF 4" AND A MAX. OF 12" FROM CEILING.

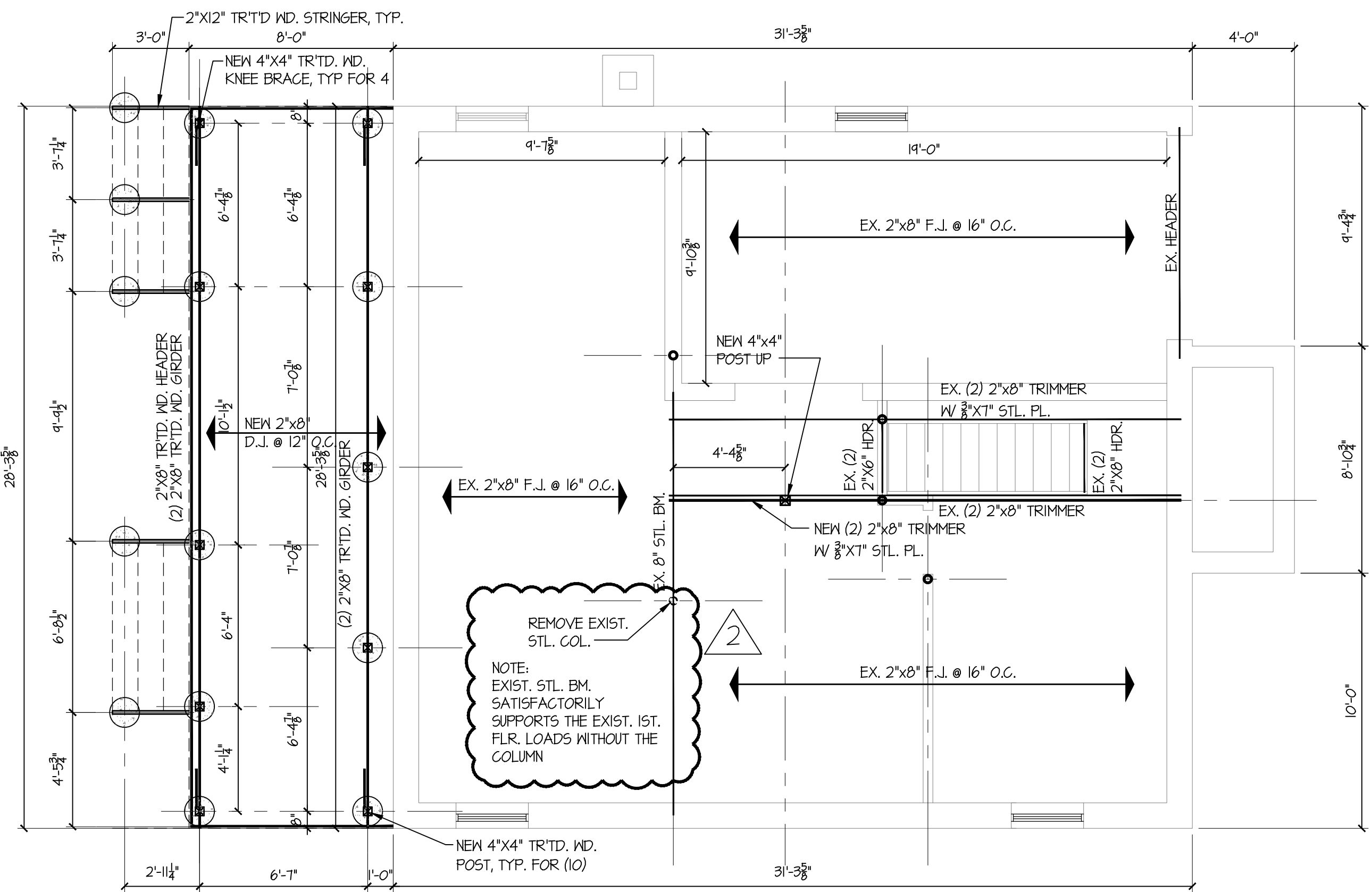
No.	Date	Revision/Issue	Dwn	Chk
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

<b>JCM Architecture, P.C.</b>	
<b>JCM</b>	John C. Moccio, R.A. 22 Waldron Drive Stony Point, New York 10980 1 (917) 757-9171 (T) 1 (845) 786-9022 (F) E-Mail - Johnjcmra@aol.com
Project Name and Address: <b>Alteration and Addition to Existing Residence</b> 60 Irma Avenue Port Washington, New York	
Drawing Name: <b>CONSTRUCTION NOTES</b>	
Date: 1-15-24	Drawn By: JCM
Scale: As Noted	Checked By: JCM
Project No.: M22037	Sheet No. 11 of 14
Seal:	Dwg. No.: <b>A5.2</b>





**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**LIVE LOADS**

TABLE R301.4

USE	LIVE LOAD
EXTERIOR BALCONIES	60
DECKS	40
PASSENGER VEHICLE GARAGES	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40
GUARDRAILS AND HANDRAILS	200

**ALLOWABLE DEFLECTIONS**

TABLE R301.6

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATERS THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTER CEILING	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS - WIND LOADS WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	L/120

LOADING SCHEDULE (LBS. / SQ. FT.)					
MATERIAL	LEVEL	ROOF	CEILING	SECOND FLOOR	FIRST FLOOR
TOTAL DEAD LOAD		10	10	10	10
GROUND SNOW LOAD P <sub>g</sub>		20			
LIVE LOAD			20	30	40
TOTAL LOAD		40	30	40	50

DEAD LOAD NOTES PER SECTION R301.2.2.2.1:  
1. MAXIMUM PERMITTED WEIGHT OF EXTERIOR LIGHT FRAMED WOOD WALLS 15 LBS  
2. MAXIMUM PERMITTED WEIGHT OF INTERIOR LIGHT FRAMED WOOD WALLS 10 LBS.

No.	Date	Revision/Issue	Dwn	Chk
2	1-16-25	Removed Column	JCM	JCM
1	11-21-24	Revised Deck Ftg. & Fram'g.	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**  
John C. Moccio, R.A.  
22 Waldron Drive  
Siony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

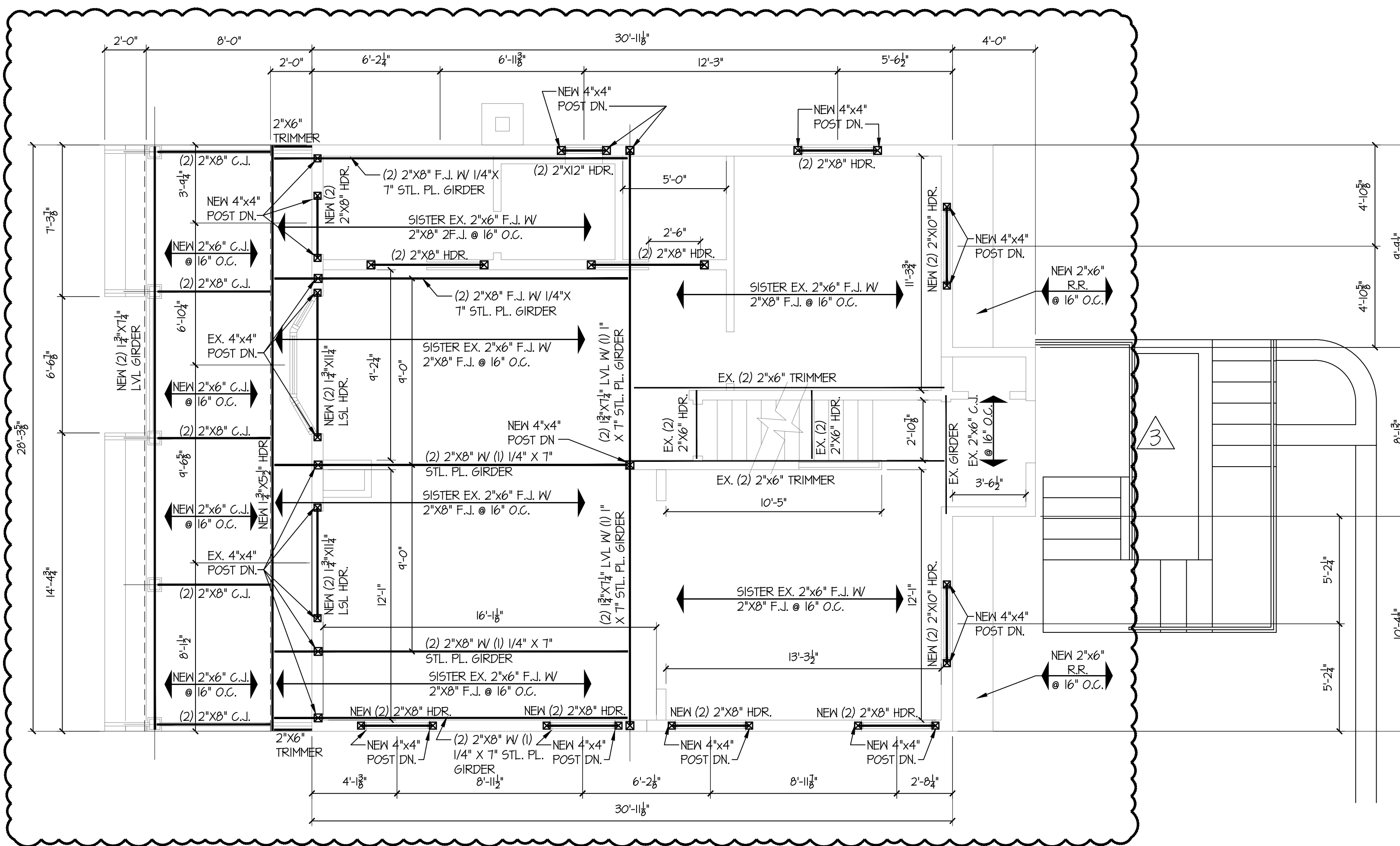
Project Name and Address:  
**Alteration and Addition to Existing Residence**  
60 Irma Avenue  
Port Washington, New York

Drawing Name:  
**FOUNDATION AND FIRST FLOOR FRAMING PLANS**

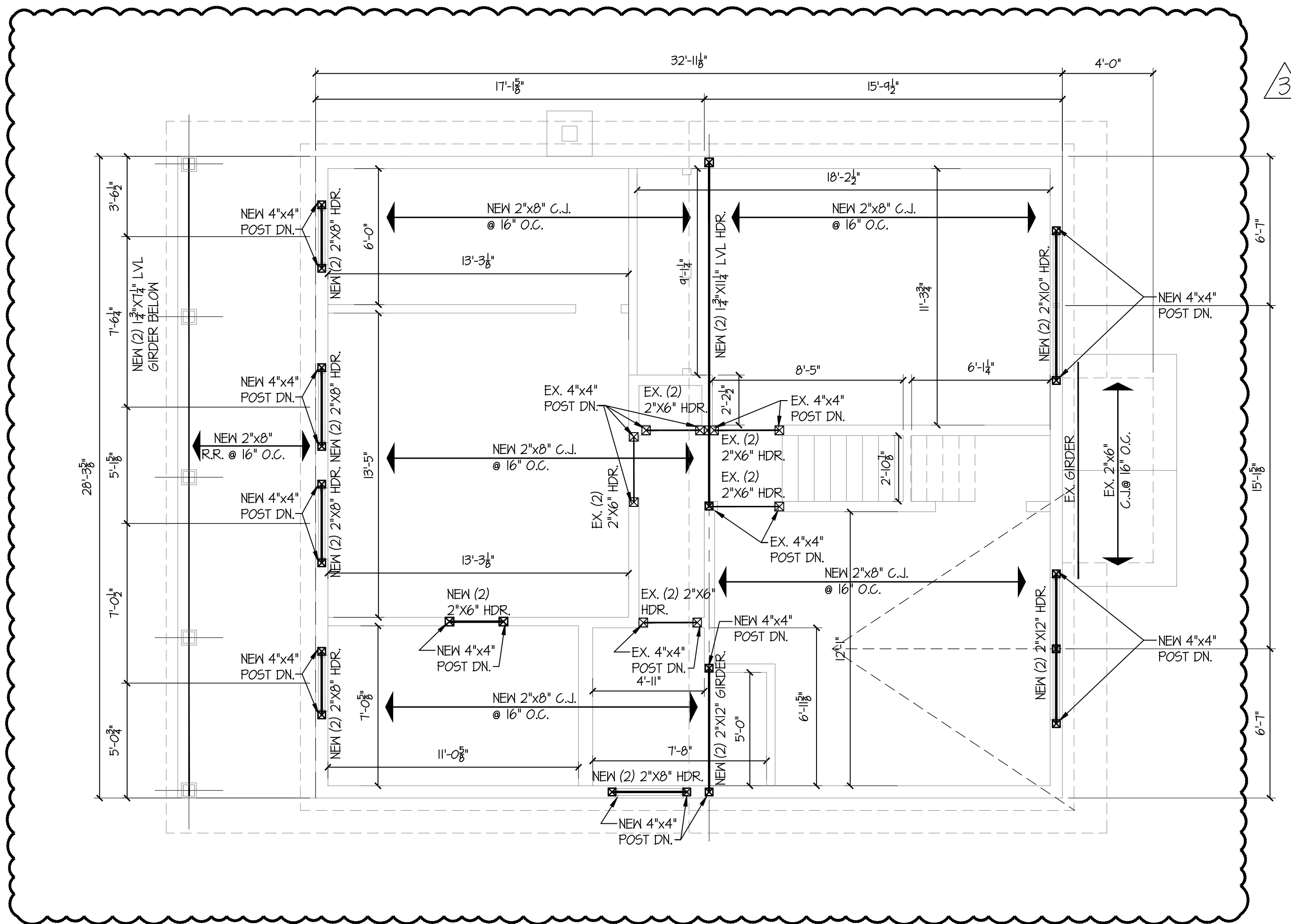
Date: 1-15-24	Drawn By: JCM
Scale: As Noted	Checked By: JCM
Project No.: M22037	Sheet No. 12 of 14
Seal:	Dwg. No.:



**S11**



**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**ATTIC FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

No.	Date	Revision/Issue	Dwn	Chk
3	12-18-24	Rev. 2nd Flr. & Attic Fram'g	JCM	JCM
2	11-27-24	Revised 2nd Flr Fram'g	JCM	JCM
1	9-2-24	Deleted Portico Roof	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	1-24-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**

**JCM** John C. Moccio, R.A.  
22 Waldron Drive  
Stony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
60 Irma Avenue  
Port Washington, New York

Drawing Name:  
**SECOND FLOOR AND ATTIC FRAMING PLANS**

Date: 1-15-24 Drawn By: JCM

Scale: As Noted Checked By: JCM

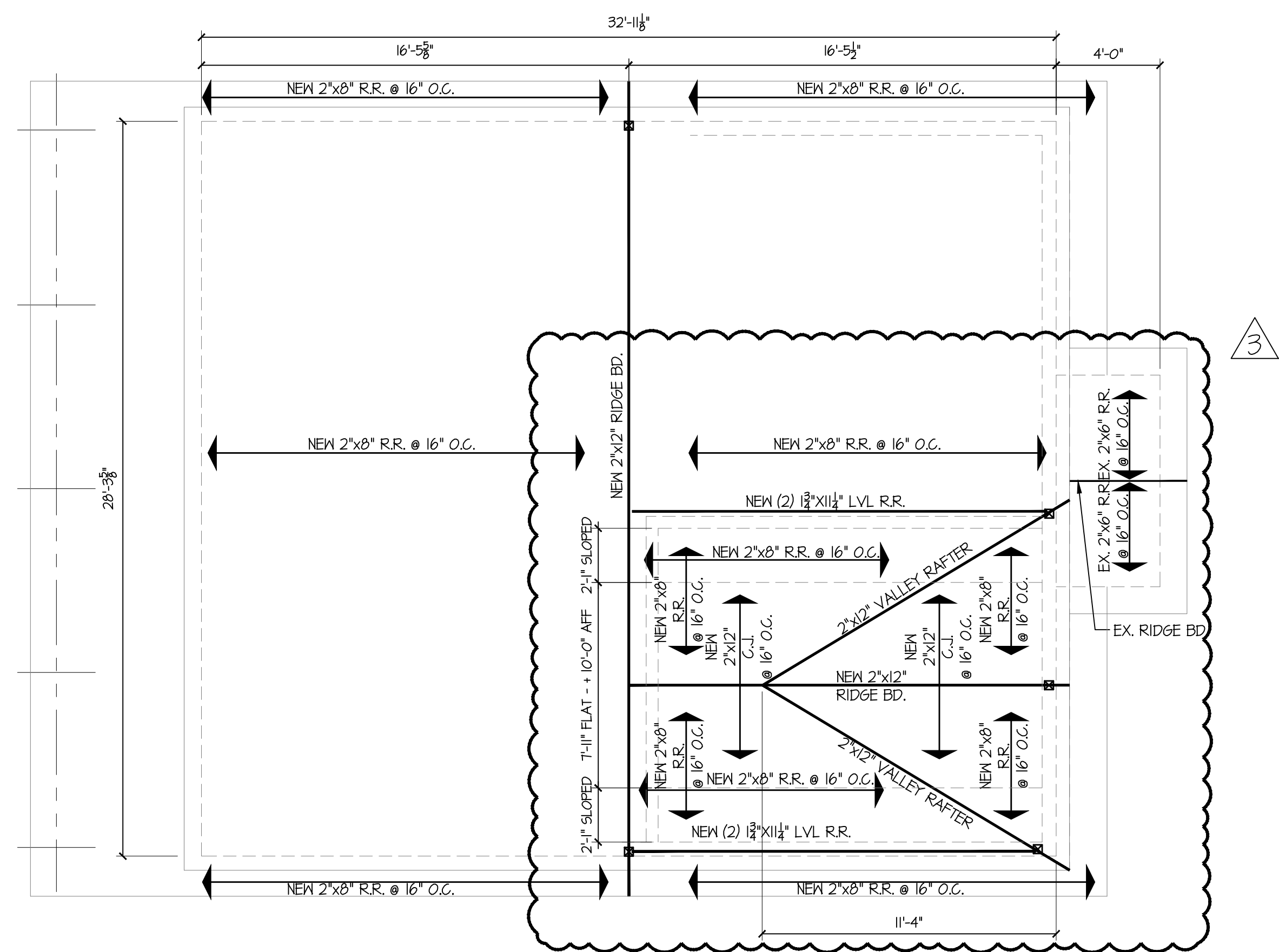
Project No.: M22037 Sheet No. 13 of 14

Seal: Dwg. No.:



**S1.2**





**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

FASTENING SCHEDULE				
JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NAIL SPACING		
ROOF FRAMING				
1	BLOCKING BETWEEN CEIL. JSTS. OR RAFTERS TO TOP PLATE	(3) - 8d COMMON	PER RAFTER	
2	CEILING JOIST TO TOP PLATE (TOE NAILED)	(3) - 8d COMMON	PER JOIST	
3	CEIL. JST. NOT ATTACHED TO PARALLEL RAFTER	(3) - 16d COMMON	PER JOIST	
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER	(6) - 16d COMMON	EACH LAP	
5	COLLAR TIE TO RAFTER (FACE NAILED)	(3) - 10d COMMON	EACH LAP	
6	RAFTER TO PLATE	(3) - 10d COMMON	PER TIE	
7	RAFTER TO RIDGE	(2) - 16d COMMON	PER TIE	
WALL				
8	STUD TO STUD (FACE NAILED)	16d COMMON	24" O.C. FACE NAIL	
9	STUD TO STUD AT ABUTTING WALLS AT INTERSECTING WALLS	16d COMMON	16" O.C. FACE NAIL	
10	BUILT UP HEADER	16d COMMON	12" O.C. FACE NAIL	
11	CONTINUOUS HEADER TO STUD	(4) - 8d COMMON	TOE NAIL	
12	TOP PLATE TO TOP PLATE (FACE NAILED) OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON	12" O.C. FACE NAIL	
13	DOUBLE TOP PLATE SPLICE	(8) 16d COMMON	FACE NAIL EACH SIDE	
14	BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON	16" O.C. FACE NAIL	
15	BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, OR BLOCKING (AT BRACED WALL PANELS)	16d COMMON	2 EACH - 16" O.C. FACE NAIL	
16	TOP OR BOTTOM PLATE TO STUD	(4) - 8d COMMON	TOE NAIL	
17	TOP PLATES LAPS AT CORNERS & INTERSECTIONS	(2) - 16d COMMON	FACE NAIL	
18	1" BRACE AT EACH STUD & PLATE	(2) - 8d COMMON	FACE NAIL	
19	1" X 6" SHEATHING TO EACH BEARING	(2) - 8d COMMON	FACE NAIL	
20	1" X 8" & WIDER SHEATHING TO EACH BEARING	(3) - 8d COMMON	FACE NAIL	
FLOOR				
21	JOIST TO SILL OR GIRDER (TOE NAILED)	(3) - 8d COMMON	TOE NAIL	
22	RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OF TOP PLATE	8d COMMON	6" O.C. TOE NAIL	
23	1" X 6" SUBFLOOR OR LESS TO EACH JOIST	(2) - 8d COMMON	FACE NAIL	
24	2" SUBFLOOR TO JOIST OR GIRDER	(2) - 8d COMMON	BLIND AND FACE NAIL	
25	2" PLANKS (PLANK AND BEAM - FLOOR AND ROOF)	(2) - 16d COMMON	AT EACH BEARING, FACE NAIL	
26	BAND OR RIM JOIST TO JOIST	(3) - 16d COMMON	END NAIL	
27	BUILT UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d COMMON (2) 20d COMMON	NAIL EACH LAYER AS FOLLOWS: 32" O.C. TOP & BOTTOM STAGGERED, FACE NAIL AT ENDS & EACH SPLICE	
28	LEDGER STRIPS SUPPORTING JOISTS & RAFTERS	(3) - 16d COMMON	AT EACH JOIST OR RAFTER, FACE NAIL	
29	BRIDGING OR BLOCKING TO JOIST	(2) - 8d COMMON	END NAIL, TOE NAIL	
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF & INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING				
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING OF FASTENERS - INCHES	
			EDGES	INTERMEDIATE SUPPORTS
30	3/8" - 1/2"	6d COMMON (SUBFLR) 8d COMMON (ROOF)	6	12
31	1/2" - 1"	8d COMMON (ROOF)	6	12
32	1 1/8" - 1 1/4"	10d COMMON	6	12
33	1/2" STRUCTURAL FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL	3	6
34	1/2" GYPSUM SHEATHING	1 1/4" SCREWS, TYPE W OR S	7	7
35	5/8" GYPSUM SHEATHING	1 1/4" SCREWS, TYPE W OR S	7	7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING				
36	3/4" OR LESS	8d COMMON	6	12
37	1/8" - 1"	8d COMMON	6	12
38	1 1/8" - 1 1/8"	10d COMMON	6	12

SCHEDULE PREPARED IN ACCORDANCE WITH IBCM 2018 EDITION AND THE RCNYS 2020 EDITION. TABLE COMPILES THE STRICTEST REQUIREMENTS FROM BOTH CODES.

No.	Date	Revision/Issue	Dwn	Chk
3	1-16-25	Revised Roof Fram'g in Bedrm. #3	JCM	JCM
2	12-18-24	Revised Roof Framing	JCM	JCM
1	9-2-24	Deleted Portico Roof	JCM	JCM
-	5-16-24	Issued for Permit	JCM	JCM
-	1-21-24	Issued for Review	JCM	JCM

**JCM Architecture, P.C.**

**JCM** John C. Moccio, R.A.  
22 Waldron Drive  
Stony Point, New York 10980  
1 (917) 757-9171 (T) 1 (845) 786-9022 (F)  
E-Mail - Johnjcmra@aol.com

Project Name and Address:  
**Alteration and Addition to Existing Residence**  
60 Irma Avenue  
Port Washington, New York

Drawing Name:  
**ROOF FRAMING PLAN**

Date: 1-15-24 Drawn By: JCM

Scale: As Noted Checked By: JCM

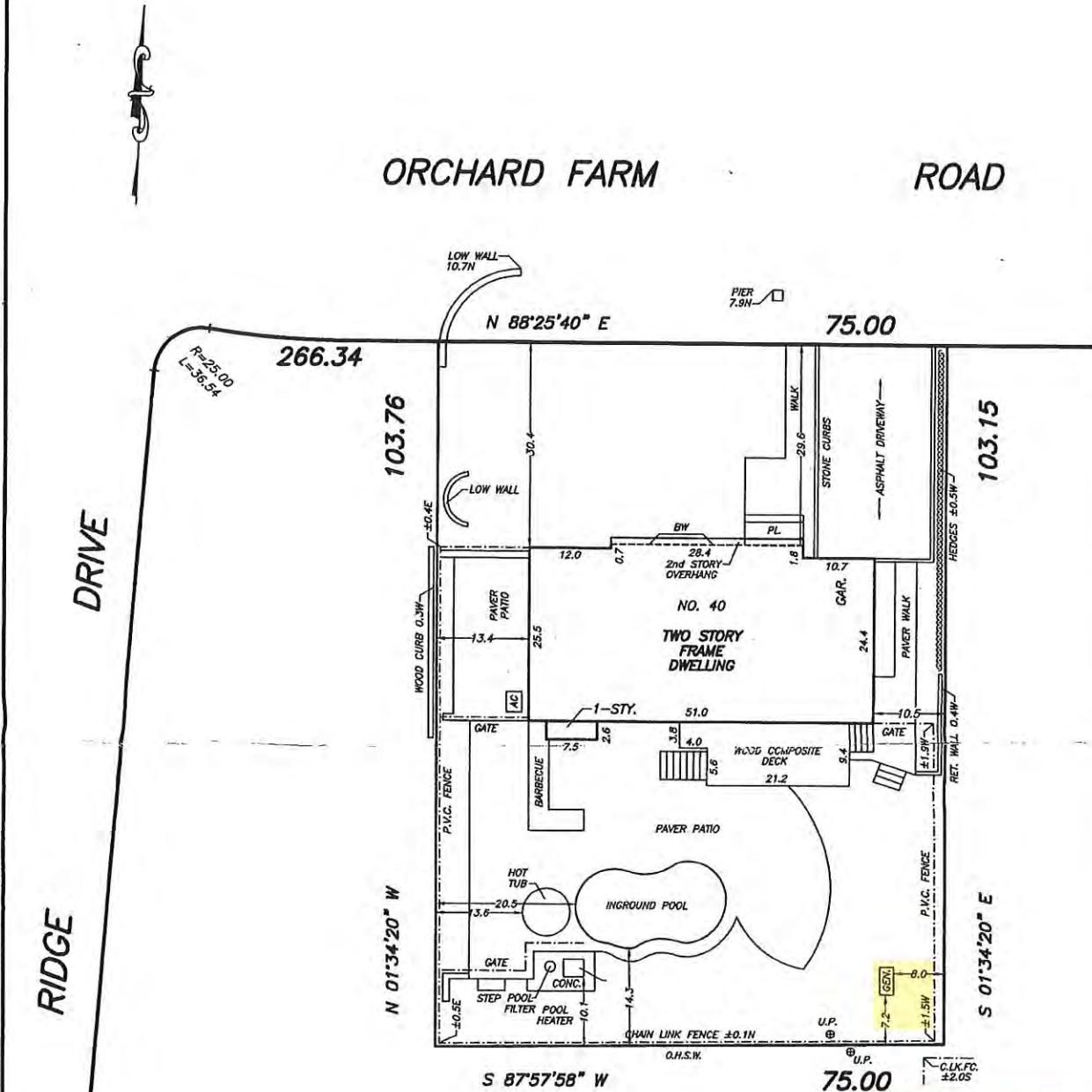
Project No.: M22037 Sheet No. 14 of 14

Seal: Dwg. No.:



**S1.3**

## ORCHARD FARM ROAD



**DISAPPROVED GENERATOR**  
Scott Koehler  
02/04/2025

**GAS18-107451**

UPDATED AUGUST 13, 2019  
UPDATED JUNE 30, 2016  
SURVEYED: JULY 15, 2014

SCALE: 1"=16'

UNAUTHORIZED ALTERATIONS AND/OR ADDITIONS TO THIS SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

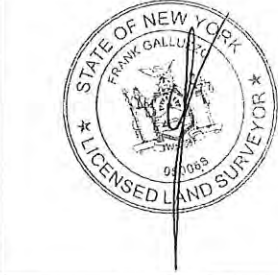
CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, THE TITLE COMPANY, THE GOVERNMENTAL AGENCY AND THE LENDING INSTITUTION LISTED ON THIS SURVEY MAP. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS AND/OR SUBSEQUENT OWNERS. FENCE OFFSETS TAKEN AT FABRIC ENCROACHMENTS OR VAULTS BELOW SURFACE ARE NOT SHOWN. RIGHT OF WAYS AND/OR EASEMENTS OF RECORD NOT SHOWN ON THIS SURVEY ARE NOT CERTIFIED.

OFFSETS AND DIMENSIONS HEREON ARE FOR A SPECIFIC PURPOSE AND ARE NOT TO BE USED IN THE ERECTION OF ADDITIONAL STRUCTURES, FENCES OR OTHER IMPROVEMENTS.

© 2016 ALL RIGHTS RESERVED

CERTIFIED TO:  
TOWN OF NORTH HEMPSTEAD

**Empire State Land Surveyor, P.C.**  
Frank I. Galluzzo Professional Land Surveyor  
Records of Albert A. Bianco  
Stephen J. Reid - M. Berry Carman - G. W. Haviland  
Vandewater & Lapp - Robert E. Carlin - William J. Daly  
1005 Glen Cove Avenue, Glen Head, NY, 11545  
(516)-240-6901



GENERAL NOTES (NYS 2020)

9.21.2021

- 1. CONTRACTORS SHALL VERIFY ALL JOB AND FIELD CONDITIONS AFFECTING ALL WORK AND OBTAIN ALL DIMENSIONS TO INSURE THE PROPER STRENGTH, FIT AND LOCATION OF WORK. REFLECT ALL CHANGES IN WRITING TO THE ARCHITECT AND ENGINEERS ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2. ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF THE CODE OF NEW YORK STATE RESIDENTIAL CODE.
3. ALL REQUIREMENTS SPECIFIED IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET ON THE DRAWINGS MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE FOR THE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.
4. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED, IN WRITING, TO THE ARCHITECT FOR CLARIFICATION.
5. GENERAL CONTRACTOR SHALL COORDINATE FOR EASE AND RAPIDITY OF CONSTRUCTION THE WORK OF ALL TRADES. ALL SLOTS, SLEEVES AND/OR OTHER OPENINGS TO BE COORDINATED AND SET BEFORE POURING CONCRETE, ETC.
6. CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC., (TEMPORARY AND/OR PERMANENT) AS REQUIRED FOR THE SAFE INSTALLATION OF CONSTRUCTION.
7. ALL BATHROOMS AND POWDER ROOMS WITHOUT NATURAL VENTILATION TO BE EQUIPPED WITH A SWITCH CONTROLLED EXHAUST FAN TO PROVIDE A MINIMUM OF 50 CFM INTERMITTENT OF EXHAUST AS PER SECTION 4 TABLE M1602.4.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
8. UNLESS SPECIFICALLY STATED OTHERWISE, ALL APPLICABLE PORTIONS OF THE GENERAL CONDITIONS (ALL 1400, 1017 LATEST EDITION) SHALL APPLY TO ALL PORTIONS OF THIS CONTRACT.
9. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, FIXTURES, EQUIPMENT, AND SERVICES NECESSARY AND REQUIRED TO COMPLETE ALL WORK AS INDICATED ON THE DRAWINGS AND/OR SPECIFIED HEREIN.
10. THE CONTRACTOR SHALL ORDER ALL SPECIFIED MATERIAL AND FABRICATED ITEMS WITH SUFFICIENT LEAD TIMES TO NOT DELAY WORK IN ANY MANNER.
11. SUBMISSION OF PROPOSAL BY CONTRACTOR(S) WILL BE CONSTRUED AS EVIDENCE THAT A CAREFUL AND THOROUGH EXAMINATION OF PREMISES HAS BEEN MADE AND LATER CLAIMS FOR LABOR, MATERIALS OR EQUIPMENT REQUIRED OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE WILL NOT BE RECOGNIZED. IT SHALL ALSO CONSTITUTE A REPRESENTATION THAT THE CONTRACTOR HAS CHECKED AND VERIFIED ALL QUANTITIES, WORK AND MATERIALS INVOLVED AND THAT HE SHALL TAKE RESPONSIBILITY FOR ANY DEFICIENCIES THEREIN.
12. CONTRACTOR(S) SHALL BEAR RESPONSIBILITY FOR THE REPAIR OF ANY WORK ALREADY IN PLACE THAT IS DAMAGED BY HIS/HER WHILE COMPLETING HIS/HER CONTRACT.
13. MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS SHALL BE ADHERED TO FOR ALL MATERIALS AND PROCESSES USED.
14. THE CONTRACTOR SHALL CARRY AND SUBMIT EVIDENCE OF INSURANCE AS REQUIRED.
15. ALL DIMENSIONS GIVEN ARE TO THE FINISHED FACE OF STUD UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND MANUFACTURER'S CUTS AND SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF SUCH WORK.
16. UPON COMPLETION OF WORK CONTRACTOR SHALL COMPLETELY CLEAN THE CONSTRUCTION AREA SUITABLE FOR OWNER'S USE AS DETERMINED BY THE ARCHITECT (AFTER ARCHITECT'S INSPECTION) CLEANING OF ALL EQUIPMENT, CONSTRUCTION WORK, AND OTHER WORK.
17. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL THE WORK UNDER THIS CONTRACT FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. HE SHALL BE RESPONSIBLE FOR AND MAKE GOOD WITHOUT EXCUSE TO THE OWNER, ANY AND ALL DEFECTS ARISING DURING THIS PERIOD THAT ARE DUE TO IMPERFECT MATERIAL AND APPLIANCES AND/OR POOR WORKMANSHIP, ETC.
18. MINOR ITEMS OF WORK SUCH AS PATCHING, BLOCKING, ETC. SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE WHETHER SHOWN OR NOTED ON THE CONTRACT DOCUMENTS OR NOT.
19. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK EACH TRADE SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
20. ALL THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS. WHENEVER AN ITEM IS SPECIFIED AND/OR SHOWN ON THE DRAWINGS BY DETAIL OR REFERENCE IT SHALL BE CONSIDERED TYPICAL FOR ANY OTHER ITEMS WHICH ARE OBVIOUSLY INTENDED TO BE THE SAME EVEN THOUGH THEY DO NOT SERVE THE SAME FUNCTION.
21. THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF THE DRAWINGS AND NOTES TAKEN AS A WHOLE AND SHALL NOT AVOID HIMSELF OF ANY OBVIOUS ERRORS OR OMISSIONS SHOULD ANY EXIST. SHOULD ANY ERROR OR DISCREPANCY APPEAR OR ANY DOUBT ARISE AS TO THE TRUE MEANING OF THE DRAWING OR NOTES, THE CONTRACTOR SHALL BRING SUCH ITEMS TO THE ATTENTION OF THE ARCHITECT BEFORE SUBMISSION OF PROPOSAL HE/SHE WILL BE HELD RESPONSIBLE FOR ALL SUCH ITEMS.
22. THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. TO INTERPRET AND EXPLAIN THE DRAWINGS OTHER INFORMATION MAY BE NEEDED NECESSARY BY THE ARCHITECT AND WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK AND IT IS TO BE UNDERSTOOD THAT SAID ADDITIONAL INFORMATION OR DRAWINGS ARE TO BE OF EQUAL FORCE WITH THESE DRAWINGS.
23. CONTRACTOR TO FOLLOW ARCHITECTS/ENGINEERS SPECIFICATION FOR ALL MATERIALS, FINISHES AND FINISH PROCESSES WITH NO SUBSTITUTION UNLESS APPROVED BY ARCHITECT OR ENGINEER, IN WRITING.
24. THE STANDARD SPECIFICATIONS OF THE MANUFACTURERS APPROVED FOR USE IN THE PROJECT ARE HEREBY MADE A PART OF THESE NOTES WITH THE SAME FORCE AND EFFECT AS THOUGH HEREIN WRITTEN OUT IN FULL EXCEPT THAT WHEREVER THE DRAWINGS REQUIRE BETTER QUALITY MATERIALS THESE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
25. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT FOR ANY REASON COMPLY WITH ALL THE REQUIREMENTS OF THESE NOTES, DRAWINGS, BUILDING CODES AND GOOD TRADE PRACTICE.
26. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF PROGRESS OF WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED THE CONTRACTOR SHALL AT HIS OWN EXPENSE UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER INSPECTION HE SHALL PROPERLY REPAIR AND REPLACE ALL WORK INTERFERED WITH, AT HIS/HER COST.
27. SMOKE ALARMS & HEAT DETECTION DEVICES AND CARBON MONOXIDE ALARM DEVICES SHALL BE INTERCONNECTED AND INSTALLED IN CONFORMANCE WITH SECTION R314.4 SECTION 315 OF THE RESIDENTIAL CODE OF NEW YORK STATE AND SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA, IN EACH SLEEPING AREA AND ON EACH FLOOR LEVEL, AS APPLICABLE.
28. ALL PLUMBING WORK SHALL CONFORM TO THE LATEST 2020 N.Y.S. RESIDENTIAL CODE.
29. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
30. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
31. ELECTRICIAN SHALL OBTAIN ELECTRICAL PERMITS AND NECESSARY SIGN OFFS.
32. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2020 NEW YORK STATE INTERNATIONAL ENERGY CONSERVATION CODE AND CHAPTER 11 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
33. PROVIDE E.A.I. AND TEMPERED GLASS DOOR FOR FIREPLACE AS PER 2020 N.Y.S. ENERGY CONSERVATION CODE SECTION R402.4.2 AND CHAPTER 12 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
34. ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION.
35. A FINAL SURVEY MUST BE SUBMITTED AT COMPLETION OF JOB BY OWNER OR CONTRACTOR.
36. FOR EXISTING CONDITIONS SEE 'EXISTING CONDITION NOTES'.
37. GENERAL CONTRACTOR TO PROVIDE DOUGHNUTS AND COFFEE AT INITIAL SITE MEETING, 'DUNKIN DONUTS' OR APPROVED EQUIVALENT.

SITE WORK

- 1. CLEAR AND GRADE SITE TO ELEVATIONS SHOWN ON APPROVED SITE PLAN DRAWINGS. COORDINATE FOR PROPER DRAINAGE.
2. EXCAVATE FOR FOOTINGS TO MINIMUM DEPTHS SHOWN ON DRAWINGS. VERIFY MINIMUM DEPTHS WITH BORING LOGS. ENCOUNTERED SOIL TO BE UNDISTURBED VIRGIN SOIL WITH AN ALLOWABLE BEARING CAPACITY OF NOT LESS THAN 10 (1) TON PER SQUARE FOOT UNLESS OTHERWISE INDICATED.
3. STEP FOOTINGS, WHERE ELEVATION CHANGES, 1 VERTICAL TO 2 HORIZONTAL MAX PER CODE AS SHOWN ON DRAWINGS OR WHERE ENCOUNTERED SOIL OR FIELD GRADE CONDITIONS REQUIRE CHANGES IN FOOTING ELEVATIONS.
4. CONTRACTOR MAY BACK FILL, AGAINST FOUNDATION WALLS, ONLY AFTER SEVEN (7) DAYS OF CONCRETE CURE TIME, USING PROPER CONSTRUCTION METHODS, MATERIAL AND EQUIPMENT TO AVOID DAMAGE TO THE WALLS AND WATERPROOFING MEMBRANE. ADEQUATELY BRACE WALLS, PRIOR TO BACKFILL. BRACING IS NOT REQUIRED FOR WALLS SUPPORTING LESS THAN 4 FEET (1219 MM) OF UNBALANCED BACKFILL AND AFTER FLOOR SYSTEM IS INSTALLED. AS PER SECTION R402.4.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
5. REMOVE TOPSOIL AND OTHER SURFACE MATERIALS IN PREPARATION FOR POURING CONCRETE SLAB. INTERIOR SLABS ON GRADE TO BE POURED ON COMPACTED FORDOR FILL OR SUITABLE ON SITE MATERIAL.

GUARDRAILS AND RAILINGS

- 1. PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES (864 MM) IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AS PER R302.1 GUARDS, OF THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE.
2. PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE EQUIPPED WITH GUARDS WHERE THE WALKING SURFACE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW.
3. GUARD OPENING LIMITATIONS, REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER.

EXCEPTIONS:

- a. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 MM) CANNOT PASS THROUGH.
b. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 1/2 INCHES (107 MM) TO PASS THROUGH.

- 4. ALL DECKS PORCHES, BALCONIES, ETC., 4'-0" ABOVE THE ADJACENT GRADE, FLOOR, ETC., TO HAVE A GUARDRAIL (RAILING) A MINIMUM OF 42" HIGH.
5. HANDRAILS AND GUARDS ARE TO BE ABLE TO RESIST A LOAD OF 80 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE SUPPORTING THE RAIL OR GUARD.
6. HANDRAIL ASSEMBLIES ARE ALSO TO BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. THIS LOAD CAN BE CONSIDERED INDEPENDENTLY OF THE UNIFORM LOAD NOTED PREVIOUSLY.

CONCRETE WORK

- 1. ALL CONCRETE SHALL BE AIR ENTRAINED STONE CONCRETE (UNLESS OTHERWISE NOTED) AND SHALL DEVELOP A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 3500 PSI. CONCRETE SLABS ON GRADE TO BE REINFORCED WITH W/WR. 6-6-10/10, UNLESS NOTED OTHERWISE. AS PER SECTION R402.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
2. ROD REINFORCEMENT SHALL BE INTERMEDIATE GRADE DEFORMED BARS, CONFORMING TO ASTM A615-60. REINFORCING WESH SHALL CONFORM TO ASTM A805 AND A82.
3. DETAILS AND GENERAL PROVISIONS FOR CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ACI BUILDING CODE, ACI 318, AND MANUAL ACI 318.
4. FOUNDATION WALLS AND FOOTINGS TO BE POURED CONCRETE OF THICKNESSES SHOWN ON DRAWINGS. AS PER SECTION R403 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
5. ALL CONCRETE SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 1. FOUNDATIONS TO BEAR A MINIMUM OF 1'-0" INTO UNDISTURBED SOIL. ALL IN ACCORDANCE WITH NY STATE BUILDING CODE. EXTERIOR FOOTINGS TO BE 3'-0" MINIMUM BELOW FINISHED GRADE.
6. A 4 MIL THICK POLYETHYLENE VAPOR BARRIER SHEET TO BE LAID UNDER BASEMENT OR CELLAR SLABS ON GRADE.
7. AS PER SECTION R404.1.6 HEIGHT ABOVE FINISHED GRADE, CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4 INCHES (102 MM) WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES (152 MM) ELSEWHERE.

CARPENTRY AND LUMBER

- 1. ALL LUMBER AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AND WITH THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS. LUMBER IS TO BE FURNISHED AND INSTALLED COMPLETE WITH ALL FASTENINGS, ANCHORS, BLOCKING, BRIDGING, SADDLES, HANGERS, ETC. REQUIRED TO COMPLETE THE JOB. ALL STEEL BOLTS CONNECTING WOOD MEMBERS SHALL BE SUPPLIED WITH AND TIGHTENED AGAINST STEEL WASHERS OR PLATE WASHERS AND CONNECTORS. BRIDGING AND HARDWARE MUST BE INSTALLED IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE REQUIREMENTS. WHERE FASTENERS A NOT SPECIFICALLY INDICATED OR SPECIFIED THEY SHALL BE FURNISHED IN ADEQUATE NUMBER AND SIZE AND SHALL COMPLY WITH THE 'RECOMMENDED NAILING SCHEDULE'.
2. ALL STRUCTURAL FRAMING LUMBER SHALL BE #1 OR BETTER HEM-FIR FB-550 PSI 4 #13002000 PSI UNLESS OTHERWISE INDICATED OR SELECTED FROM TABLES OF THE NATIONAL FOREST PRODUCTS ASSOCIATION MANUAL AND/OR SHOWN ON ACCOMPANYING STRUCTURAL CALCULATIONS. ALL HEADERS SHALL BE HEM-FIR WITH FB-1000 PSI, UNLESS OTHERWISE SHOWN ON DETAILS.
3. ALL ROOF AND WALL PLYWOOD PANELS SHALL BE EXTERIOR CDX GRADE, WITH EXTERIOR GLUE SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1 AND SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE TRADE-MARK OF THE AMERICAN PLYWOOD ASSOCIATION. ALL ROOF PLYWOOD TO BE 3/4" MINIMUM THICKNESS AND ALL WALL PLYWOOD TO BE 1/2" MINIMUM THICKNESS.
4. ALL WOOD POSTS, RESTING ON TOP OF CONCRETE WALLS, SHALL HAVE CLIP ANGLE ANCHORAGE TO CONCRETE BASE. ALL POSTS, RESTING ON TOP OF STEEL BEAM, SHALL HAVE CLIP ANGLES BOLTED OR WELDED TO THE FLANGES OF THE STEEL BEAM.
5. WOOD STRUCTURAL MEMBERS IN CONTACT WITH MASONRY, CONCRETE OR EXPOSED TO THE ELEMENTS MUST BE PRESSURE TREATED TO DEFINITE RETENTION AND PENETRATIONS IN ACCORDANCE WITH THE ALPA U1 FOR THE SPECIES, PRODUCT PRESERVATIVE AND END USE (CATEGORICAL A, USE CATEGORY 4B AND SECTION 52) FOR WATER BORNE PRESERVATIVE TREATMENT. AS PER SECTION R504.3 OF THE RESIDENTIAL CODE OF NEW YORK STATE.
6. WHERE RAFTERS AND JOISTS FRAME INTO OTHER WOOD MEMBERS, TECO U-GRIP IS GAGE GALVANIZED STEEL JOIST AND BEAM HANGERS ARE TO BE PROVIDED, STAINLESS WHERE PROXIMITY OF WATER CONDITION.
7. PROVIDE APPROVED WOOD BRIDGING AT WOOD FLOOR JOISTS, 8'-0" O.C. MAXIMUM SPACING. SECURE BOTTOM OF BRIDGING AFTER SUBFLOOR HAS BEEN NAILED.
8. ALL CARPENTRY MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
9. ALL EXTERIOR STRUCTURAL WOOD FRAMING, STAIR STRUCTURE, GUARDRAILS, HANDRAILS AT PORCHES, DECKS, BALCONIES, GAZEBOS CANOPIES, TO BE CONSTRUCTED OF A.C.Q. LUMBER AND STAINLESS STEEL FASTENERS.
10. MAXIMUM RISER HEIGHT OF ALL STAIRS SHALL BE 8-1/4" AND MINIMUM TREAD SHALL BE 9" PLUS 1/4" NOSING. ALL IN ACCORDANCE WITH STATE BUILDING CODE OR AS SHOWN ON DRAWINGS. STAIR WIDTH BETWEEN HABITABLE SPACES AT DIFFERENT FLOOR LEVELS, SHALL NOT BE LESS THAN 2'-0" BETWEEN HANDRAILS OR BETWEEN HANDRAIL AND A WALL STAIRS TO A BASEMENT OR CELLAR, SHALL NOT BE LESS THAN 2'-6" WIDE.
11. ALL CARPENTRY WORK SHALL BE PERFORMED IN CONFORMANCE WITH GOOD TRADE PRACTICE, RECOMMENDATIONS OF MANUFACTURERS AND IN CONFORMANCE WITH THE NEW YORK STATE BUILDING CODE, INCLUDING THE FOLLOWING:
A. FASTEN SECURELY ALL PARTS OF CARPENTRY WORK IN THEIR PROPER PLACE. BRACE, PLUMB AND LEVEL ALL MEMBERS AND SECURE WITH SUFFICIENT NAILS, SPIKES AND BOLTS TO INSURE RIGIDITY.
B. LAPPED JOISTS OR TRUSSES OVER ANY BEARING TO BE SECURED TOGETHER. SECURE BUTTED JOISTS WITH 1-INCH WIDE BY 18 INCH METAL STRAPS AND TWO 8D NAILS TO EACH JOIST.
C. PROVIDE SOLID SURFACES AT ALL CORNERS AT LEAST 1 AND 1/4 INCHES WIDE, IN BOTH DIRECTIONS, FOR SECURING SUBFLOORING, DRYWALL, ETC. FORM SURFACES WITH FRAMING MEMBERS, OR WITH 1-INCH WOOD BLOCKING SECURED WITH AT LEAST TWO 8D NAILS AT EACH END.
D. PROVIDE DOUBLE JOISTS, TRUSSES AND HEADERS AT WATER CLOSET DRAIN BENDS, AT ALL VENT AND MECHANICAL OPENINGS 2' OR MORE IN WIDTH, SKYLIGHT AND ATTIC FULL DOWN STAIR OR HATCH OPENINGS UNLESS OTHERWISE DIRECTED BY ARCHITECT.
E. TAIL JOISTS OVER 4 FEET LONG, AND HEADER JOISTS SHALL BE HUNG IN APPROVED METAL STIRRUPS OR HANGERS, AND SPIKED SECURELY UNLESS SUPPORTED ON A WALL OR GIRDER.
F. ALL STUDS SHALL BE PROVIDED AND SECURED TO SUPPORTING MEMBERS IN STRICT ACCORDANCE WITH 'RECOMMENDED NAILING SCHEDULE' INCLUDED IN THESE SPECIFICATIONS OR AS HEREAFTER NOTED.
(1) SECURE SOLE PLATES WITH 16d NAILS 16" O.C. THROUGH SUB-FLOORING AND INTO FRAMING OR BLOCKING, AND PROVIDE SUITABLE SPLICE PLATE AT END, SECURELY NAILED IN PLACE.
(2) STUDS NOT LESS THAN 2x4 x 16" O.C. DOUBLED AROUND OPENINGS AND TRIPLED AT CORNERS.
(3) PLATES AND BLOCKING SAME WIDTH AS RELATED STUDS OR WIDER.
(4) FRAMING TO SUIT WORK OF OTHER TRADES.
(5) PROVIDE (2) 2x4 JACK STUDS UNDER THE END OF HEADERS UNLESS OTHERWISE NOTED ON DRAWINGS.
(6) PROVIDE SOLID BEARINGS FOR FULL WIDTH OF TRUSSES, JOISTS, RAFTERS, GIRDERS, ETC.

#21679

PROPOSED FIRST FLOOR DECK RECONSTRUCTION AND EXTENSION WITH REPAIRS TO 2ND FLOOR DECK

1 HILLTOP ROAD, ALBERTSON, NY 11507

NOTE: NO CHANGE TO EXISTING BUILDING FOOT PRINT OF RESIDENCE

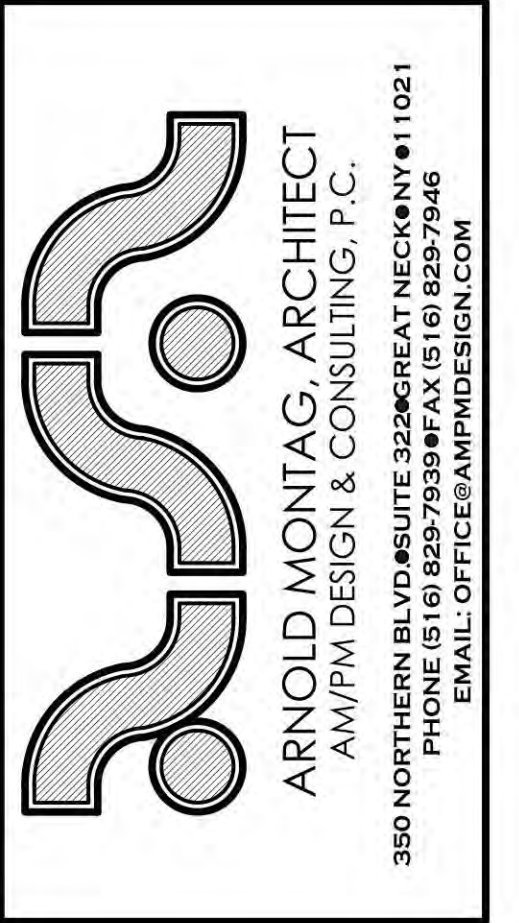


Table with 2 columns: DATE, BY. Rows include 4/3/24 PRELIMINARY MC, 4/15/24 FILED JF, 8/13/2024 ANS COMMENTS JF, 10/31/2024 ANS COMMENTS CK.

TOWN OF NORTH HEMPSTEAD DEPARTMENT OF BUILDINGS APPLICATION NUMBER RB24-000370

GENERAL NOTES vertical stamp with job details: JOB#: 2023-49, DRN BY: M.C./J.F., CKD BY: A.S.M./K.T., DATE: 11/23, SCALE: AS NOTED, and project location: PROPOSED DECK RECONSTRUCTION 1 HILLTOP ROAD ALBERTSON, NY 11507 SECTION: 1 BLOCK: 151 LOT: 14

MIRZA RESIDENCE DISAPPROVED Carlos Reyes 12/23/2024

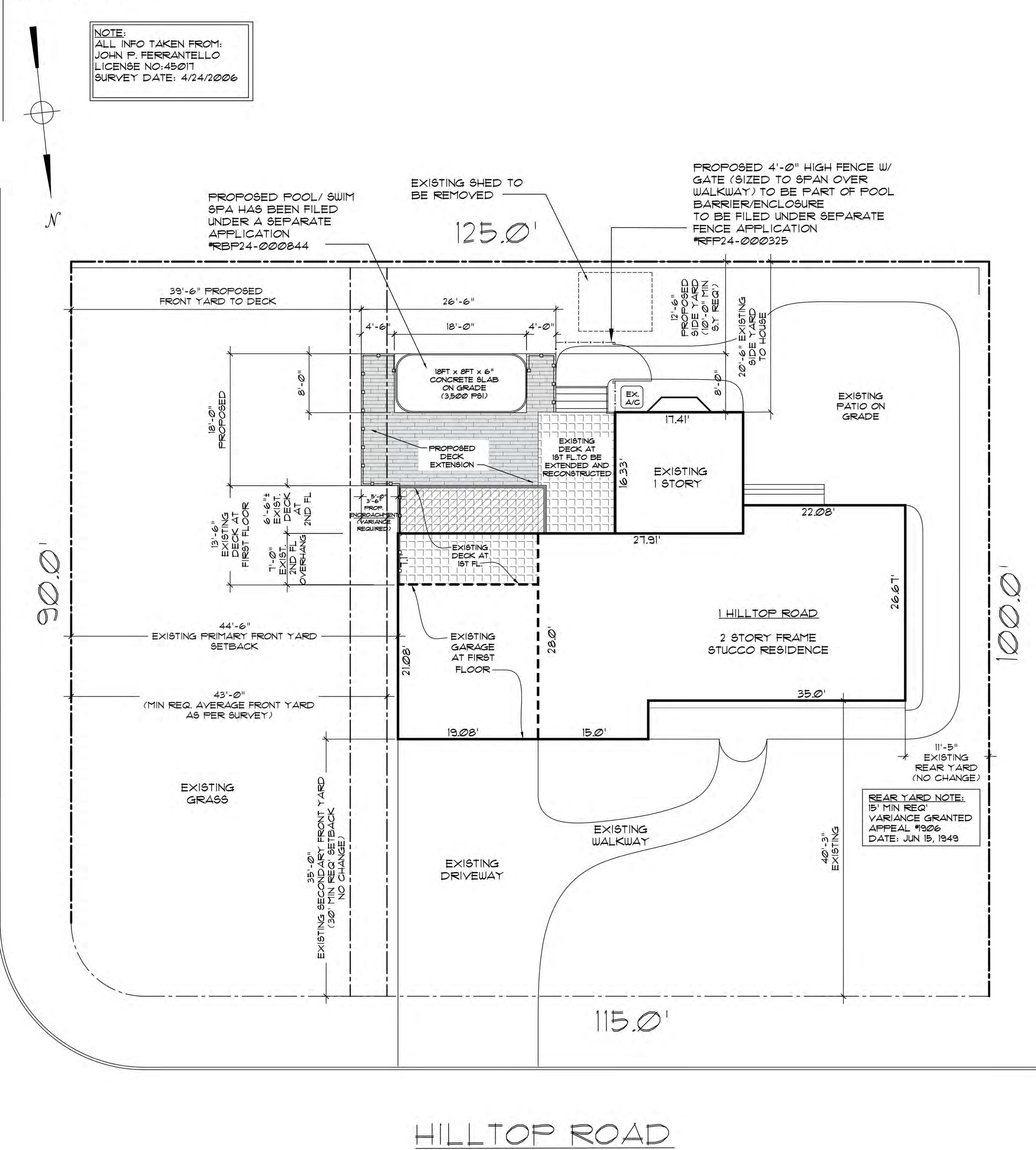
WARNING: IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 147 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED REGISTERED ARCHITECT, TO ALTER THIS ITEM IN ANY WAY.

BUILDING ZONING ANALYSIS		TOWN OF NORTH HEMPSTEAD	
ADDRESS: 1 HILLTOP ROAD SEC. 7 BLOCK: 151 LOT: 14		ZONE: R-C USING (R-A) AS PER SECTION 10-49 (c1), 10-39 (c1)	
SUBJECT PROPOSED	REQ'D/PERMITTED	EXISTING	PROPOSED
MIN LOT SIZE (SECTION 10-21)	8,500.0 SF	12,478.53 SF (OK)	NO CHANGE
MIN LOT WIDTH (SECTION 10-21.1)	65'-0"	90' (PRIMARY FRONT)	NO CHANGE
MAX LOT COVERAGE SECTION 10-38	SEE BREAKDOWN CALCULATIONS		NO CHANGE
	(25 %) MAX 12,478.53 x 25.0% = 3,119.63 SF MAX ALLOWABLE	FIRST FLOOR AND 2ND FLOOR OVERHANGS: 2,150.0 SF (17.2%)	
FLOOR AREA SECTION 10-23	(36 %) MAX 12,478.53 x 36.0% = 4,492.27 SF MAX ALLOWABLE	1ST FL 1,988.0 2ND FL 1,858.0 TOTAL: 3,846 SF(30.8%)	NO CHANGE
FRONT YARD SETBACK SECTION 10-30 (b) "CORNER LOT"	35' MIN REQ' ON NARROWER STREET OR AVERAGE FRONT YARD 43'-0" EXISTING AVERAGE FRONT YARD AS PER SURVEY. (PRIMARY FRONT YARD)	44'-6" EXISTING FRONT YARD (PRIMARY) AS PER SURVEY	PRIMARY FRONT YARD: EXIST: 44'-6" TO MAIN DWELLING (NO CHANGE) OK DECK: 43'-0" (MIN. REQ. AVG. FRONT YARD) PROP. 39'-6" < 43' FT (VARIANCE REQUIRED)
	30' MIN FT ON THE SECONDARY FRONT YARD	30'-0" (SECONDARY)	SECONDARY 35'-0" (NO CHANGE)
REAR YARD SECTION 10-32	15'-0" MIN.	11'-5" VARIANCE GRANTED, APPEAL # 1906, DATE JUN 15, 1949	NO CHANGE
SIDE YARD SECTION 10-5(B)	10' MIN.	20'-6" TO MAIN DWELLING	PROP. 12'-6" TO DECK
MAX. HEIGHT SECTION 10-26	2 1/2 STORIES, 30 FT MAX	2 STORY	EXISTING NO CHANGE

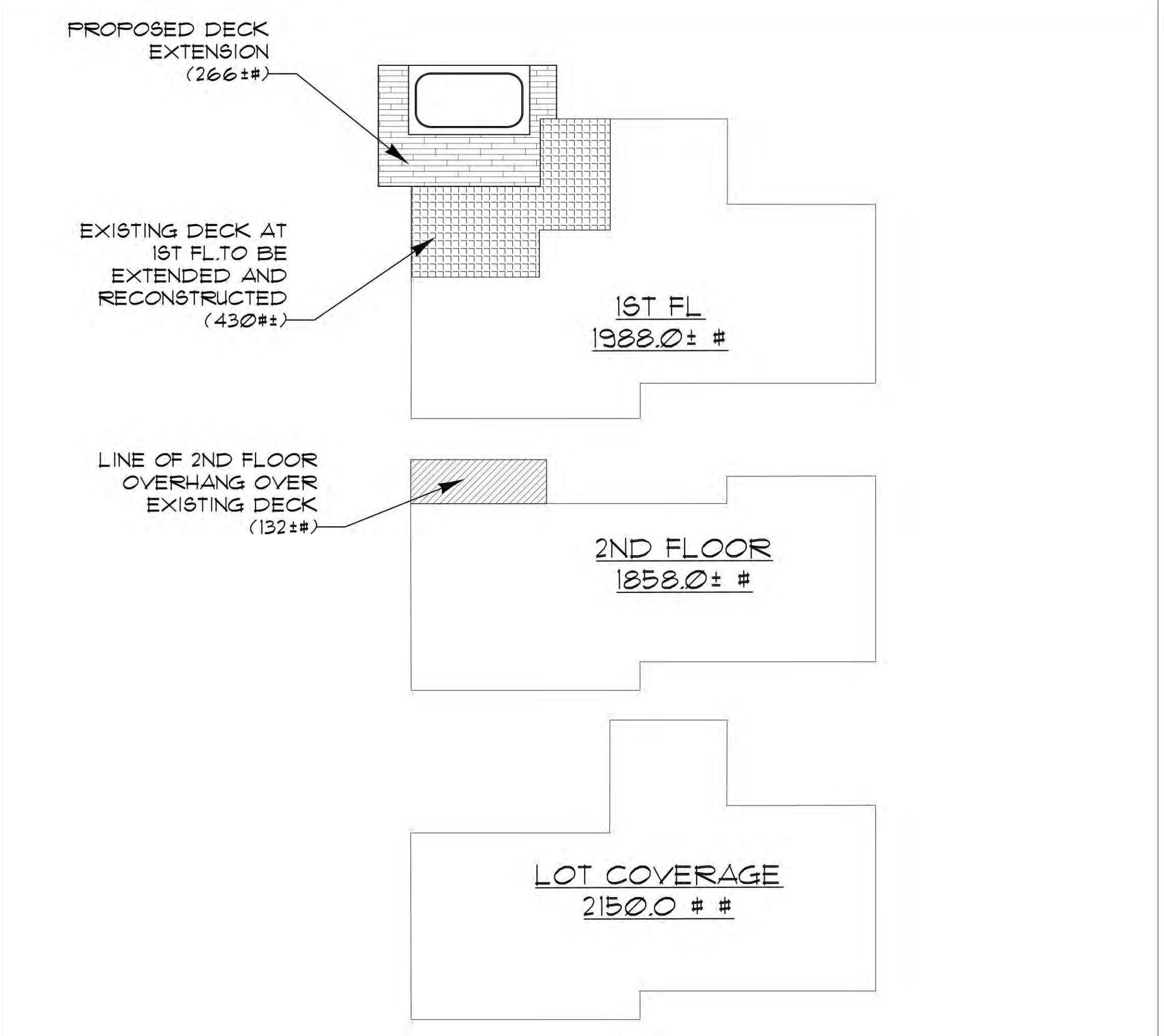
**PLOT PLAN**  
SCALE: 1/8" = 1'-0"

NOTE:  
ALL INFO TAKEN FROM:  
JOHN P. FERRANTELLI  
LICENSE NO: 45011  
SURVEY DATE: 4/24/2006

SEARINGTOWN ROAD



**DIAGRAMS**



**ARNOLD MONTAG, ARCHITECT**  
AM/PM DESIGN & CONSULTING, P.C.  
350 NORTHERN BLVD SUITE 200 GREAT NECK, NY 11021  
PHONE (516) 829-9399 FAX (516) 825-7946  
EMAIL: OFFICE@AMPDESIGN.COM



REVISIONS	
DATE	BY
4/3/24 PRELIMINARY	MC
4/15/24 FILED	JP
8/13/2024 ANS COMMENTS	JP
10/31/2024 ANS COMMENTS	CK

TOWN OF NORTH HEMPSTEAD  
DEPARTMENT OF BUILDINGS  
APPLICATION NUMBER  
RB24-000370

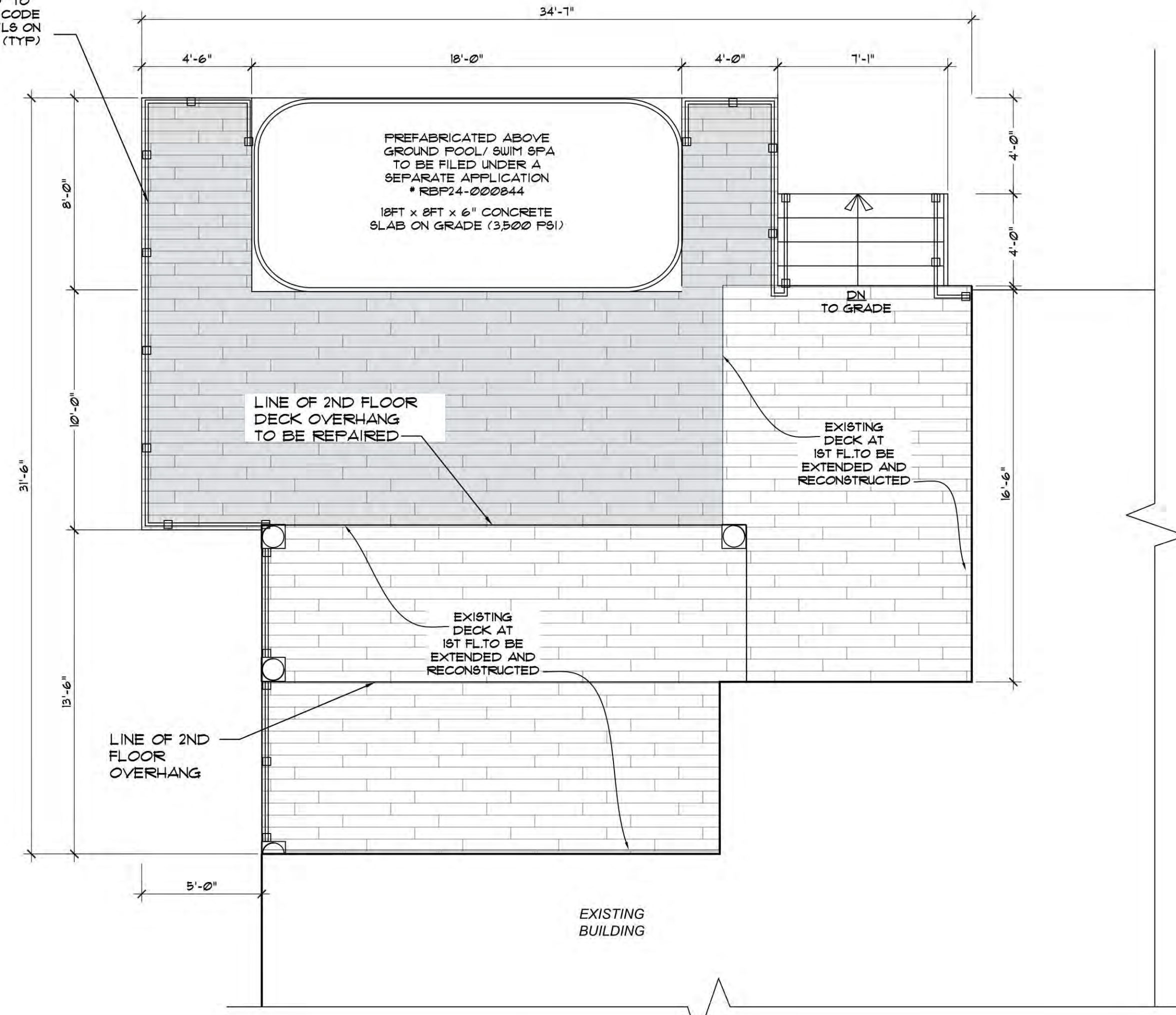
JOB#: 2023-49  
DRN BY: MC / JP  
CKD BY: ASM/KT  
DATE: 11/23  
SCALE: AS NOTED

**PLOT PLAN**  
PROPOSED DECK  
RECONSTRUCTION  
1 HILLTOP ROAD  
ALBERTSON, NY 11507  
SECTION: 7 BLOCK: 151 LOT: 14

MIRZA RESIDENCE  
**DISAPPROVED**  
Carlos Reyes  
12/23/2024

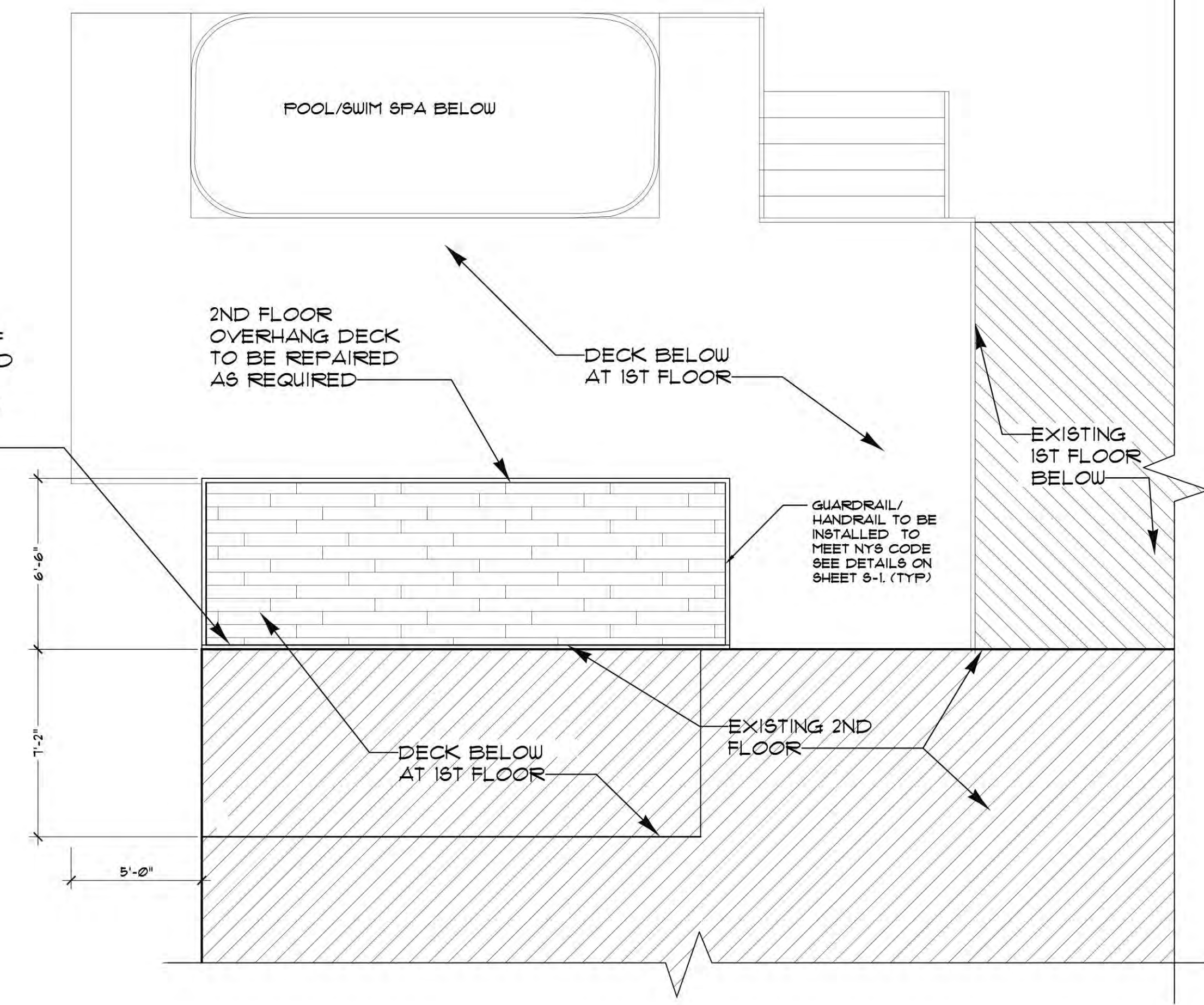
WARNING:  
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 147  
FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A  
LICENSED REGISTERED ARCHITECT, TO ALTER THIS ITEM IN ANY WAY.  
COPYRIGHT 2024 © ARNOLD MONTAG ARCHITECT AM/PM DESIGN & CONSULTING, P.C. ALL RIGHTS RESERVED.

GUARDRAIL/  
HANDRAIL TO BE  
INSTALLED TO  
MEET NYS CODE  
SEE DETAILS ON  
SHEET S-1 (TYP)

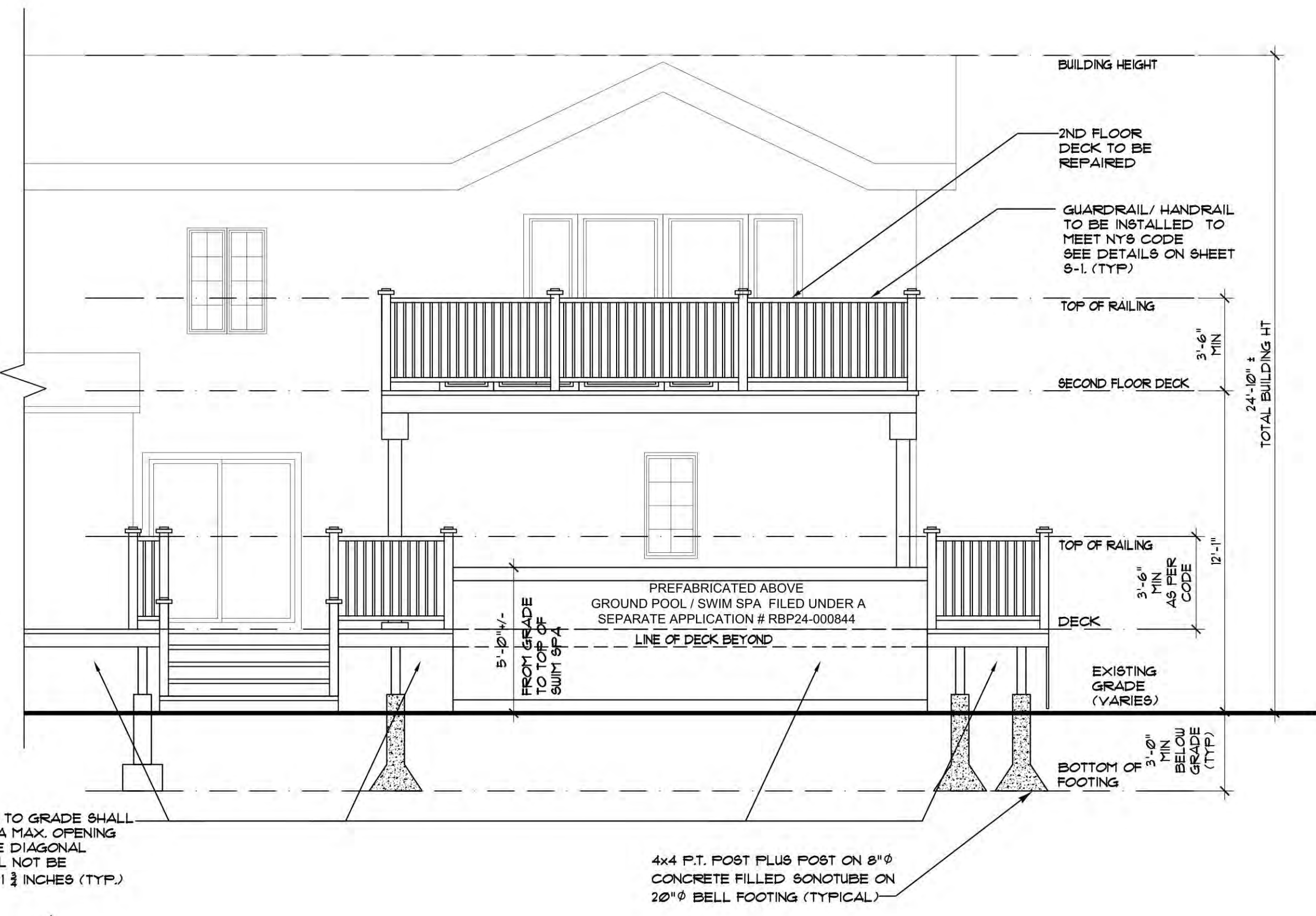


**1ST FLOOR DECK PLAN**  
SCALE: 1/4" = 1'-0"

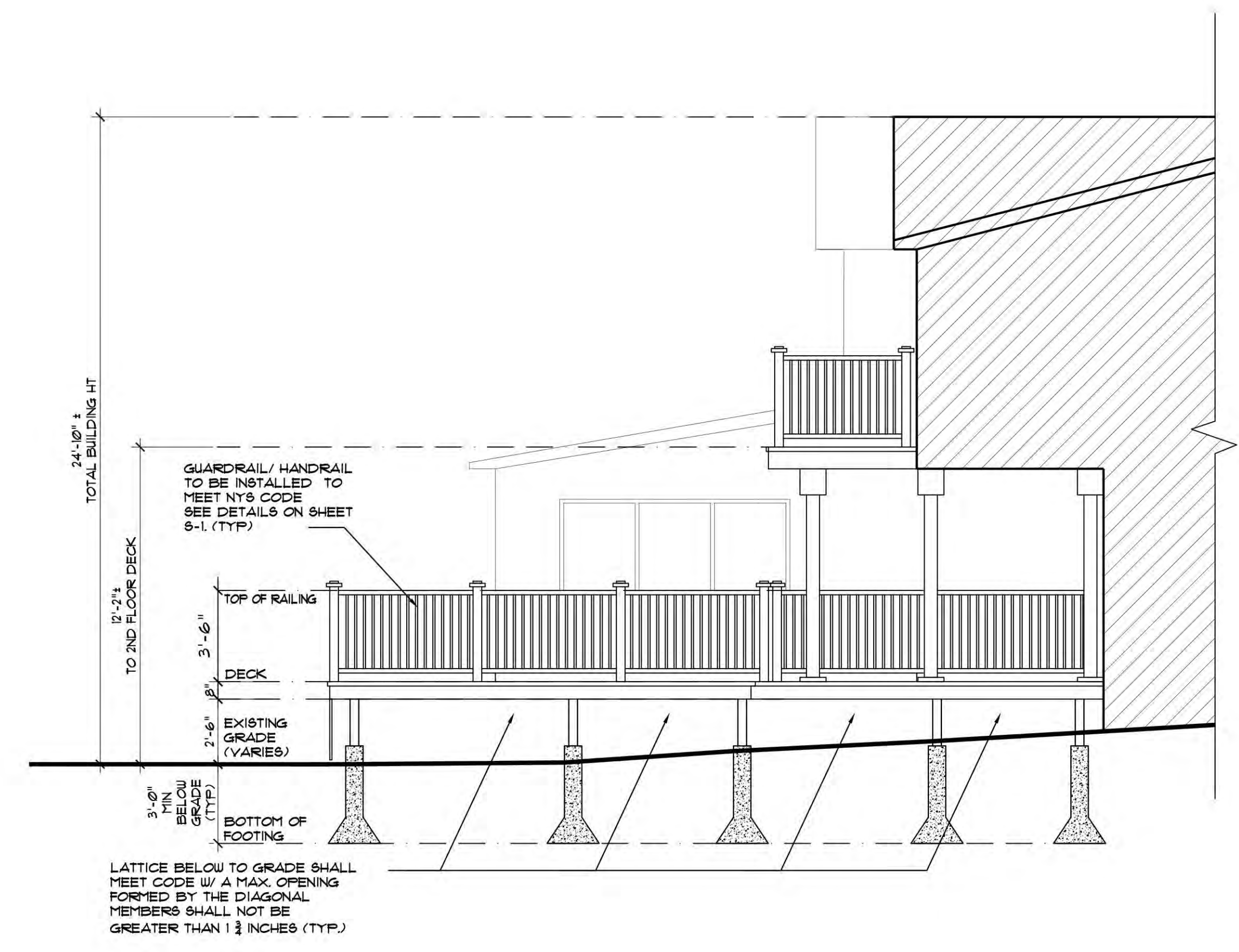
CONTRACTOR TO VERIFY CONDITION OF EXISTING LEDGER BOARD CONNECTION AND FLASHING AT 2ND FLOOR DECK TO BE REPAIRED AS REQUIRED



**2ND FLOOR DECK PLAN**  
SCALE: 1/4" = 1'-0"



**DECK SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**DECK EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

WARNING:  
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 147 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED REGISTERED ARCHITECT, TO ALTER THIS ITEM IN ANY WAY.

**ARNOLD MONTAG, ARCHITECT**  
AM/PM DESIGN & CONSULTING, P.C.  
350 NORTHERN BLVD SUITE 200 GREAT NECK, NY 11021  
PHONE (516) 829-7939 FAX (516) 825-7946  
EMAIL: OFFICE@AMPDESIGN.COM



REVISIONS		
DATE	BY	
4/3/24	PRELIMINARY	MC
4/15/24	FILED	JP
8.13.2024	ANS COMMENTS	JP
10.31.2024	ANS COMMENTS	CK

TOWN OF NORTH HEMPSTEAD DEPARTMENT OF BUILDINGS APPLICATION NUMBER
RB24-000310

JOB#: 2023-49	DRN BY: MC / JP	CKD BY: ASM/KT	DATE: 11/23	SCALE: AS NOTED
DECK PLANS				
PROPOSED DECK RECONSTRUCTION				
1 HILLTOP ROAD				
ALBERTSON, NY 11501				
SECTION: 1 BLOCK 15 LOT 14				

MIRZA RESIDENCE  
**DISAPPROVED**

Carlos Reyes  
12/23/2024

DWG 3 OF 04



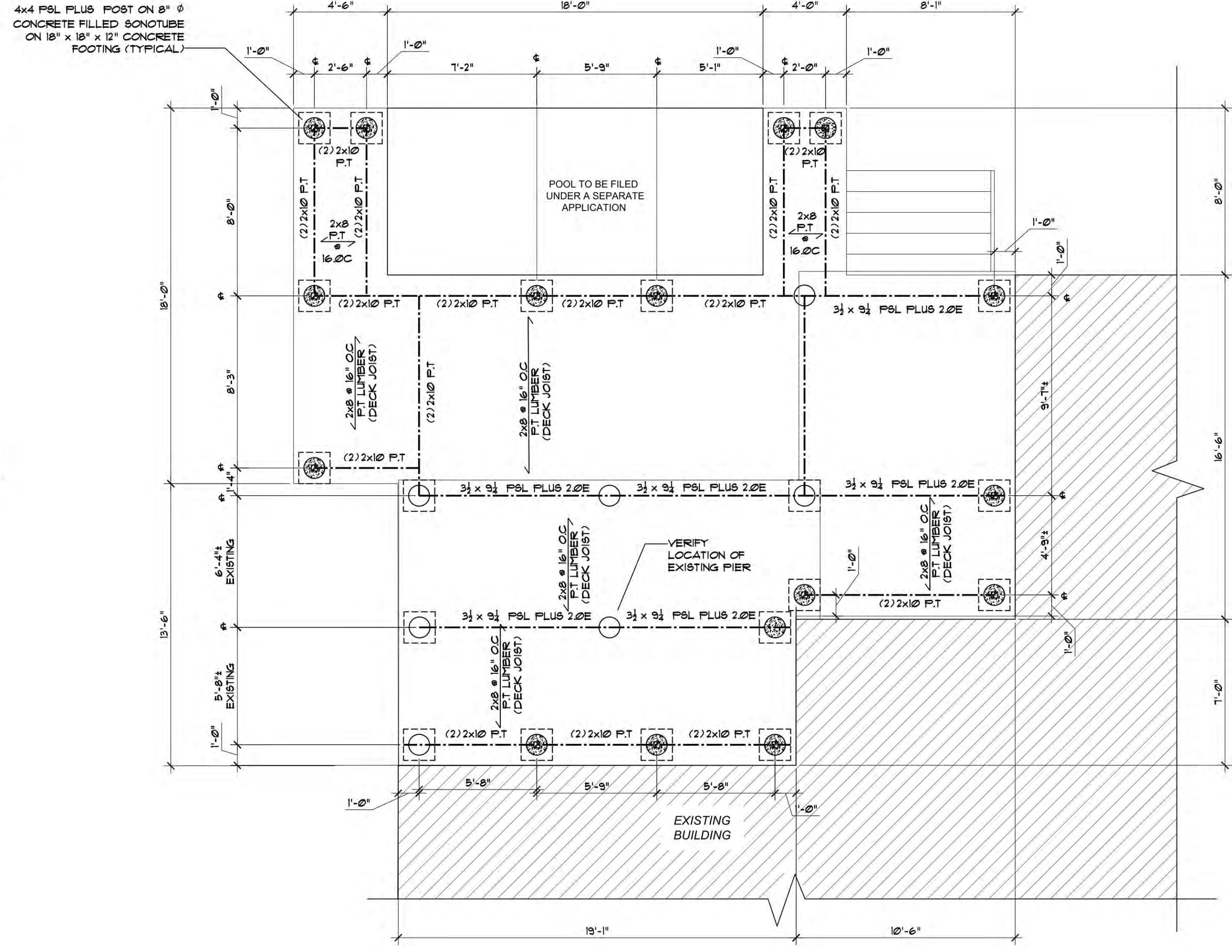
REVISIONS		
DATE	BY	
4/3/24	PRELIMINARY	MC
4/15/24	FILED	JP
8/13/2024	ANS COMMENTS	JP
10/31/2024	ANS COMMENTS	CK

TOWN OF NORTH HEMPSTEAD DEPARTMENT OF BUILDINGS APPLICATION NUMBER
RB24-000310

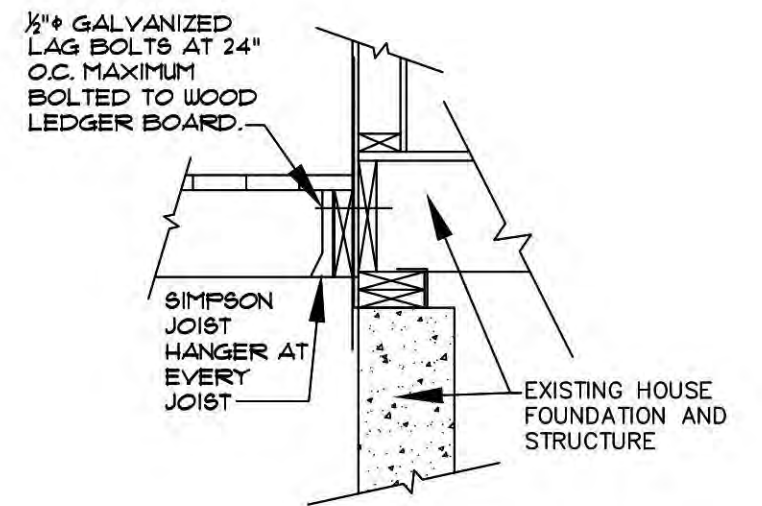
FRAMING PLANS	JOB#: 2023-49
PROPOSED DECK RECONSTRUCTION 1 HILLTOP ROAD ALBERTSON, NY 11501	DRN BY: MC / JP CKD BY: ASM/KT DATE: 11/23 SCALE: AS NOTED
SECTION: 1 BLOCK 151 LOT 14	

MIRZA RESIDENCE  
~~DISAPPROVED~~  
 Carlos Reyes  
 12/23/2024  
 DWG 4 OF 04

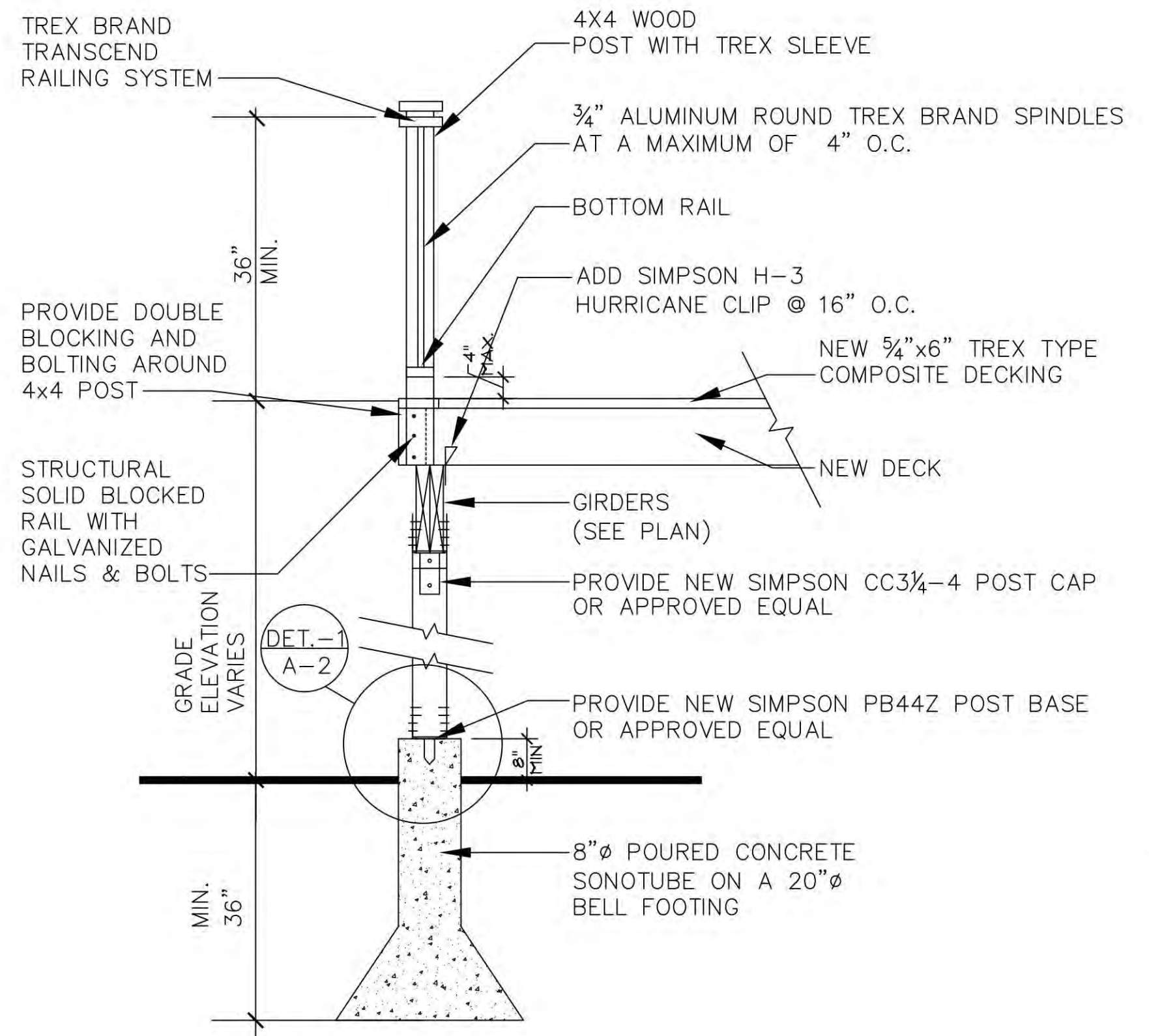
LEGEND	
	PROPOSED 4x4 FSL PLUS POST ON 8" Ø CONCRETE FILLED SONOTUBE ON 18" x 18" x 12" CONCRETE FOOTING (TYPICAL)
	EXISTING STRUCTURAL CONCRETE PIER
	EXISTING CONCRETE PIER
	P.T. PRESSURED TREATED



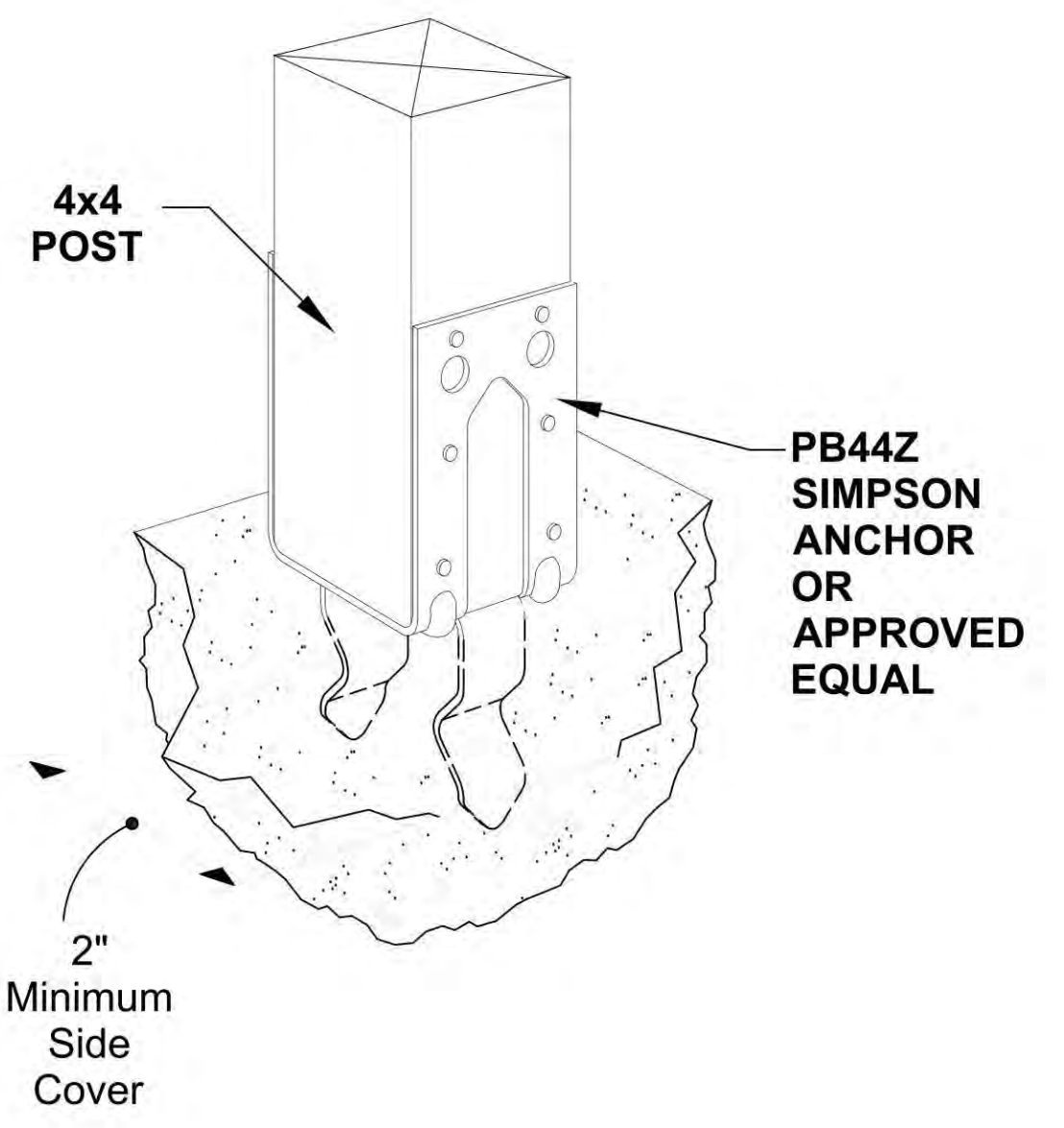
**DECK FOOTING  
FOUNDATION AND FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



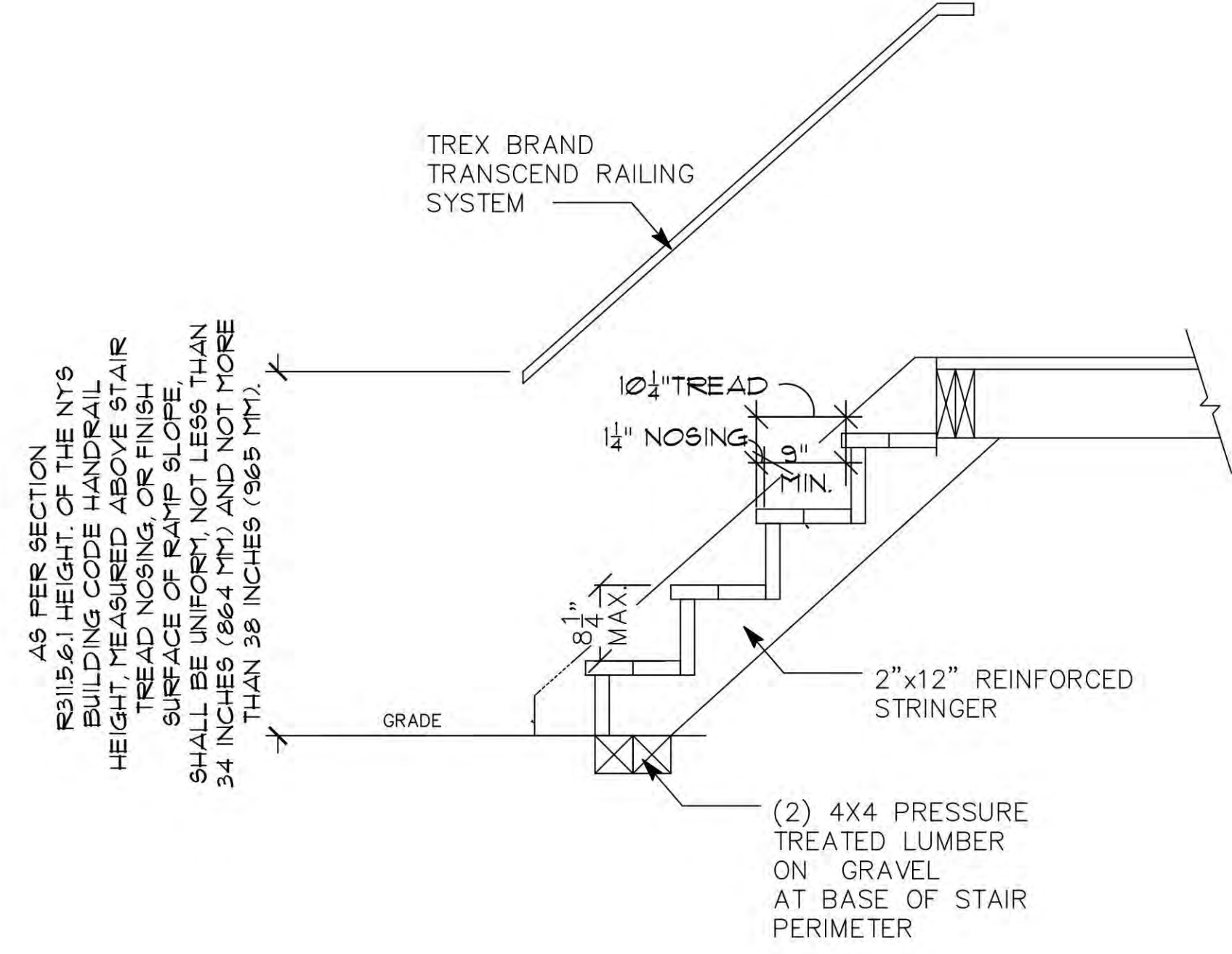
**EXISTING PORCH/DECK/HOUSE  
CONNECTION DETAIL  
DETAIL 1**



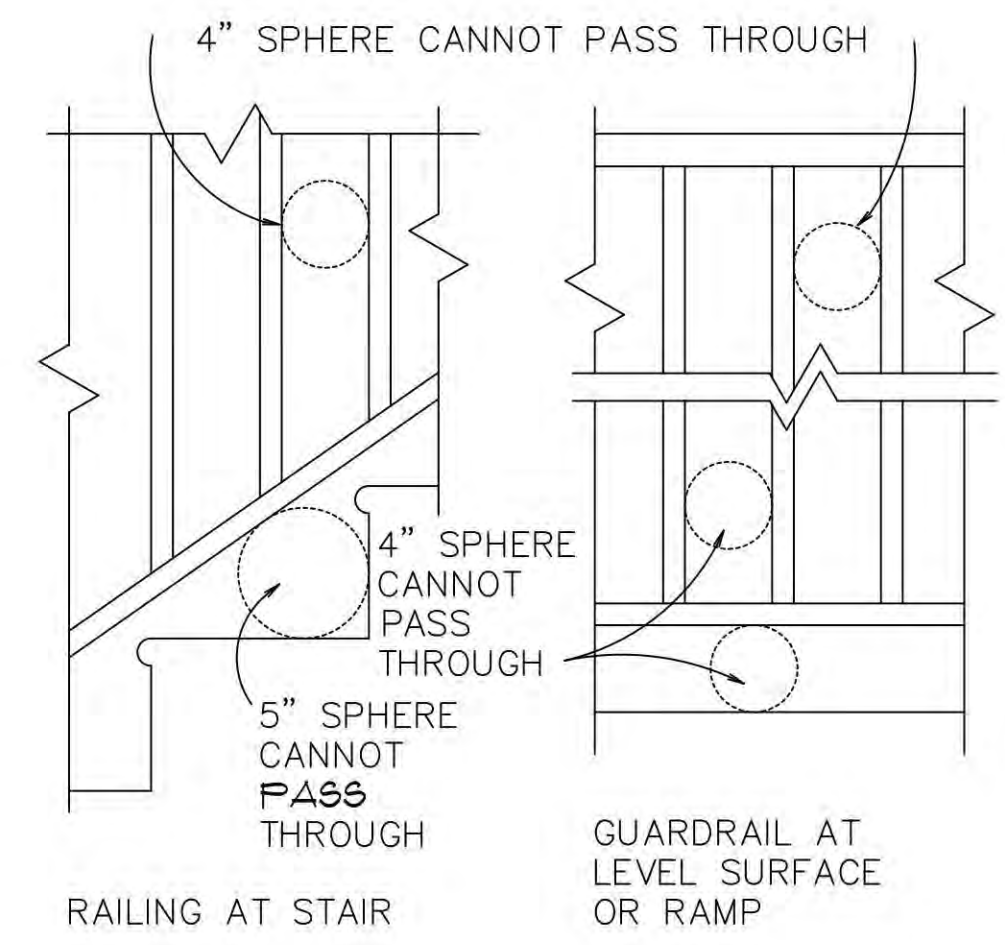
**DECK/JOIST CONNECTION DETAIL N.T.S.**



**POST BASE  
DETAIL 3**



**STAIR/RAILING DETAIL AS PER R322.5.3  
DETAIL 4**



**RAILING DETAIL  
NOT TO SCALE  
DETAIL 5**

WARNING:  
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 147  
FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A  
LICENSED REGISTERED ARCHITECT, TO ALTER THIS ITEM IN ANY WAY.

**SCOPE OF WORK**

1. NEW HOT TUB/SWIM SPA IN SIDE YARD.
2. NO INTERIOR WORK.
3. NO CHANGE TO EGRESS, OCCUPANCY AND USE.

**GENERAL NOTES**

1. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES, RULES AND REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES AND MUNICIPALITIES PERTAINING TO LABOR AND MATERIALS.
2. ALL WORK TO BE DONE BY EXPERIENCED, LICENSED AND INSURED CONTRACTORS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS FROM ALL AUTHORITIES HAVING JURISDICTION.
3. ALL CONSTRUCTION SHALL CONFORM TO THE ACCEPTABLE STANDARDS FOR ALL TRADES INVOLVED. ALL WORK SHALL CONFORM TO THE HIGHEST STANDARDS OF QUALITY PROFESSIONAL WORKMANSHIP. ALL MANUFACTURERS' SPECIFICATIONS FOR INSTALLING SYSTEMS AND SUB-SYSTEMS MUST BE FOLLOWED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE SUPERVISION AND SITE SAFETY DURING ALL STAGES OF CONSTRUCTION.
5. THE EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AT THE SITE PRIOR TO STARTING OF WORK AND SHALL FAMILIARIZE THEMSELVES WITH THE INTENT OF THESE PLANS. IF IN THE COURSE OF CONSTRUCTION A CONDITION EXISTS WHICH DISAGREES WITH THE PLANS, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ENGINEER.
6. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING A TEMPORARY SUPPORT SYSTEM TO MAINTAIN PROPERTY SUPPORT AND LEVEL OF THE BUILDING AS NECESSARY. ALL NEW AND EXISTING CONSTRUCTION MUST BE ADEQUATELY BRACED AND PROTECTED, AS REQUIRED, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MISALIGNMENTS, IN ACCORDING WITH APPLICABLE CODES, STANDARDS, AND GOOD PRACTICES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADEQUATELY BRACE AND PROTECT ALL NEW WORK AND EXISTING CONSTRUCTION, AS NECESSARY. SAFEGUARD ARE TO BE PROVIDED WHERE NECESSARY TO PRECLUDE INJURY TO OWNER'S AND CONTRACTOR'S PERSONNEL AND TO ALL OTHER PERSONS AT THE CONSTRUCTION SITE.
8. THE CONTRACTOR SHALL COORDINATE ALL WORK OF THIS CONTRACT TO AVOID ANY INTERFERENCE WITH ADJOINING AREA. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO NOT DAMAGE THE ADJACENT CONSTRUCTION OF THE BUILDING. ANY DAMAGE SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
9. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION CONFORMING TO THESE PLANS, MEANS OF CONSTRUCTION, METHODS, TECHNIQUES, SEQUENCES OF PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK NOR HAS HE BEEN HIRED FOR SUPERVISION UNLESS SPECIFIED.
10. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS OR QUANTITIES AND FOR THE FITTING TO OTHER WORK FOR WORK TO BE CONFIRMED AND CORRELATED TO THE SITE. FOR INFORMATION PERTAINING TO THE FABRICATION PROCEDURE OR TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION; AND FOR THE COORDINATION OF WORK WITH ALL TRADES. THE VERIFICATION OF THE PHYSICAL INTERRELATIONSHIPS OF ELEMENTS OF THE WORK FROM PLANS AND SPECIFICATIONS AND IN THE FIELD IS THE CONTRACTOR'S SOLE RESPONSIBILITY. ENGINEER'S REVIEW OF THE CONTRACTOR'S SUBMISSION DOES NOT RELIEVE THE CONTRACTOR FROM THESE RESPONSIBILITIES.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS.
12. CONTRACTORS TO PERFORM THE WORK PROPOSED BY THESE PLANS WILL NOT DEVIATE IN ANY MATERIAL RESPECT FROM THE GENERAL NOTES HEREIN AND THE PERTINENT DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR ITEMS REQUIRING THE SUBMITTAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, ETC. UNTIL THE CONTRACTOR HAS RECEIVED APPROVAL OR UNTIL DIRECTED TO DO SO, IN WRITING, BY THE ARCHITECT.
15. WHERE SPECIFIED DETAILS CONFLICT WITH TYPICAL DETAILS, THE SPECIFIC DETAILS SHALL GOVERN. IN CASES OF DISCREPANCIES BETWEEN VARIOUS DRAWINGS AND/OR SPECIFICATIONS, THE DISCREPANCY SHALL BE REPORTED, BY THE CONTRACTOR, TO THE ARCHITECT BEFORE PROCEEDING WITH SUBMITTALS OR CONSTRUCTION.
16. DO NOT IMPAIR INTEGRITY OF STRUCTURAL MEMBERS BY IMPROPER DRILLING, NOTCHING, OR CUTTING. ALL WORK SHALL BE ADEQUATELY BRACED UNTIL ALL PORTIONS OF THE BUILDING AFFECTING ITS STABILITY ARE IN PLACE AND SECURELY FASTENED.
17. AT COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE FROM THE SITE, WASTE MATERIAL, DEBRIS AND SURPLUS MATERIALS.
18. ALL NOTES HEREIN SHALL APPLY TO ALL CONTRACT DRAWINGS.
19. THE CONTRACTOR SHALL PROVIDE AND SET ALL ANCHOR BOLTS, INSERTS, SLEEVES, TIES, ETC. AS SHOWN ON THE DRAWINGS AND/OR AS REQUIRED IN ORDER TO ACCOMPLISH THE INTENDED CONSTRUCT.
20. ONLY CERTIFIED, INSURED, AND QUALIFIED WELDERS TO BE USED FOR ALL WELDING WORK.
21. SHIMS TO BE 6"x6" REQUIRED THICKNESS. ALL SHIMS TO BE GLUED TO STEEL BEAM AND JOISTS.
22. TEMPORARY SHORING SHALL LOAD DIRECTLY ON SOLID TIMBER MEMBERS AND SUITABLE CONCRETE AND PONTOONS.

**NOTE:**  
IT IS A VIOLATION OF ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING 7209 (2), FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM ON THESE DRAWINGS IN ANY WAY.

**MATERIAL SPECIFICATIONS:**

**CONCRETE:**

1. CONCRETE IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI.

**CONCRETE**

1. CONCRETE FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-11)".
2. CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
3. REINFORCING MATERIALS SHALL BE AS FOLLOWS:  
A. WELDED WIRE FABRIC - ASTM A185, WELDED STEEL WIRE FABRIC. SEE SIZE AND DETAILS ON SHEET S-002.
4. ALL REINFORCEMENT AND EMBEDDED ITEMS SHALL BE ACCURATELY PLACED IN THE POSITIONS SHOWN AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.
5. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS PER ACI 318-11.

OWNER SHALL INSTALL AN ALARM AT ALL DOORS THAT OPEN ONTO SWIM/SPA/POOL ENCLOSURE:

1. PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND ITS SCREEN, IF PRESENT, ARE OPENED.
2. SOUNDS CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS IMMEDIATELY AFTER THE DOOR IS OPENED.
3. IS CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES.
4. AUTOMATICALLY RESETS UNDER ALL CONDITIONS.
5. IS EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO DEACTIVATE THE ALARM TEMPORARILY FOR A SINGLE OPENING (SUCH DEACTIVATION CANNOT LAST FOR MORE THAN 15 SECONDS, AND THE DEACTIVATION SWITCH(ES) MUST BE THRESHOLD OF THE DOOR

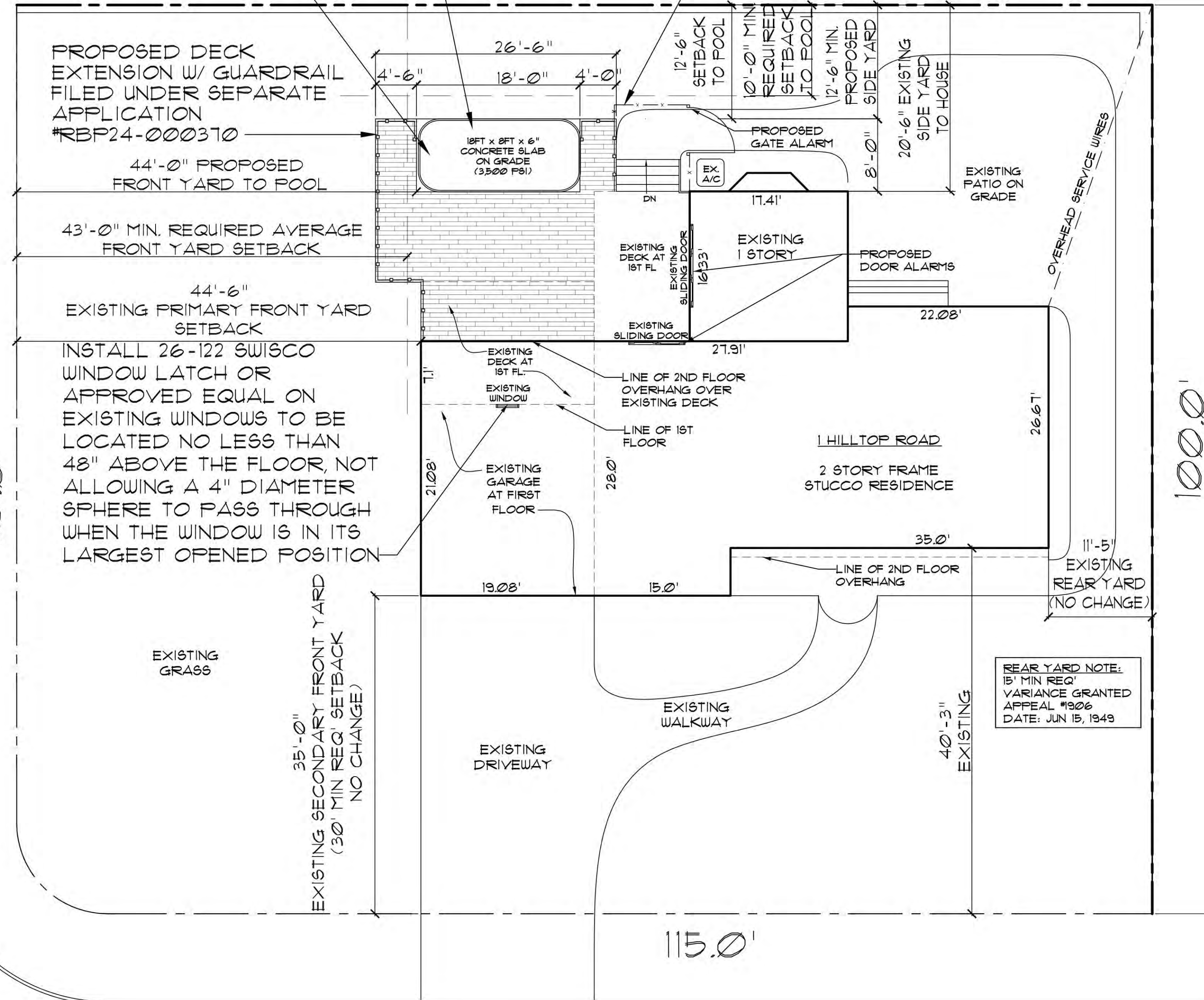
**NOTES:**

ALL WINDOWS OF THE DWELLING THAT OPEN ONTO THE REAR YARD POOL BARRIER ENCLOSURE TO HAVE WINDOW LATCHING DEVICES INSTALLED AS REQUIRED BY R326.4.2.8 (1)(B) OF THE NEW YORK STATE RESIDENTIAL BUILDING CODE (SEE NOTE ON PLOT PLAN)

PROPOSED ELECTRIC REQUIREMENTS TO CONNECT TO THE EXISTING ELECTRICAL SERVICE

PROPOSED POOL/SWIM SPA. SEE SHEET A-100 & SPECIFICATIONS ON SHEET A-101

PROPOSED 4'-0" HIGH FENCE W/ GATE (SIZED TO SPAN OVER WALKWAY) TO BE PART OF POOL BARRIER/ENCLOSURE & EQUIPPED W/ GATE ALARM TO BE FILED UNDER SEPARATE FENCE APPLICATION #RFP24-000325



**NOTE:**  
ALL INFO TAKEN FROM:  
JOHN F. FERRANTELLI  
LICENSE NO. 45011  
SURVEY DATE: 4/24/2006

1 PLOT PLAN  
G-100 1/8" = 1'-0"

**OWNER**  
  
MIRZA RESIDENCE  
1 HILLTOP ROAD  
ALBERTSON NY 11507

**PROJECT**  
  
POOL/SWIM SPA

**ENGINEER**  
  
ANTHONY F. MARMO, P.E.  
AFM INSPECTIONS & ENGINEERING, PLLC  
204 JERICHO TURNPIKE  
SUITE R  
FLORAL PARK, NY 11001  
OFFICE & FAX: (516) 354-1030

**PROPERTY ZONING INFO.**  
ADDRESS: 1 HILLTOP ROAD  
ALBERTSON, NY 11507  
SECTION: 7 BLOCK: 151 LOT: 14  
PRIMARY ZONING: RC (USING RA)  
OCCUPANCY CLASS: RESIDENTIAL  
BUILDING DEPT: TOWN OF NORTH HEMPSTEAD  
ZONING MAP:  
OWNER: AMAD MIRZA

DRAWN BY:  
CHECKED BY: AFM  
DRAWING SIZE: 24"x36"  
DRAWING DATE: 4/23/2024



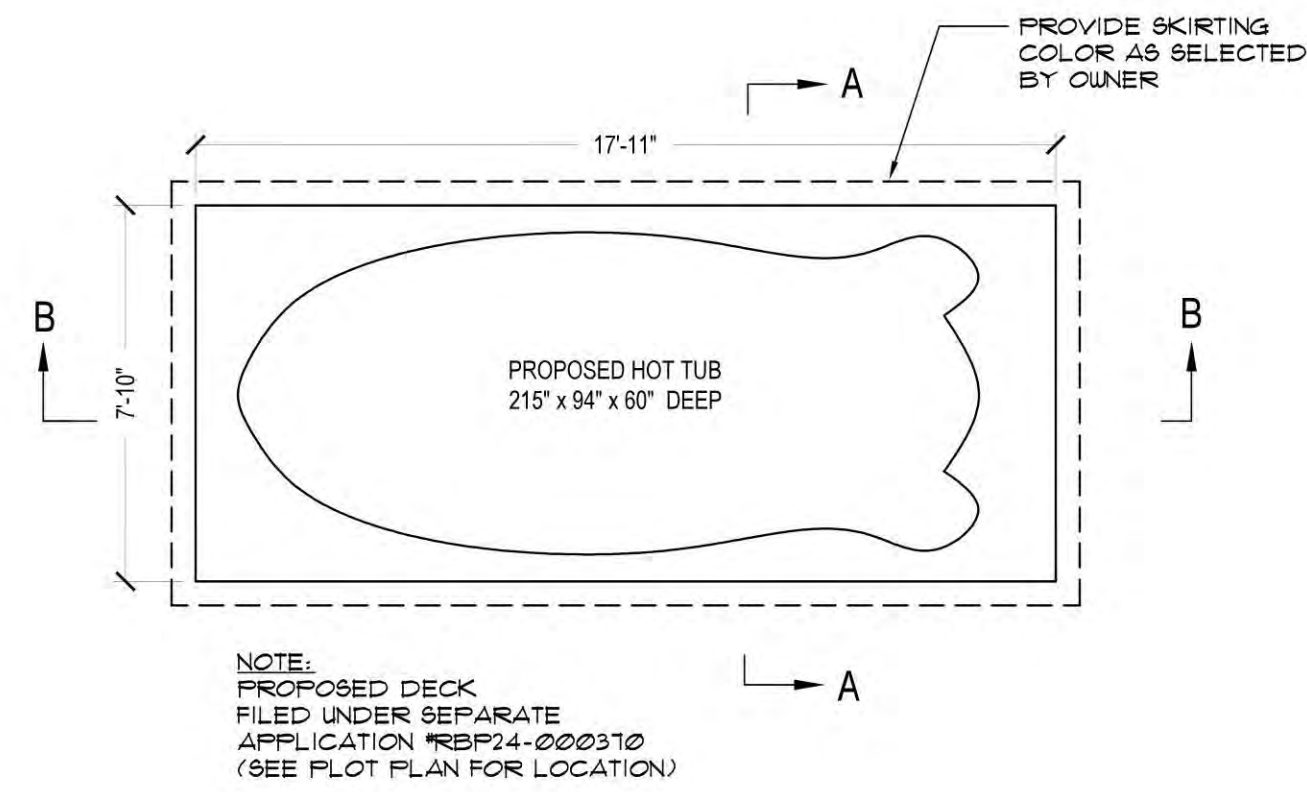
REVISION	DATE	BLDG. DEPT. FILING
	8/28/24	

**TITLE**  
  
GENERAL NOTES, PLOT PLAN AND POOL SPECIFICATION

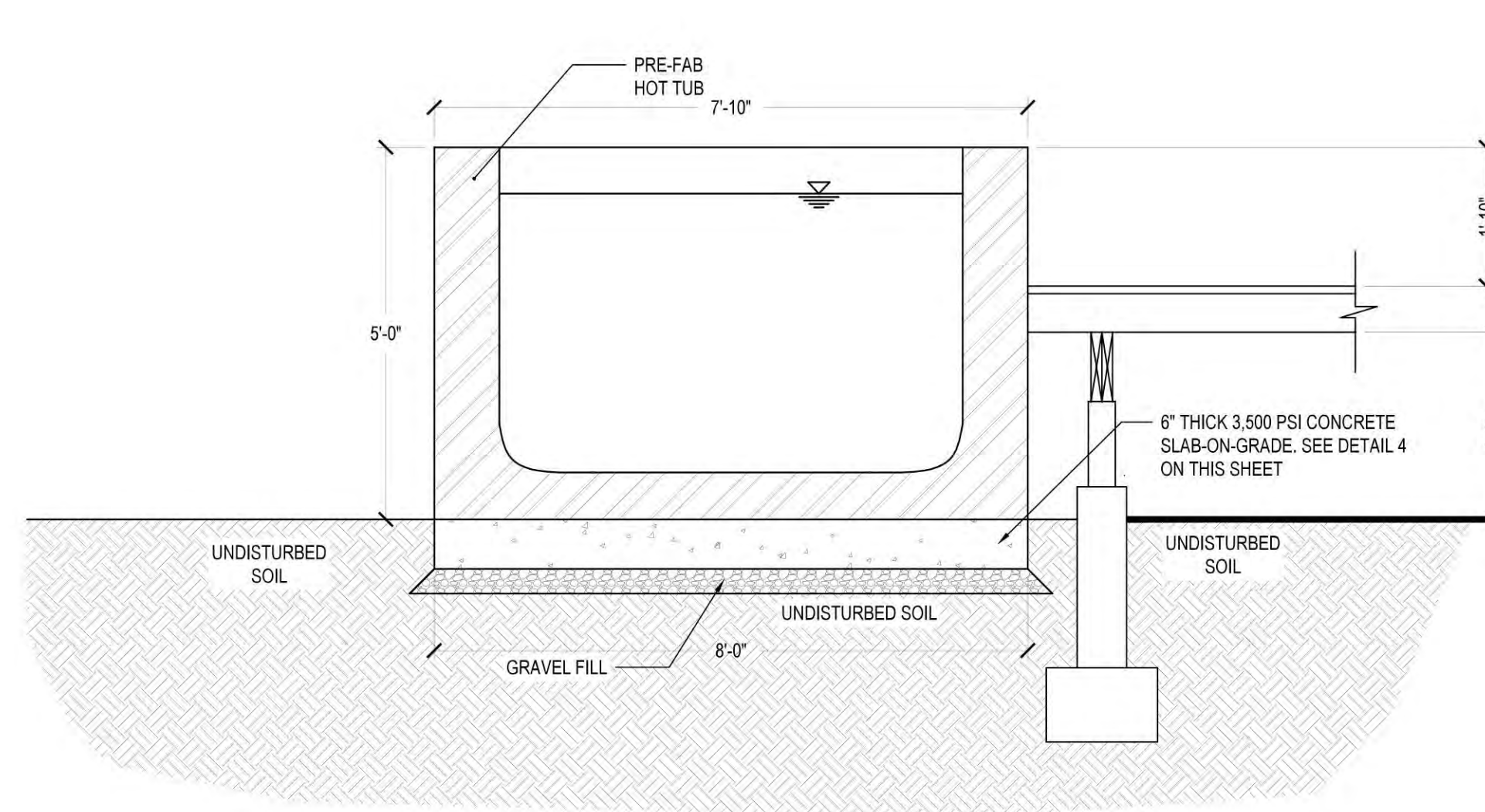
DEPARTMENT OF BUILDINGS RECORD #  
APPLICATION# RBP24-000844

SHEET  
G-100.00  
1 of 3

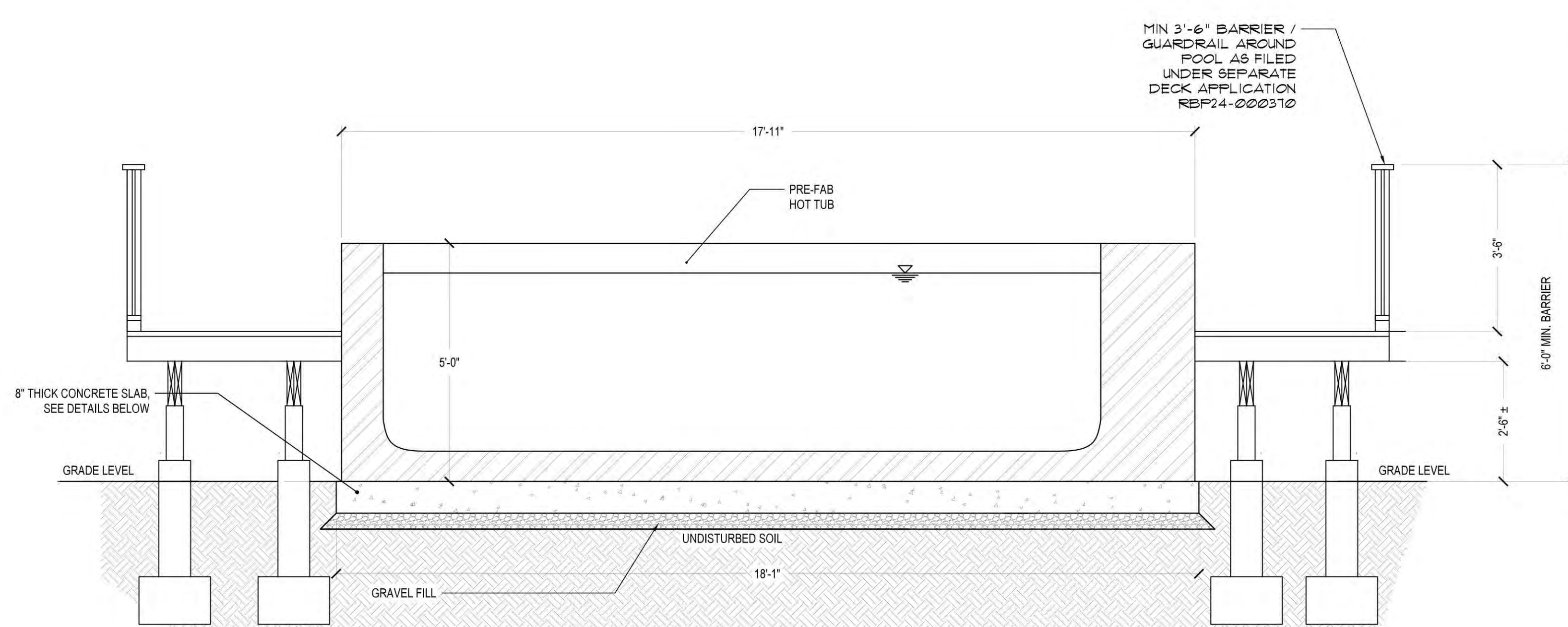
**DISAPPROVED**  
Carlos Reyes  
12/25/2024



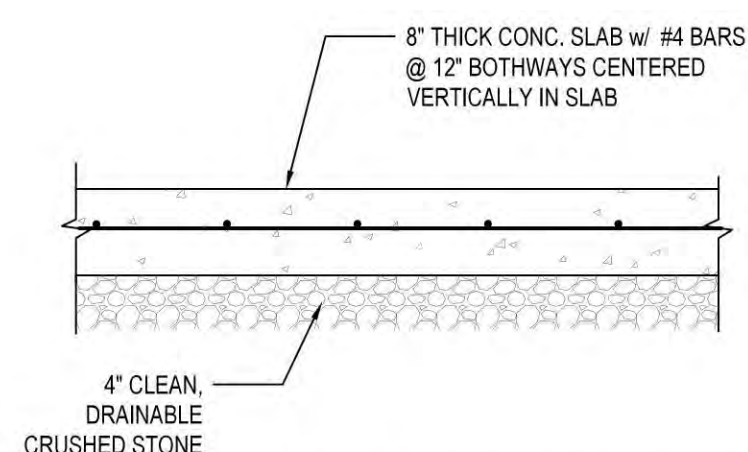
**1 POOL PLAN**  
A-100 1/4" = 1'-0"



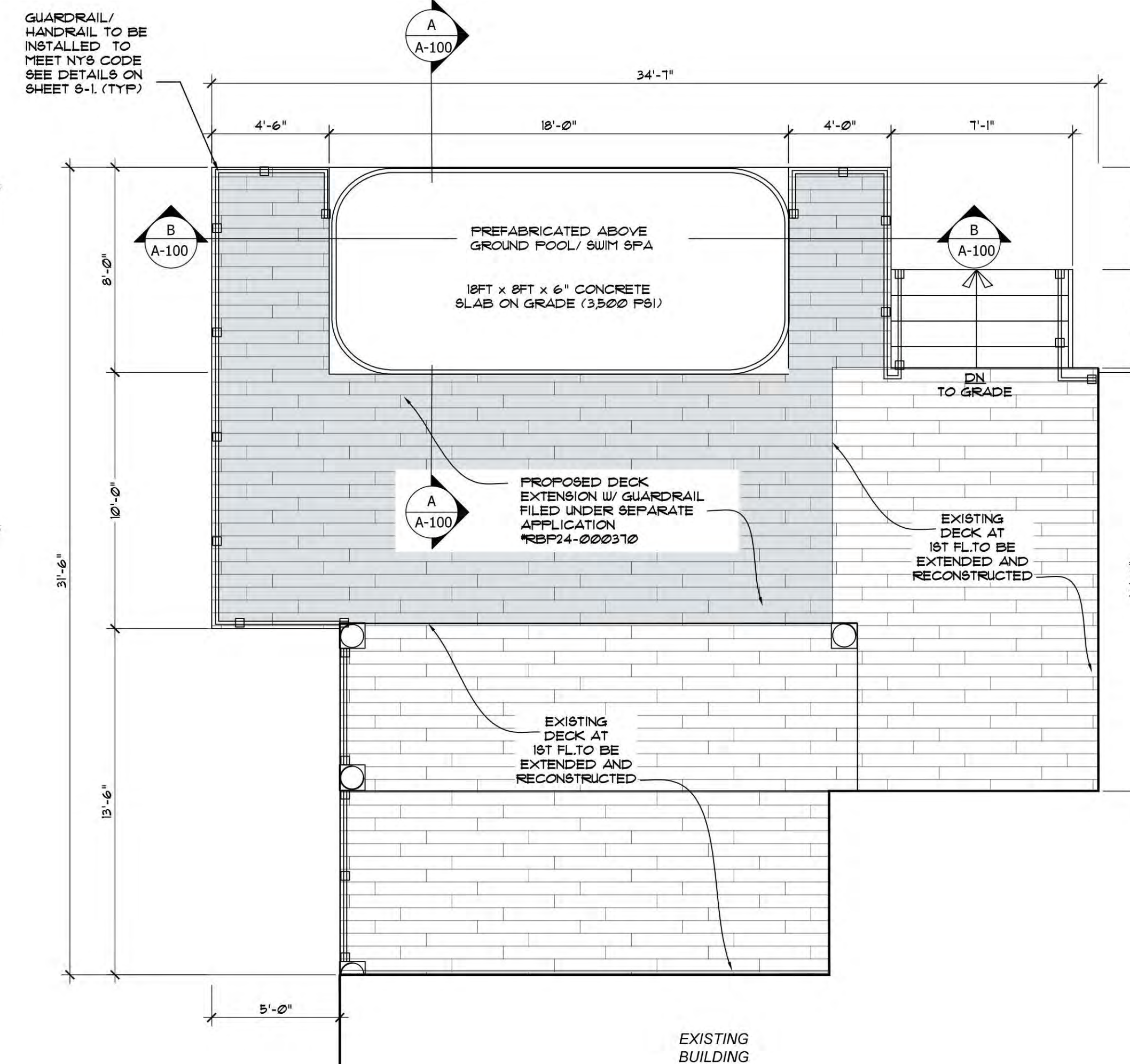
**A POOL SECTION A**  
A-100 1/2" = 1'-0"



**B POOL SECTION B**  
A-100 1/2" = 1'-0"



**2 TYPICAL SLAB DETAILS**  
A-100 NTS



**3 FIRST FLOOR DECK PLAN**  
A-100 1/4" = 1'-0"

**NOTE:**  
IT IS A VIOLATION OF ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING § 229 (2), FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM ON THESE DRAWINGS IN ANY WAY.

**OWNER**  
  
MIRZA RESIDENCE  
1 HILLTOP ROAD  
ALBERTSON NY 11507

**PROJECT**  
  
POOL/SWIM SPA

**ENGINEER**  
  
ANTHONY F. MARMO, P.E.  
AFM INSPECTIONS & ENGINEERING, PLLC  
204 JERICHO TURNPIKE  
SUITE R  
FLORAL PARK, NY 11001  
OFFICE & FAX: (516) 354-1030

**PROPERTY ZONING INFO.**  
ADDRESS: 1 HILLTOP ROAD  
ALBERTSON, NY 11507  
SECTION: 7 BLOCK: 151 LOT: 14  
PRIMARY ZONING: RC (USING RA)  
OCCUPANCY CLASS: RESIDENTIAL  
BUILDING DEPT: TOWN OF NORTH HEMPSTEAD  
ZONING MAP#: \_\_\_\_\_  
OWNER: AMAD MIRZA

DRAWN BY: \_\_\_\_\_  
CHECKED BY: AFM  
DRAWING SIZE: 24"x36"  
DRAWING DATE: 4/23/2024

SEAL

REVISION	DATE	BLDG. DEPT. FILING
	8/28/24	

**TITLE**  
  
PLAN, SECTIONS  
AND DETAILS

DEPARTMENT OF BUILDINGS RECORD #  
APPLICATION# RBP24-000844

SHEET  
A-100.00  
2 OF 3

**DISAPPROVED**  
Carlos Reyes  
12/25/2024



## Trainer 18 D Swim Spa

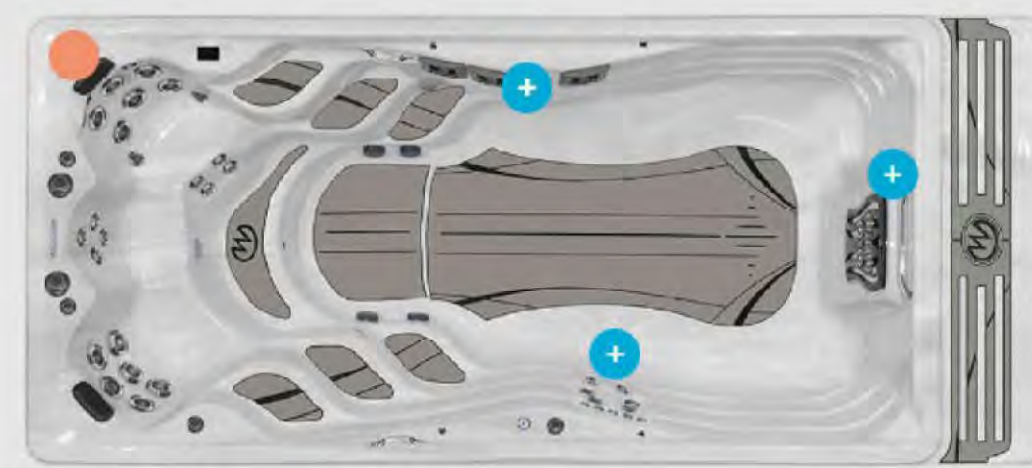
High Performance, Air-injected VIP, Adjustable Speed

Trainer 18 D features a large uninhibited area with increased depth for buoyancy that is perfect for fitness training, aquatic exercise, and family fun. The VIP (Velocity Injector Plate) Technology improves the swim jet performance and increases water output for an enhanced exercise experience. With incomparable health rewards, hydrotherapy, and relaxation this swim spa offers a full measure of enjoyment.

Dimensions	Gallons	Jets
215" x 94" x 60" (547cm x 239cm x 153cm)	2,235 (8,460 L)	43

GET PRICING

GET BROCHURE



Out-of-the-water jets target this high-tension area of the body

### + Model Specifications

#### H2X Fitness Swim Spa Trainer 18 D

Dimensions	215" x 94" x 60" (547cm x 239cm x 153cm)
Water Capacity	2,235 (8,460 L)
Weight (Dry/Full)	2,710 lbs (1,229 kg) / 22,275 lbs (10,104 kg)
Propulsion System	Air-Injected VIP Technology
Power Requirement	50 Amp System
Pumps	2
Stainless Steel Jets	43 (Incl. 4 VIP jets)
Water Features	1
Ozone System	Standard
Filtration	EcoPur® Charge
LED Lighting	Waterline

## Trainer 18 D

High Performance, Air-injected VIP, Adjustable Speed



Trainer 18 D features a large uninhibited area with increased depth for buoyancy that is perfect for fitness training, aquatic exercise, and family fun. The VIP (Velocity Injector Plate) Technology improves the swim jet performance and increases water output for an enhanced exercise experience. With incomparable health rewards, hydrotherapy, and relaxation this swim spa offers a full measure of enjoyment.

Dimensions	215" x 94" (547 cm x 239 cm)
Depth	60" (153 cm)
Water Capacity	2,235 Gallons (8,460 L)
Weight (Dry/Full)	2,710 lbs. (1,229 kg) / 22,275 lbs. (10,104 kg)
Propulsion System	Air-Injected VIP Technology
Power Requirement	50 Amp System
Pumps	2
Stainless Steel Jets	43 (Including 4 VIP jets)
Water Features	5
Ozone System	Standard
Filtration	EcoPur® Charge
LED Lighting	Waterline
Exclusive Features	StressRelief Neck and Shoulder Seat™ Master Force® Bio-Magnetic Therapy System Nonslip, Comfort Floor System
Exclusive Accessories	100% Recycled Fitness System
Premium Options	Fusion Air Sound System Bluetooth Speaker Max3Pur™ Water Management System Aqua® Cover System Heat Pump
Listing Number	T80

## 1 SPA SPECIFICATIONS

A-101 NTS

### CERTIFICATE OF COMPLIANCE

Certificate Number 20181026-E503406  
Report Reference E503406-20181018  
Issue Date 2018-OCTOBER-26

Issued to: Core Covers  
555 Saturn Blvd, Suite B 424  
San Diego CA 92154

This is to certify that representative samples of COVERS FOR SWIMMING POOLS AND SPAS USC – Manual Safety Spa Covers, CV Series, suitable for maximum of 96" width and length.

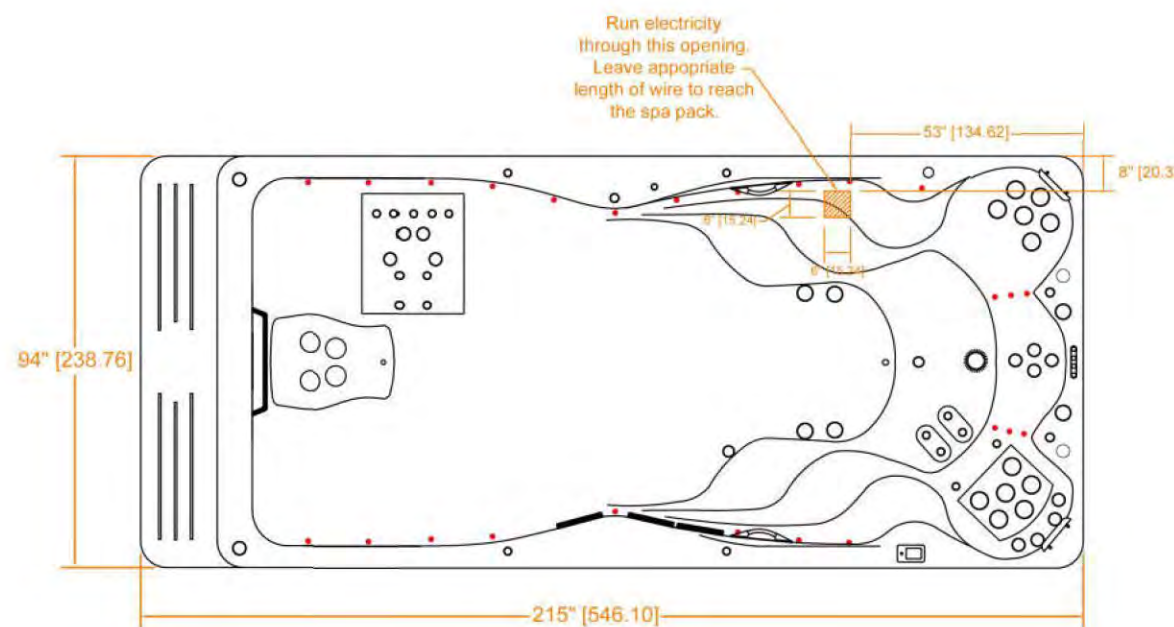
Have been investigated by UL in accordance with the Standard(s) indicated on this Certificate.

Standard(s) for Safety: ASTM Standard for Safety Covers and Labeling Requirements for All Covers for Swimming Pools, Spa, and Hot Tubs, ASTM F1346-91.

Additional Information: See the UL Online Certifications Directory at [www.ul.com/database](http://www.ul.com/database) for additional information

Only those products bearing the UL Certification Mark should be considered as being covered by UL's Certification and Follow-Up Service.

Look for the UL Certification Mark on the product.



2023 H2X Trainer 18D CP  
O/A Height 60" (+/- 1/2")

Master Spas	
Trainer 18D CP	12/27/22 0
Electrical Hookup	Easley

Rev 0: Original drawing reset for 2023 (12/27/22)

## 3 SPA ELECTRICAL SPECIFICATIONS

A-101 NTS

### CERTIFICATE OF COMPLIANCE

Certificate Number 20161207-E484693  
Report Reference E484693-20160909  
Issue Date 2016-DECEMBER-07

Issued to: MASTER SPAS INC  
6927 Lincoln Pkwy  
Fort Wayne IN 46804-5623

This is to certify that representative samples of SELF-CONTAINED SPAS Models/Product

Have been investigated by UL in accordance with the Standard(s) indicated on this Certificate.

Standard(s) for Safety: UL 1563 - Electric Spas, Equipment Assemblies, and Associated Equipment  
CSA C22.2 No. 218.1-13 - Spas, Hot Tubs, and Associated Equipment

Additional Information: See the UL Online Certifications Directory at [www.ul.com/database](http://www.ul.com/database) for additional information

Only those products bearing the UL Certification Mark should be considered as being covered by UL's Certification and Follow-Up Service.

Look for the UL Certification Mark on the product.

UL  
UL LLC  
Any information and documentation involving UL Mark services are provided on behalf of UL LLC (UL) or any authorized licensee of UL. For questions, please contact a local UL Customer Service Representative at [www.ul.com/database](http://www.ul.com/database)

Page 2 of 2

## 4 SPA EQUIPMENT SPECIFICATIONS

A-101 NTS

### CERTIFICATE OF COMPLIANCE

Certificate Number 20161207-E484693  
Report Reference E484693-20160909  
Issue Date 2016-DECEMBER-07

This is to certify that representative samples of the product as specified on this certificate were tested according to the current UL requirements.

Self-Contained Swim Spas and Self-Contained Spas, Models:

1100, 1110, 1120, 1130, 1140, 1150, 1160, 1170, 1180, 1190, 1200, 1210, 1220, 1230, 1240, 1250, 1260, 1270, 1280, 1290, 1300, 1310, 1320, 1330, 1340, 1350, 1360, 1370, 1380, 1390, 1400, 1410, 1420, 1430, 1440, 1450, 1460, 1470, 1480, 1490, 1500, 1510, 1520, 1530, 1540, 1550, 1560, 1570, 1580, 1590, 1600, 1610, 1620, 1630, 1640, 1650, 1660, 1670, 1680, 1690, 1700, 1710, 1720, 1730, 1740, 1750, 1760, 1770, 1800, 1800, 2000, 2100, 2200, 2300, 2400, 2500, 2600, 2700, 2800, 2900, 3000, 3100, 3200, 3300, 3400, 3500, 3600, 3700, 3800, 3900, 4000, 4100, 4200, 4300, 4400, 4500, 4600, 4700, 4800, 4900, 5000, 5100, 5200, 5300, 5400, 5500, 5600, 5700, 5800, 5900, 6000, 6100, 6200, 6300, 6400, 6500, 6600, 6700, 6800, 6900, 7000, 7100, 7200, 7300, 7400, 7500, 7600, 7700, 7800, 7900, 8000, 8100, 8200, 8300, 8400, 8500, 8600, 8700, 8800, 8900, 9000, 9100, 9200, 9300, 9400, 9500, 9600, 9700, 9800, 9900

UL  
UL LLC  
Any information and documentation involving UL Mark services are provided on behalf of UL LLC (UL) or any authorized licensee of UL. For questions, please contact a local UL Customer Service Representative at [www.ul.com/database](http://www.ul.com/database)

Page 2 of 2

### OWNER

MIRZA RESIDENCE  
1 HILLTOP ROAD  
ALBERTSON NY 11507

### PROJECT

POOL/SWIM SPA

### ENGINEER

ANTHONY F. MARMO, P.E.  
AFM INSPECTIONS & ENGINEERING, PLLC  
204 JERICHO TURNPIKE  
SUITE R  
FLORAL PARK, NY 11001  
OFFICE & FAX: (516) 354-1030

### PROPERTY ZONING INFO.

ADDRESS: 1 HILLTOP ROAD  
ALBERTSON, NY 11507  
SECTION: 7 BLOCK: 151 LOT: 14  
PRIMARY ZONING: RC (USING RA)  
OCCUPANCY CLASS: RESIDENTIAL  
BUILDING DEPT: TOWN OF NORTH HEMPSTEAD  
ZONING MAP#:   
OWNER: AMAD MIRZA

DRAWN BY:

CHECKED BY: AFM

DRAWING SIZE: 24"x36"

DRAWING DATE: 4/23/2024

SEAL



REVISION

8/28/24	BLDG. DEPT. FILING
---------	--------------------

TITLE

SPA SPECIFICATIONS

DEPARTMENT OF BUILDINGS RECORD #

APPLICATION# RBP24-000844

SHEET

A-101.00

3 of 3

DISAPPROVED

Carlos Reyes  
12/25/2024

## 2 SPA COVER SPECIFICATIONS

A-101 NTS

UL  
UL LLC  
Any information and documentation involving UL Mark services are provided on behalf of UL LLC (UL) or any authorized licensee of UL. For questions, please contact a local UL Customer Service Representative at [www.ul.com/database](http://www.ul.com/database)

Page 1 of 1

PROPOSED  
ONE STORY ADDITION AND INTERIOR ALTERATIONS

#21680

RBP24-001075

# DACKOW RESIDENCE

208 JEROME AVE  
CARLE PLACE, NEW YORK 11514

TOWN OF NORTH HEMPSTEAD

NASSAU COUNTY, NEW YORK

TAX MAP: 9-470-45

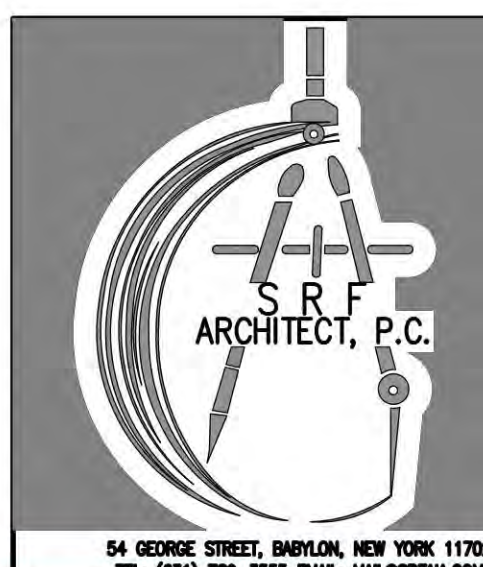


No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

ZONING / TOWN CODE COMPLIANCE

DISAPPROVED - Make corrections as noted and resubmit

Anthony Raguseo  
01/29/2025



54 GEORGE STREET, BAYLON, NEW YORK 11702  
TEL: (813) 788-3000 EMAIL: MAIL@SRFARCH.COM

## PROJECT INFORMATION

OWNER: EVAN DACKOW  
BUILDING USER / TENANT: DACKOW FAMILY  
PROJECT DESCRIPTION: ONE STORY ADDITION AND INTERIOR ALTERATIONS  
PROJECT SQUARE FOOTAGE: ---  
CONSTRUCTION CLASSIFICATION: 5B  
OCCUPANCY: SINGLE FAMILY HOME  
FIRE HAZARD: LOW  
FIRE SPRINKLER SYSTEM: N/A

## ZONE INFORMATION

TAX MAP #: SEC: 9 BLOCK: 470 LOT: 45			
BUILDING ZONING DATA: RES. C DISTRICT (R-C)			
	REQUIRED OR ALLOWED	EXISTING	PROPOSED
PLOT AREA	5,000.0 S.F. MIN.	12,457.6 S.F.	N/A
LOT WIDTH	40.0' MIN.	125.79'	N/A
AVERAGE	32.9' MAX.	32.8'	27.4'
FRONT YARD SETBACK			VARIANCE
A. SIDE YARD SETBACK	5.0' (Min.)	13.9'	13.9'
25% OF LOT WIDTH (123.36')	30.8' (Total)	74.1'	74.1'
REAR YARD SETBACK	15.0' MIN.	42.0'	42.0'
MAX. BUILDING HEIGHT	30.0'/2.5 MAX.	20.0'/2	20.0'/2
LOT COVERAGE	35.0% MAX.	10.3%	9.7%
FLOOR AREA			
HABITABLE SPACE	900 S.F. MIN.	1,567.9 S.F.	1,623.4 S.F.
HABITABLE SPACE	2,800 S.F. MAX.		

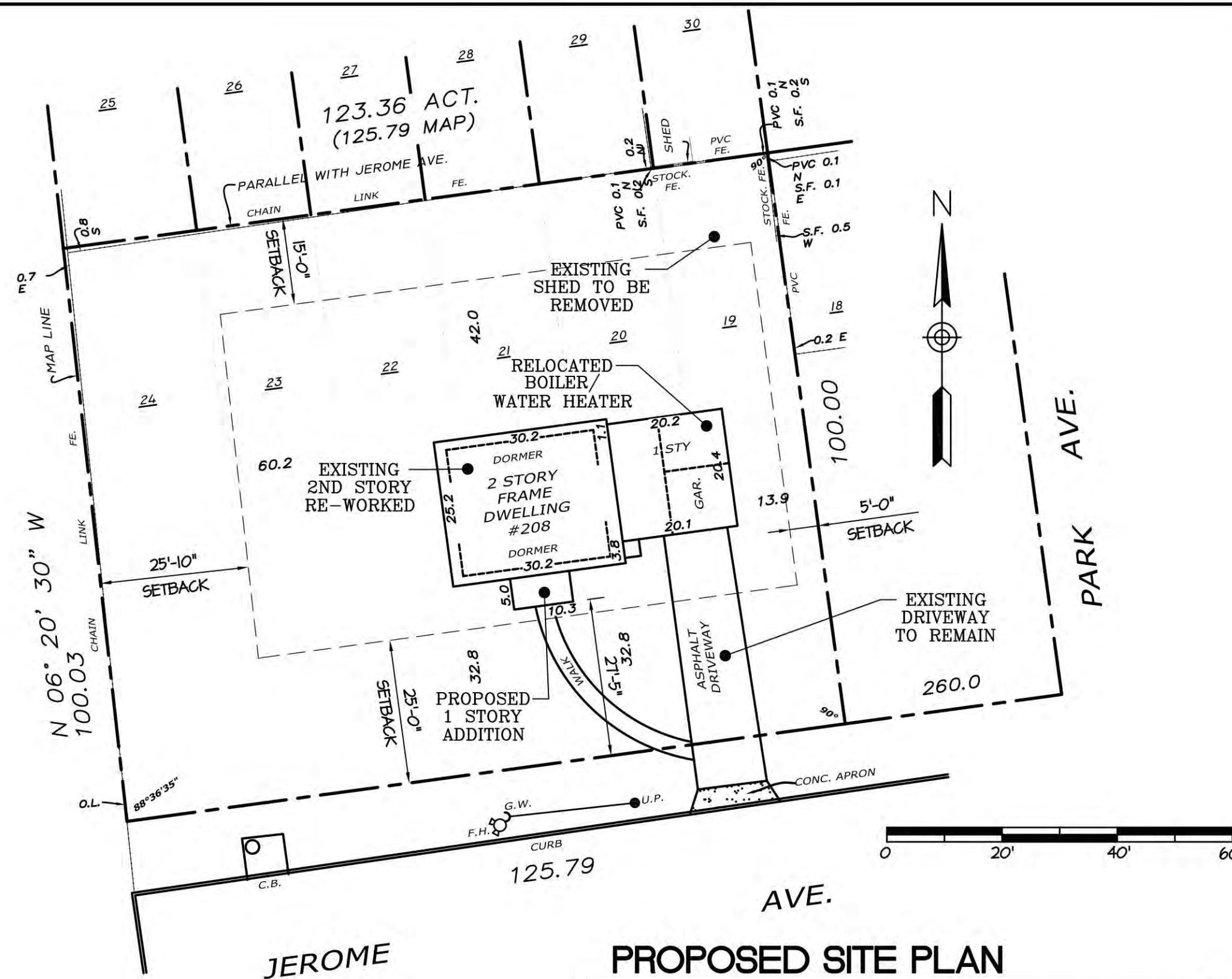
F.A.R. CALCULATIONS	
SITE AREA	12,457.6 S.F.
EXISTING FIRST FLOOR	929.7 S.F.
EXISTING SECOND FLOOR	638.2 S.F.
PROPOSED FIRST FLOOR	55.5 S.F.
TOTAL SQ. FT.	1,623.4 S.F.
SITE COVERAGE (TOTAL COVERAGE AREA x 100) / SITE AREA = 13.0%	
AVERAGE FRONT YARD SETBACK	
PROPERTY 214	44.5'
PROPERTY 220	41.7'
PROPERTY 224	29.9'
PROPERTY 232	15.8'
TOTAL	131.9'
AVERAGE SETBACK	131.9 / 4 = 32.9'

NOTE:  
PROVIDE GFCI IN ACCORDANCE WITH SECTION E3402  
THIS PROJECT COMPLIES WITH 2020 NYSRC (2018 IRC), THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE 2018 WOOD FRAMING CONSTRUCTION MANUAL, I.F.C.M. 2018, N.F.P.A. TO STANDARD "THE ELECTRICAL CODE" AND THE ZONING CODE OF THE TOWN OF SMITHTOWN.  
THIS DRAWING COMPLIES WITH SECTIONS A.3, A.4, A.5, AND A.6, APPENDIX J OF THE RESIDENTIAL CODE

## INDEX TO DRAWINGS

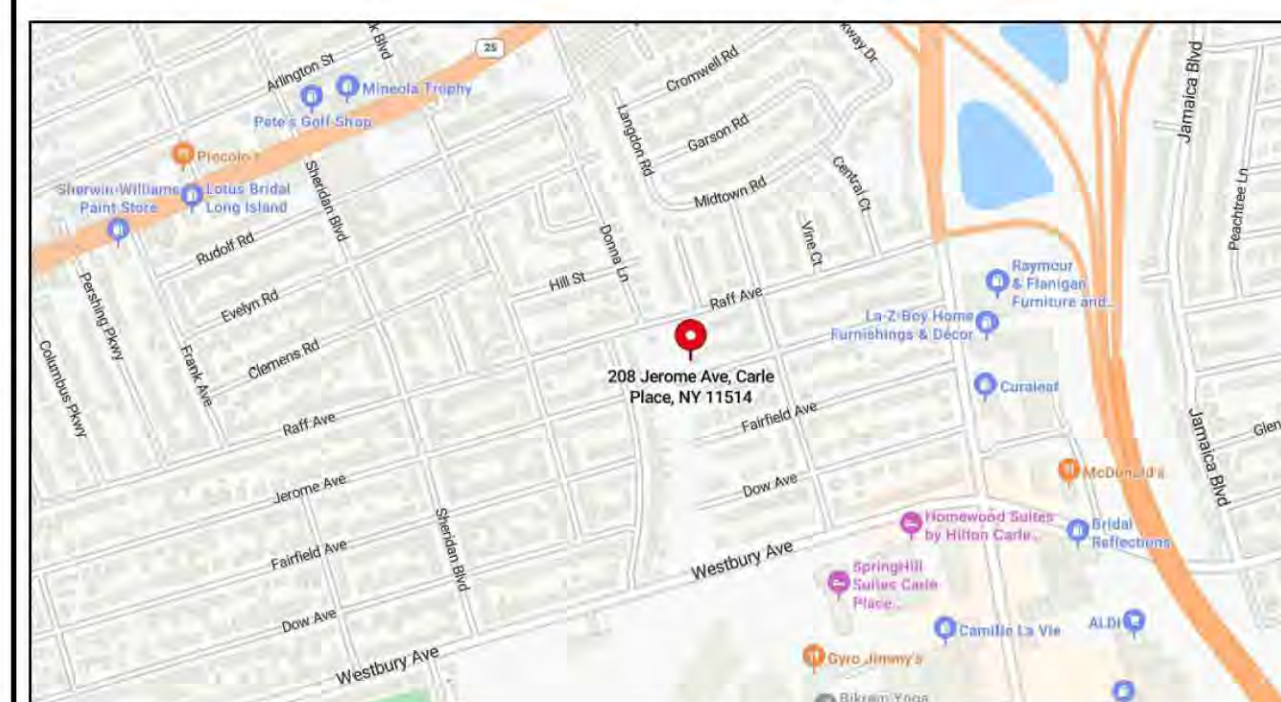
T-1	PROJECT INFORMATION
T-2	CODE ANALYSIS AND CALCULATIONS
T-3	GENERAL NOTES
A-1	FOUNDATION PLAN
A-2	FIRST FLOOR PLAN AND SECOND FLOOR PLAN
A-3	ROOF PLAN
A-4	ELEVATIONS
A-5	SECTIONS
A-6	DETAILS
A-7	AIR BARRIER DETAILS
A-8	TRUSS SIGN AND PLUMBING RISER

## PLOT PLAN



SITE COVERAGE CALCULATIONS	
SITE AREA	12,457.6 S.F.
EXISTING HOUSE AND GARAGE	1,158.7 S.F.
EXISTING COVERAGE AREA	1,158.7 S.F.
NEW BUILDING AREA	55.5 S.F.
TOTAL COVERAGE AREA	1,214.2 S.F.
SITE COVERAGE (TOTAL COVERAGE AREA x 100) / SITE AREA = 9.7%	
EROSION CONTROL AND STORMWATER MANAGEMENT	
General requirements. All construction in which there will be an increase in impervious surface area in excess of 5% of the lot area or 750 square feet, whichever is less, requires on-site retention of 2 1/2 inches of rainfall.	

## LOCATION MAP



## MATERIAL INDEX

[Symbol]	EARTH
[Symbol]	COMPACTED GRANULAR MATERIAL
[Symbol]	CONCRETE
[Symbol]	CONCRETE BLOCK
[Symbol]	STEEL
[Symbol]	ALUMINUM
[Symbol]	FINISH WOOD
[Symbol]	ROUGH WOOD
[Symbol]	BATT INSULATION
[Symbol]	RIGID INSULATION
[Symbol]	SAND

## SYMBOL INDEX

[Symbol]	DETAIL NUMBER	[Symbol]	INTERIOR ELEVATION MARK
[Symbol]	SHEET NUMBER	[Symbol]	ENLARGED PLAN MARK
[Symbol]	SECTION NUMBER	[Symbol]	WINDOW MARK
[Symbol]	SHEET NUMBER	[Symbol]	KEYNOTE SYMBOL
[Symbol]	ELEVATION MARK	[Symbol]	COLUMN CALLOUT
[Symbol]	DOOR MARK	[Symbol]	PROPERTY LINE LEASING LINE
[Symbol]	PARTITION TYPE	[Symbol]	SPOT ELEVATION
[Symbol]	REVISION MARK		
[Symbol]	ROOM MARK		

## ELECTRICAL NOTES

- A minimum of one wall-switch-controlled lighting outlet is required in every habitable room, hallway, stairway, attached garage, and outdoor entrance. Exception: In habitable rooms other than kitchens and bathrooms one or more receptacles controlled by a wall switch are permitted in lieu of lighting outlets.
- In every kitchen, family room, dining room, den, breakfast room, living room, parlor, sunroom, bedroom, recreation room, and similar rooms, receptacle outlets must be installed so that no point along the floor line is farther than 12 ft, measured horizontally, from an outlet, including any wall space 2ft or more wide and the wall space occupied by sliding panels in exterior walls.
- A minimum of two #12 wire 20-A small appliance circuits are required to serve only small appliance outlets, including refrigeration equipment, in the kitchen, pantry, dining room, breakfast room, and family room. Both circuits must extend to the kitchen; the other rooms may be served by one or both of them. No other outlets may be connected to these circuits, except a receptacle installed solely for an electric clock. In kitchen and dining areas, receptacle outlets must be installed at each and every counter space wider than 12 in.
- A minimum of one #12 wire 20-A circuit must be provided to supply the laundry receptacle(s), and it may have no other outlets.
- At least one receptacle outlet must be installed in the bathroom near the basin and must be provided with ground fault circuit interrupter protection. 6. Code requires sufficient 15- and 20-A circuits to supply three watts of power for every square foot of floor space, not including garage and open porch areas. Minimum code suggestion is one circuit per 600 sq ft; one circuit per 500 sq ft is desirable.
- A minimum of one exterior receptacle outlet is required (two are desirable) and must be provided with ground fault circuit interrupter protection.
- A minimum of one receptacle outlet is required in basement and garage, in addition to the one in the laundry. In attached garages it must be provided with ground fault circuit interrupter protection.
- Many building codes require a smoke detector in the hallway outside bedrooms or above the stairway leading to upper floor bedrooms.
- Disconnect switches are required.

Note: Refer to the National Electrical Code (NEC) for further information on residential requirements.

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENT COMMENTS	SAF
08/14/2024		REVISED AS PER CLIENT COMMENTS	SAF
08/13/2024		ISSUED FOR CLIENT REVIEW	SAF



PROJECT TITLE:  
**PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION**

FOR  
**DACKOW RESIDENCE**  
AT  
208 JEROME AVE.  
CARLE PLACE, NY 11514

TOWN OF NORTH HEMPSTEAD  
NASSAU COUNTY, NEW YORK  
SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF

FILE NO.: ---

PROJ. NO.: 24-117

DWG. NO.:

**A-1**

PROPOSED FLOOR PLANS

DWG. TITLE:

ROOF VENT REQUIREMENTS (RCNY'S R806.2)			BEDROOM WINDOW COMPLIANCE SCHEDULE				
REQUIRED VENT AREA	PROVIDED VENT AREA		ROOM NAME	LIGHT (8%) -SQ.FT.	VENT (4%) -SQ. FT.		
			REQ'D	PROVIDED	REQ'D	PROVIDED	
NEH ROOF AREA (1,231.4 SQ. FT.)	1,231.4/150 = 8.2 SQ. FT.		LIVING ROOM (FF) (948.9 SQ. FT.)	21.9	28.3	13.9	15.7
NEH SOFFIT VENT (125 LIN. FT.)		12.5 (2") /12 = 2.0 SQ. FT.	BEDROOM #2 (FF) (95.4 SQ. FT.)	7.6	9.5	3.8	5.2
NEH RIDGE VENT (51.6 LIN. FT.)		51.6 (2") /12 = 4.6 SQ. FT.	MASTER BEDROOM (110.0 SQ. FT.)	13.6	23.7	6.8	21.0
			BEDROOM #3 (91.5 SQ. FT.)	7.8	15.8	3.9	14.0
			BEDROOM #4 (84.1 SQ. FT.)	6.7	15.8	3.3	14.0

TABLE 3.1 NAILING SCHEDULE  
REF: 2018 WOOD FRAME CONSTRUCTION MANUAL

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NAIL SPACING
<b>ROOF FRAMING</b>		
RAFTER TO TOP PLATE (TOE-NAILED)	2-8d	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	2-8d	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE NAILED)	3-16d	EACH LAP
CEILING JOIST LAPS OVER PARTITION (FACE-NAILED)	3-16d	EACH LAP
COLLAR TIE TO RAFTER (FACE-NAILED)	3-8d	PER TIE
BLOCKING TO RAFTER (TOE-NAILED)	2-8D	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2-16D	EACH END
<b>WALL FRAMING</b>		
TOP PLATE TO TOP PLATE (FACE-NAILED)	2-16D <sup>1</sup>	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4-16D	JOINTS EACH SIDE
STUD TO STUD (FACE-NAILED)	2-16D	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16D	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	2-16D 3-16D 4-16D	PER 2"x4" STUD PER 2"x6" STUD PER 2"x8" STUD
BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, ENDJOIST OR BLOCKING (FACE-NAILED)	2-16D <sup>1,2</sup>	PER FOOT
<b>FLOOR FRAMING</b>		
JOIST TO SILL, TOP PLATE, OR GIRDER (TOE-NAILED)	4-8D	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2-8D	EACH END
BLOCKING TO JOIST (TOE-NAILED)	2-8D	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3-16D	EACH BLOCK
LEDGER STRIP TO BEAM (FACE-NAILED)	3-16D	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3-8D	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16D	PER JOIST
BAND JOIST TO SILL, OR TOP PLATE (TOE-NAILED)	2-16D <sup>1</sup>	PER FOOT
<b>ROOF SHEATHING</b>		
WOOD STRUCTURAL PANELS	8D	FOR MORE INFORMATION SEE TABLE 3.10 OF THE WFCM 2015 HIGH WIND ED.
DIAGONAL BOARD SHEATHING 1"x6" OR 1"x8"	2-8D	4" O.C. @ GABLE RAKE O.H. 6" O.C. @ PANEL EDGE 12" O.C. @ PANEL FIELD
1"x10" OR WIDER	3-8D	PER SUPPORT
<b>CEILING SHEATHING</b>		
GYPSUM WALL BOARD	5D COOLERS	7" EDGE / 10" FIELD
<b>WALL SHEATHING</b>		
STRUCTURAL PANELS	8D	6" EDGE / 12" FIELD
FIBERBOARD PANELS 1/2"	11 ga. galv. ROOFING NAILS (0.120"x1-1/2" LONG x 7/16" HEAD)	3" EDGE / 6" FIELD
25/32"	11 ga. galv. ROOFING NAILS (0.120"x1-1/2" LONG x 3/8" HEAD)	3" EDGE / 6" FIELD
GYPSUM WALL BOARD	5D COOLERS	7" EDGE / 10" FIELD
HARDBOARD	8D	SEE TABLE 3.11
PARTICLE PANELS	8D	SEE MANUFACTURER
DIAGONAL BOARD SHEATHING 1"x6" OR 1"x8"	2-8D	PER SUPPORT
1"x10" OR WIDER	3-8D	PER SUPPORT
<b>FLOOR SHEATHING</b>		
STRUCTURAL PANELS 1" OR LESS	8D	6" EDGE / 12" FIELD
GREATER THAN 1"	10D	6" EDGE / 12" FIELD
DIAGONAL BOARD SHEATHING 1"x6" OR 1"x8"	2-8D	PER SUPPORT
1"x10" OR WIDER	3-8D	PER SUPPORT

- NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED 6 INCHES ON-CENTER AT THE PANEL EDGE. IF WALL SHEATHING IS NAILED 3 INCHES ON-CENTER AT THE PANEL EDGE TO OBTAIN HIGHER SHEAR CAPACITIES, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED, OR ALTERNATE CONNECTORS, SUCH AS SHEAR PLATES, SHALL BE USED TO MAINTAIN THE LOAD PATH.
- WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1-16D NAIL PER FOOT.
- CORROSION RESISTANT 11 GAGE ROOFING NAILS AND 16 GAGE STAPLES ARE PERMITTED, CHECK IBC FOR ADDITIONAL REQUIREMENTS.

TABLE 301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPTOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORN DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE				
20 PSF	130 MPH	NO	NO	1 MILE FROM COAST AND FIRE ISLAND	B	SEVERE	BOF 3 FT BFG	MOD. TO HEAVY	YES	CALL THE PLANS EXAMINERS OFFICE	549	51° F

MANUAL J CRITERIA REQUIRED IN SUBMITTED CALCULATIONS

ELEVATION	LAT	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMP	DESIGN TEMP COOLING	HEATING TEMPERATURE DIFFERENCE
108 FT	41° N	15° F	86° F	1.00	70° F	75° F	55° F
COOL TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING		WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY
11° F	15 MPH		7.5 MPH	72° F	MEDIUM (M)	40%	32 GR @ 50% RH

IBC CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPTOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORN DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE				
20 PSF	130 MPH	NO	NO	1 MILE FROM COAST AND FIRE ISLAND	B	SEVERE	BOF 3 FT BFG	MOD. TO HEAVY	YES	CALL THE PLANS EXAMINERS OFFICE	549	51° F

WINTER DESIGN TEMP:

- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH AN INDOOR TEMPERATURE OF NOT LESS THAN 68° F AT A POINT 3 FEET ABOVE THE FLOOR ON THE DESIGN HEATING DAY
- SYSTEM DESIGN SHALL BE BASED ON MAX 72°F HEATING, MINIMUM 75°F COOLING
- DEGREE DAYS (NY LAGUARDIA) 4811, WINTER DESIGN TEMP 15°F, DRY BULB 84°F, WET BULB 75°F (2020 IPC APPENDIX D)
- AS PER NYSBC 2020 CHAPTER 16 SECTION 1609 AND ASCE 7 2016, WIND EXPOSURE CATEGORY AND SURFACE ROUGHNESS IS B
- USE C FOR BOTH SOUTH SHORE AND FIRE ISLAND

- Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
- Uninhabitable attics without storage are those where the maximum clear height between joist and rafter is not more than 42 inches, or where there are two or more adjacent trusses with web configuration capable of accommodating an assumed rectangle 42 inches high by 2 feet wide, or greater, within the plane of the truss. This live load need not be assumed to act concurrently with any other live load requirements.
- Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.
- A single concentrated load applied in any direction at any point along the top.
- See Section R507.1 for decks attached to exterior walls.
- Guard in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.
- Uninhabitable attics with limited storage are those where the clear height between joists and rafters is not greater than 42 inches, or where there are two or more adjacent trusses with web configuration capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses.  
The live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:  
1. The attic area is accessible from an opening net less than 20 inches in width by 30 inches in length that is located where the clear height in the attic is not less than 30 inches.  
2. The slope of the joists or truss bottom chord are not greater than 2 inches vertical to 12 units horz.  
3. Required insulation depth is less than the joist or truss bottom chord member depth.  
h. Glazing used in handrail assemblies and guards shall be designed with a safety factor of 4. The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the in-fill components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live loads.

TABLE 401.4.1 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

CLASS OF MATERIAL	LOAD-BEARING PRESSURE (pounds per square foot)		
Crystalline bedrock	12,000		
Sedimentary and foliated rock	4,000		
Sandy gravel and/or gravel (GW and GP)	3,000		
Sand, silty sand, clayey sand, silty gravel and clayey gravel (SM, SP, SM, SC, GM and GC)	2,000		
Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CI, ML, MH and CH)	1,500b		
<b>TABLE 402.2 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE</b>			
TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	Weathering potential		
	Negligible	Moderate	Severe
Basement walls, foundations and other concrete not exposed to the weather	2500	2500	2500c
Basement slabs and interior slabs on grade, except garage floor slabs	2500	2500	2500c
Basement walls, foundation walls, exterior walls and other vertical concrete work exposed to the weather	2500	3,000d	3,000d
Porches, carport slabs and steps exposed to the weather, and garage floor slabs	2500	3,000d,e,f	3,500d,e,f

- For Sl: 1 pound per square inch = 6.895 kPa.
- Strength at 28 days psi.
  - See Table R301.2(1) for weathering potential.
  - Concrete in these locations that may be subject to freezing and thawing during construction shall be air-entrained concrete in accordance with Footnote d.
  - Concrete shall be air-entrained. Total air content (percent by volume of concrete) shall be not less than 5 percent or more than 7 percent.
  - See Section R402.2 for maximum cementitious materials content.
  - For garage floors with a steel troweled finish, reduction of the total air content (percent by volume of concrete) to not less than 3 percent is permitted if the specified compressive strength of the concrete is increased to not less than 4,000 psi.

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.



ZONING / TOWN CODE COMPLIANCE

DISAPPROVED - Make corrections as noted and resubmit

Anthony Raguseo  
01/29/2025

TABLE 301.5

MINIMUM UNIFORMLEY DISTRIBUTED LIVE LOADS	
USE	LIVE LOAD
ATTICS WITHOUT STORAGE <sup>b</sup>	10
ATTICS WITH LIMITED STORAGE <sup>b,g</sup>	20
HABITABLE ATTICS AND ATTICS SERVED W/ FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS <sup>e</sup>	40
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS <sup>d</sup>	200 <sup>h</sup>
GUARDRAILS INFILL COMPONENTS <sup>d</sup>	50 <sup>h</sup>
PASSENGER VEHICLE GARAGES <sup>a</sup>	50 <sup>a</sup>
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 <sup>c</sup>

For Sl: 1 pound per square foot = 0.0479 kPa,  
1 square inch = 645 mm<sup>2</sup>,  
1 pound = 4.45 N.

R301.7 Deflection. The allowable deflection of any structural member under the live load listed in R301.5 and R301.6 or wind loads determined by section R301.2.1 shall not exceed the values in Table R301.7.

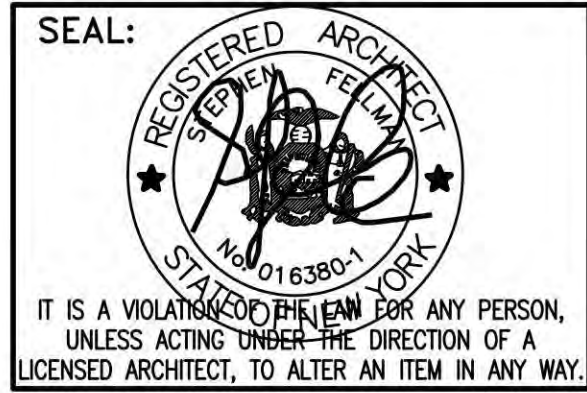
TABLE 301.7

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPE GREATER THAN 3/12 W/ NO FIN. CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILINGS	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS W/ PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS-WIND LOADS <sup>a</sup> WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS-WIND LOADS <sup>a</sup> WITH FLEXIBLE FINISHES	L/120
LINTELS SUPPORTING MASONRY VENEER WALLS <sup>e</sup>	L/120

NOTE: L = span length, H = span height.

- For the purpose of the determining limits herein, the wind load shall be permitted to be taken as 0.7 times the component and cladding (ASD) loads obtained from table R301.2(2).
- For cantilever members, L shall be taken as twice the length of the cantilever.
- For aluminum structural members or panels used in roofs or walls of sunroom additions or patio covers, not supporting edge of glass or sandwich panels, the total load deflection shall not exceed L/60. For continuous aluminum structural members supporting edge of glass, the total load deflection shall not exceed L/15 for each glass lite or L/60 for the entire length of the member, whichever is more stringent. For sandwich panels used in roofs or walls of sunroom addition or patio covers, the total load deflection shall not exceed L/120.
- Deflection for exterior walls with interior gypsum board finish shall be limited to an allowable deflection of H/180.
- Refer to section R103.B.2

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENT COMMENTS	SAF
08/13/2024		ISSUED FOR CLIENT REVIEW	SAF



PROJECT TITLE:  
**PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION FOR DACKOW RESIDENCE AT 208 JEROME AVE. CARLE PLACE, NY 11514**

TOWN OF NORTH HEMPSTEAD  
NASSAU COUNTY, NEW YORK  
SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF  
FILE NO.: ---  
PROJ. NO.: 24-117  
DWG. NO.: **T-2**  
CODE ANALYSIS  
DWG. TITLE:

**SPECIFICATIONS**

1. THE TERM "CONTRACTOR" IN THESE SPECIFICATIONS SHALL MEAN THE GENERAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THE WORK OF ALL THE SUB-CONTRACTORS EMPLOYED BY HIM.
2. NO CONTRACTOR SHALL BE BROUGHT ONTO THE SITE WITHOUT FIRST PROVIDING ALL LIABILITY AND COMPENSATION INSURANCE IS MANDATED BY LAW AND/OR OWNERS REQUIREMENTS. IT SHALL BE THE DUTY OF THE CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE COVERED BY THE REQUIRED INSURANCE AND HE SHALL BE RESPONSIBLE FOR THE SAME.
3. ALL MATERIALS SHALL BE FIRST CLASS AS HEREIN SPECIFIED, AND ALL LABOR SHALL BE DONE IN A THOROUGH WORKMANLIKE MANNER.
4. NOTHING ON THESE DRAWINGS MAY BE MISCONSTRUCTED AS MODIFYING IN ANY WAY THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
5. ARCHITECT NOT RESPONSIBLE OR LIABLE FOR ALL WORK NOT UNDER HIS DIRECT SUPERVISION. CONTRACTOR SHALL NOTIFY ARCHITECT WITHIN 72 HR. IN WRITING, FAILURE TO DO SO INDICATES THE CONTRACTOR HAS TAKEN FULL RESPONSIBILITY.
6. PRIOR TO START OF WORK, THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS AND SHALL BE LIABLE FOR SAME.
7. THESE PLANS ESSENTIALLY CONFORM TO THE FOLLOWING CODES, NEVERTHELESS, WHETHER SPECIFIED OR NOT, ALL CONSTRUCTION MUST CONFORM TO THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE; NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE; NEW YORK STATE ELECTRICAL AND PLUMBING CODE AND/OR LOCAL CODES WITH JURISDICTION AND VARIANCES.
8. IN THE EVENT THAT NOTED CONDITIONS ARE DIFFERENT THAN FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
9. ANYTHING NOT SHOWN ON THESE DRAWINGS BUT MENTIONED IN THESE SPECIFICATIONS OR VICE VERSA, SHALL BE FURNISHED AND PERFORMED AS THOUGH SPECIFICALLY MENTIONED IN BOTH.
10. THE CONTRACTOR SHALL REPLACE WITHIN ONE (1) YEAR, WITHOUT ADDITIONAL CHARGE, ANY WORK WHICH DEVELOPS DEFECTS DUE TO POOR WORKMANSHIP OR INFERIOR MATERIALS.
11. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE PERFORMANCE OF HIS WORK.
12. THE CONTRACTOR SHALL BE LIABLE FOR ANY ALL VIOLATIONS OF THE LAW AND ANY DAMAGE TO ADJOINING PROPERTY, ETC. CAUSED BY HIM OR HIS EMPLOYEES.
13. THE CONTRACTOR SHALL CLEAR THE SITE ALL OBSTRUCTIONS, BURIED OR OTHERWISE, INCLUDING TREES AND UNDERGROWTH AS AGREED UPON WITH OWNER.
14. ALL PLANTING WHICH IS AGREED SHALL BE LEFT STANDING AND UNDISTURBED AND SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION DURING ALL STAGES OF WORK.
15. THE CONTRACTOR SHALL EXCAVATE THE GROUND TO THE DEPTH REQUIRED BY THE FOUNDATIONS AND FOOTINGS AS SHOWN ON THE DRAWINGS AND SHALL BE LAID OUT FROM THE SURVEYORS STAKES AND SHALL BE LIABLE FOR THE CORRECTNESS OF THE LAYOUT.
16. ALL TOPSOIL SHALL BE REMOVED AND STORED ON THE SITE FOR USE AT FINAL GRADING.
17. THE CONTRACTOR SHALL CLEAN OUT ANY OF HIS RUBBISH OR OTHER DEBRIS WHEN REQUESTED TO DO SO AND SHALL LEAVE HIS WORK IN PERFECT CONDITION AND/OR BROOM CLEAN AT COMPLETION OF EACH WORKING DAY. HE SHALL ALSO PROVIDE FOR ON SITE STORAGE OF CONSTRUCTION DEBRIS IN AN APPROVED MANNER.
18. BEFORE COMPLETION OF WORK, THE CONTRACTOR SHALL ROUGH GRADE THE PLOT BY REMOVING ALL BRICKBATS, CHUCK OF CEMENT, PIECES OF LUMBER AND OTHER DEBRIS ACCUMULATED DURING THE BUILDING AND THEN BRING THE PLOT TO FINAL GRADE USING THE STORED TOPSOIL.
19. THE CONTRACTOR SHALL PROTECT HIS WORK FROM THE WEATHER DURING IT'S PROGRESS BY THE USE OF ROUGH ENCLOSING DOORS, TARPULINS OR OTHER ADEQUATE MEANS.
20. CONCRETE TO HAVE A MINIMUM FC=4,000 PSI/ 28 DAY STRENGTH
21. ALL FOOTINGS, PIERS, ETC. SHALL REST ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF TWO (1) TON PSF UNLESS SPECIAL SOIL CONDITIONS ARE ENCOUNTERED. THEN CONTACT THE ARCHITECT TO INVESTIGATE SOIL CONDITIONS.
22. MAIN SILLS TO BE "ACQ" DOUGLAS-FIR SIZE AND AMOUNT AS INDICATED ON DRAWINGS.
23. ALL EXTERIOR WOODWORK SHALL BE FIRST QUALITY WHITE PINE, FREE FROM OIL SHAKES AND LARGE BLACK, OR UNSOUND KNOTS. ALL JOINTS TO BE SQUARE.
24. ALL EXTERIOR SHEATHING TO BE 1/2" "CDX" OR 1/2" EXT. GRADE SHEATHING WITH 'TYVEK' HOUSE WRAP BACKING
25. THE CARPENTER SHALL DO NECESSARY CUTTING OF BEAMS, JOISTS ETC. THAT MAY BE REQUIRED BY OTHER TRADES.
26. COLOR OF ROOF SHINGLES AND SIDING AS SELECTED BY OWNER.
27. ALL INTERIOR FINISHES; COLOR, STYLE AND MATERIAL; AS PER OWNER.
28. ALL INTERIOR WALLS AND CEILINGS TO HAVE 1/2" GYPSUM WALLBOARD FINISH. ALL JOINTS SHALL BE NEATLY TAPED AND SANDED AND READY FOR PAINT FINISH OR WALLPAPER BY OTHERS. (MINIMUM THREE (3) COATS JOINT COMPOUND- UNLESS NOTED OTHERWISE ON PLANS.)
29. INSTALL ONE (1) SHELF IN EACH CLOTHES CLOSET AND A CLOTHES POLE UNDER THE SHELF. LINEN AND PANTRY CLOSETS SHALL HAVE FIVE (5) SHELVES.
30. ALL BRICKWORK FOR CHIMNEY SHALL BE SELECTED COMMON RED BRICK. ALL JOINTS SHALL BE WELL BUTTERED AND MADE TIGHT AGAINST THE WEATHER AND SHALL BE TOOLED. UPON COMPLETION THE BRICK WORK SHALL BE CLEANED WITH MILD ACID AND LEFT IN PERFECT CONDITION.

**RBP24-001075**

**CONCRETE NOTES:**

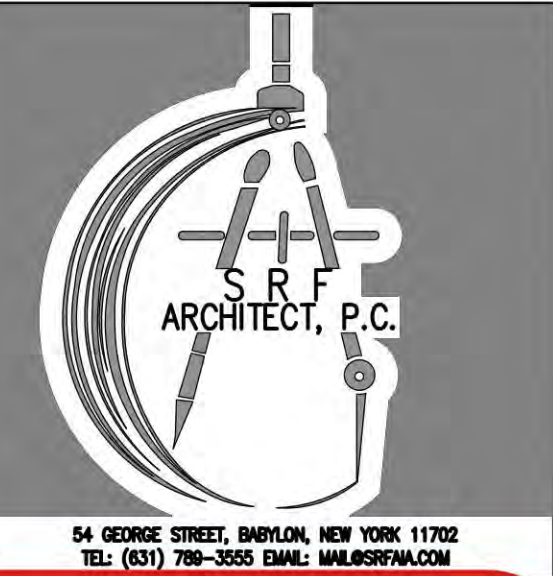
1. ALL POTABLE WATER SUPPLY PIPING INSIDE THE HOUSE SHALL BE 3/4" COPPER, "K" TYPE, WITH 1/2" BRANCHES TO ALL FIXTURES. PIPES LOCATED IN EXTERIOR WALLS OR UNHEATED AREAS SHALL BE INSULATED FROM FREEZING WITH INSULATION HAVING A MINIMUM R=2.0.
  2. ALL PIPING SHALL BE GRADED FOR DRAINING AT A LOW POINT.
  3. WATER METER SUPPLY PIPE TO BE A MINIMUM 1" DIAMETER.
  34. NO ALUMINUM CONDUCTORS FOR BRANCH CIRCUITS PERMITTED.
  35. CONTRACTOR TO PROVIDE AND INSTALL ALL OUTLETS, WIRING SERVICE,
  36. ALL PAINTS AND PAINTING MATERIALS REQUIRED BY THE COMPLETION OF THIS WORK SHALL BE OF THE BEST QUALITY AS RECOMMENDED BY THE MANUFACTURER FOR THE SERVICE REQUIRED.
  37. PAINTER, AT COMPLETION, SHALL CLEAN DOWN ALL WOODWORK, FLOORS, SASH, ETC. OF ANY PAINT AND DO ALL NECESSARY RETOUCHING OF PAINTING WORK IN BUILDING, LEAVING HIS WORK IN PERFECT CONDITION.
  38. ALL EXTERIOR WORK TO BE DONE IN DRY WEATHER.
  39. ALL TRIM, WOODWORK, DOORS, ETC. SHALL BE CLEANED AND MADE READY FOR FINISHING AND SHALL RECEIVE ONE (1) PRIMING COAT AND TWO (2) FINISH COATS. COLOR AS SELECTED BY OWNER.
  40. CONTRACTOR SHALL FURNISH LABOR AND MATERIALS REQUIRED TO INSTALL A COMPLETE HOT WATER HEATING SYSTEM CONSISTING OF NATURAL GAS-FIRED HEATING BOILER, RADIATORS (OR EQUAL), CIRCULATOR, PIPE FITTINGS, VALVES AND CONTROLS.
  41. ALL EQUIPMENT AND MATERIAL FURNISHED SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
  42. ALL HOT WATER HEATING SUPPLY AND RETURN PIPES IN UNHEATED SPACES TO BE INSULATED.
  43. HEAT LOSS CALCULATIONS AS PER NEW YORK STATE ENERGY AND CONSERVATION CONSTRUCTION CODE AND/OR A.S.H.R.A.E. STANDARD METHODS.
- GENERAL NOTES:**
1. GENERAL CONTRACTOR TO COORDINATE WORK BETWEEN ALL TRADES.
  2. PROVIDE ACCESS TO ALL ENCLOSED CRAWL SPACES AND ATTICS.
  3. VENTILATE ALL CRAWL SPACES AND ATTICS AS PER CODE MEASURED IN TOTAL FEET VENTILATION AREA.
  4. FIRESTOPPING OF CONCEALED SPACES, SUCH AS EAVES, CRAWL SPACE/INHABITABLE BASEMENT SHALL BE 20"-0" HORIZONTALLY, 8'-0" VERTICALLY.
  5. EXTERIOR CORNICES & EAVES SHALL BE FIRE-STOPPED AT INTERVALS OF NOT MORE THAN 20 FEET.
  6. ATTIC SPACE OR BETWEEN COMBUSTIBLE FLOOR OR ROOF CONSTRUCTION SHALL BE FIRE-STOPPED SO THAT NO AREA OF SUCH CONCEALED SPACE IS LARGER THAN 3,000 SQ. FT.
  7. ATTIC FANS SHALL BE EQUIPPED WITH MEANS OF AUTOMATIC SHUT OFF VALVE
- FRAMING NOTES AND WOOD SPECIFICATIONS:**
1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 (OR SELECT STRUCTURAL GRADE OR BETTER) WITH MINIMUM ALLOWABLE BENDING STRESS OF 900 Fb FOR REPETITIVE USE AND AN E OF 1,600,000 AS PER WESTERN WOOD PRODUCTS ASSOCIATION SPAN TABLES.
  2. JOISTS AND GIRDERS SHALL HAVE FULL 3.5" MINIMUM BEARING OR AS PER MAUNFACTURER'S SPECIFICATIONS.
  3. BRIDGING OR SOLID BLOCKING SHALL BE REQUIRED AT MID-SPAN OF ALL FLOOR JOISTS AND AT A MINIMUM OF 8"-0" O.C. AT LONGER SPANS.
  4. USE 'SIMPSON' METAL FRAMING ACCESSORIES AS SPECIFIED HEREIN AS DETAILED. USE NAILING AS RECOMMENDED BY THE MANUFACTURER.
  5. TOE NAILING OF JOIST TO HEADER IS NOT PERMITTED; USE 16 GA. STANDARD JOIST HANGERS WHEREVER JOISTS FRAME TO SIDE OF HEADER.
  6. PROVIDE 'SIMPSON' POST CAP AND BASE CONNECTIONS FOR ALL POST TO GIRDER/HEADER CONNECTIONS TYPICAL THROUGHOUT. REFER TO PLANS FOR SPECIFIC TYPE AND APPLICATION.
  7. PROVIDE 'SIMPSON' HURRICANE TIES FROM RAFTERS TO STUDS AT EXTERIOR WALLS AND CS20 COIL STRAPPING FROM FLOOR-TO-FLOOR AND WALL TO PLATE CONNECTIOS. REFER TO STANDARD STRAPPING DETAILS.
  8. PROVIDE SPECIAL HEAVY DUTY AND SKEWED METAL HANGERS AS MAY BE REQUIRED TO TRANSFER ALL LOADS.
  9. ALL EXTERIOR SHEATHING SHALL BE EXTERIOR GRADE, CDX PLYWOOD, 1/2" MINIMUM THICKNESS. ALL SHEATHING SHALL BE NAILED 6D NAILS, 4" CENTERS AT EDGES AND 6" CENTERS IN THE FIELD.
  10. CONTRACTOR SHALL SUPPLY ALL TEMPORARY BRACING OF THE STRUCTURE, AS REQUIRED, UNTIL ALL EXTERIOR SHEATHING HAS BEEN INSTALLED.
  11. PROVIDE MIN. DOUBLE SFRAME AROUND ALL FLOOR, CEILING AND ROOF OPENINGS OR AS PER PLANS.
  12. ALL WOOD CONSTRUCTION SHALL COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2018 WFCM OR LATEST EDITION.
  13. ALL WOOD EXPOSED TO WEATHER SHALL BE 'ACQ' TREATED IN ACCORDANCE WITH AWPA STANDARDS.
  14. ALL WOOD CONNECTORS SHALL BE BY SIMPSON; USP MAY BE SUBSTITUTED.

MATERIALS SHALL CONFORM WITH THE FOLLOWING STANDARDS: No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Materials of the Town of North Hempstead, and all applicable codes and standards with the ultimate tensile strength of the work.

- A. PORTLAND CEMENT AS PER ASTM C-150.
- B. CONCRETE AGGREGATES AS PER ASTM C-33.
- C. WATER SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALIS, SALT, ORGANIC MATERIALS AND DELETERIOUS MATERIALS.
- D. REBARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A 615 GRADE 60.
- E. WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A 185 WITH ULTIMATE TENSILE STRENGTH OF 70 K.S.I.

2. CONCRETE DESIGN STRENGTH: CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS (f'c) IN 28 DAYS FOR THE VARIOUS COMPONENTS:
  - BASEMENT WALLS, FOUNDATIONS AND OTHER CONC. NOT EXPOSED TO THE WEATHER - f'c = 2,500 P.S.I. STONE CONCRETE.
  - BASEMENT SLAB, AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS - f'c = 2,500 P.S.I. STONE CONCRETE.
  - BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER f'c = 3,000 P.S.I. STONE CONCRETE.
  - PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLAB - f'c = 3,000 P.S.I. STONE CONCRETE.
3. CONCRETE SHALL BE PRODUCED FROM APPROVED BATCH PLANTS, BASED ON PRELIMINARY TEST DESIGN AND RESULTING INTO MIX STRENGTH SPECIFIED. PRODUCER SHALL CERTIFY CONFORMANCE OF QUALITY AND CONDITIONS OF MATERIALS TO ACI-318 AND THAT INGREDIENTS ARE THE SAME OR EQUAL TO THOSE USED FOR THE PRELIMINARY TESTS. ATTESTATION OF QUALITY INSPECTION AT THIS BATCH PLANT SHALL APPEAR ON THE TICKET ACCOMPANYING EACH LOAD OF CONCRETE.
4. ALL REINFORCING BARS TO BE IN ACCORDANCE WITH A.S.T.M. A615 GRADE 60 DEFORMED, LAPPED A MINIMUM OF 20" FOR #4 REBARS AND 26" FOR #5 REBARS AT SPLICES AND CORNERS U.N.
5. MINIMUM PROTECTION FOR MAIN REINFORCEMENT TO BE 3" FOR CONCRETE PLACED AGAINST EARTH; ALL OTHERS TO BE 2" U.N.
6. CONTRACTOR TO PROVIDE PROPER SLEEVES IN FOUNDATION WALLS AND SLABS TO ACCOMMODATE ANY PIPES PASSING THROUGH.
7. PROVIDE 4-#6 DOWELS X 3'-0" LG. BETWEEN ALL PIERS, FOUNDATIONS, SLABS, GRADE BEAMS, ETC. U.N.
8. ALL EXPOSED CONCRETE SHALL BE AIR ENTRAINED TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5% OR MORE THAN 7%.
9. REBAR SHOP DRAWINGS TO BE APPROVED BY ARCHITECT OR STRUCTURAL ENGINEER BEFORE COMMENCING WORK.
10. CONTRACTOR SHALL PROVIDE ALLOWANCE FOR TESTING AS REQUIRED BY THE TOWN. CONCRETE TEST CYLINDERS AND SLUMP, INSPECTION OF REINFORCING BARS AND PLACING OF CONCRETE TO BE TAKEN AND TESTED AS REQUIRED BY APPLICABLE AUTHORITIES. THREE (3) SAMPLES OF CONCRETE FOR EACH 50 CUBIC YARDS OF CONCRETE SHALL BE TAKEN FROM THE MIXER AND TESTED IN COMPRESSION ACCORDANCE WITH ASTM C39-61 BY A QUALIFIED TESTING LABORATORY. ONE CYLINDER SHALL BE TESTED AT SEVEN (7) DAYS AND TWO (2) CYLINDERS SHALL BE TESTED AT 28 DAYS. REPORTS OF CYLINDER TESTS MADE DURING THIS PERIOD SHALL BE SUBMITTED TO THE ENGINEER FROM THE SAME CONCRETE SAMPLED IN AN ABOVE, RECORDS OF SLUMP, AIR CONTENT, UNIT WEIGHT AND TEMPERATURE SHALL BE MADE AND REPORTED WITH THE COMPRESSION TESTS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
11. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 1 TON PSF TO BE VERIFIED BY AUTHORITIES HAVING JURISDICTION OVER SAME. CONTRACTOR TO PROVIDE COMPACTION TESTS FOR 90% TO 95% FOR ALL SOILS.
12. ALL ELEVATIONS OF FOOTINGS INDICATED ARE SUBJECT TO CHANGE UPON INSPECTION OF SUBSOIL CONDITIONS DURING EXCAVATION OF SITE.
13. BOTTOM ELEVATIONS OF EXTERIOR FOOTINGS TO BE 3' MINIMUM BELOW GRADE.
14. CONSTRUCTION JOINTS IN CONCRETE SHALL BE VERTICAL MAXIMUM DISTANCE BETWEEN JOINTS SHALL BE 40'-0", HORIZONTAL MAXIMUM SHALL BE 20'-0".
15. WHERE SLABS ARE SUPPORTED ON FILL, THE FILL SHALL BE PROPERLY COMPACTED IN LAYERS.
16. OMSTA; PRE-MOLDED EXPANSION JOINTS AROUND PERIPHERY OF SLAB AND AT ALL COLUMN LOCATIONS.
17. INSTALL "DUROWALL" TRUSS TYPE MASONRY REINFORCING 16" OC VERTICALLY AND AS PER MANUFACTURER'S SPECIFICATIONS IN ALL MASONRY WALLS.
18. FOUNDATION WALLS TO BE ADEQUATELY BRACED AS REQUIRED. NO BACKFILL PERMITTED UNTIL SUPPORTING FLOORS ARE PLACED.
19. WHEN EXCAVATION, REMOVAL AND BACKFILL ARE REQUIRED, BACKFILL WITH CONTROLLED GRANULAR SOIL (SAND AND GRAVEL) IN MAXIMUM 9" LAYERS (LOOSE) AND COMPACT MECHANICALLY TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 AND THE LOCAL BUILDING CODE.
20. THE GENERAL CONTRACTOR SHALL VERIFY ALL DRAWINGS FOR COORDINATION BETWEEN TRADES, LOCATE BOLTS, SLEEVES AND TRENCHES AS REQUIRED FOR MECHANICAL TRADES, PROVIDE, AND/OR INSTALL ANCHORS, INSERTS, HANGERS ETC. , AS REQUIRED FOR VARIOUS TRADES.
21. FOLLOW ACI STANDARD LATEST EDITION FOR ALL DETAILS OR CONCRETE CONSTRUCTION AS TO TIES, ANCHORAGE REINFORCEMENT SUPPORT, ETC.
22. INSTALL PRE-MOULDED EXPANSION JOINTS AROUND PERIPHERY OF SLAB AND AT ALL COLUMN LOCATIONS. JOINT MATERIAL TO HAVE INSULATION VALUE OF R-5 FOR BUILDING CONSTRUCTION.
23. VERTICAL WALL EXPANSION JOINTS SHALL BE INSTALLED NO MORE THAN 20'-0" O.C. JOINTS TO BE "DUR-O-WALL" RAPID CONTROL JOINT NO. 8.

NOTE: NO WORK SHALL COMMENCE PRIOR TO THE ISSUANCE OF A PERMIT FROM THE BUILDING DEPARTMENT, ALSO INCLUDING ALL OTHER LOCAL AGENCIES HAVING JURISDICTION



**ZONING / TOWN CODE COMPLIANCE**  
**DISAPPROVED - Make corrections as noted and resubmit**  
 Anthony Raguseo  
 01/29/2025

NO.	DATE	REVISION	BY
	01/13/2025	REVISED AS PER CLIENT COMMENTS	SAF
	12/11/2024	REVISED AS PER TOWN COMMENTS	SAF
	10/25/2024	ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
	09/16/2024	REVISED AS PER CLIENT COMMENTS	SAF
	09/14/2024	REVISED AS PER CLIENT COMMENTS	SAF
	08/13/2024	ISSUED FOR CLIENT REVIEW	SAF



PROJECT TITLE:  
**PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION FOR DACKOW RESIDENCE**  
 AT  
 208 JEROME AVE.  
 CARLE PLACE, NY 11514  
 TOWN OF NORTH HEMPSTEAD  
 NASSAU COUNTY, NEW YORK  
 SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF

FILE NO.: ---

PROJ. NO.: 24-117

DWG. NO.:  
**T-3**  
 GENERAL NOTES  
 DWG. TITLE:

NOTE: EXISTING CONDITIONS AS INDICATED HAVE BEEN ESTABLISHED WITHOUT DIRECT ACCESS TO STRUCTURAL COMPONENTS & ROUGH FRAMING. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY ONCE ROUGH FRAMING HAS BEEN EXPOSED SO THAT ACTUAL CONDITIONS MAY BE EVALUATED. FAILURE TO NOTIFY ARCHITECT WITHIN 12 HOURS IN WRITING INDICATES THE CONTRACTOR HAS TAKEN FULL RESPONSIBILITY AND IS LABEL FOR NEW WORK PERFORMED.

CO CARBON MONOXIDE DETECTORS SHALL BE DIRECTLY CONNECTED TO LIGHTING CIRCUIT IN ACCORDANCE WITH NYS CODES - DETECTORS SHALL CONFORM TO U.L. 2034 STANDARDS 415.1. General. Carbon monoxide alarms and carbon monoxide detectors shall be installed in buildings as required in accordance with Section 415.2 for residential buildings (2020 Fire Code of NYS)

SD SMOKE DETECTORS SHALL BE INTERCONNECTED SINGLE STATION DEVICES IN ACCORDANCE WITH LOCAL AND NYS CODE. R314.1 General. Smoke alarms shall comply with NFPA 12 and Section R314 (2020 Residential Code of New York)

EXHAUST FAN DUCTED TO EXTERIOR IN BATHROOMS (50 CFM MIN)

FIXTURE NOTE: ALL MAKE, MODEL, AND COLORS OF PLUMBING FIXTURES ARE AS PER OWNER.

WINDOW NOTE: 1. WINDOW DESIGNATIONS ARE ANDERSEN AND SHALL HAVE A MIN. DESIGN PRESSURE AS PER TABLE 602A.2 FROM 551D 10-14 (SHEET T-2). APPROVED EQUAL MAY BE SUBSTITUTED. ALL WINDOWS DESIGNATED AS EGRESS WINDOWS SHALL COMPLY W/ RCAYS SECTION R302.4 - EMERGENCY ESCAPE AND RESCUE OPENINGS. THE WINDOW MEETS EGRESS REQUIREMENTS. (ANDERSEN 400 SERIES)

2. A DWELLING WITHIN 1 MILE OF THE COAST SHALL ALSO CONFORM TO RCAYS SECTION R302.12 AND PROVIDE GLAZING PROTECTION FROM HURRICANE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE W/ THE BUILDING CODE OF NEW YORK STATE.

3. WINDOW AND GLASS DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE W/ THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED AS PER SECTION R604 OF THE RCAYS.

4. ALL WINDOW MILLIONS SHALL BE APPLIED UNLESS OTHERWISE DESIGNATED. ALL MILLIONS OCCURRING BETWEEN INDIVIDUAL WINDOW AND GLASS DOOR ASSEMBLIES SHALL CONFORM TO SECTION R604 OF THE RCAYS.

5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE IMPACT GLASS AS PER R308.4.5 OF THE RCAYS.

JOIST NOTE: ALL WALLS RUNNING PARALLEL TO FLOOR JOISTS SHALL HAVE A DBL. JOIST BENEATH TYP.

LOADS USED IN CALCULATIONS:

FIRST FLOOR (L260)	DEAD LOAD=10 PSF	TOTAL LOAD= 50 PSF
LIVE LOAD=40 PSF		
SECOND FLOOR (L260)	DEAD LOAD=10 PSF	TOTAL LOAD= 40 PSF
LIVE LOAD=30 PSF		
ATTIC STORAGE (L260)	DEAD LOAD=10 PSF	TOTAL LOAD= 30 PSF
LIVE LOAD=20 PSF		
ROOF (L240)	DEAD LOAD=10 PSF	TOTAL LOAD= 55 PSF
SNOW LIVE LOAD=45 PSF		

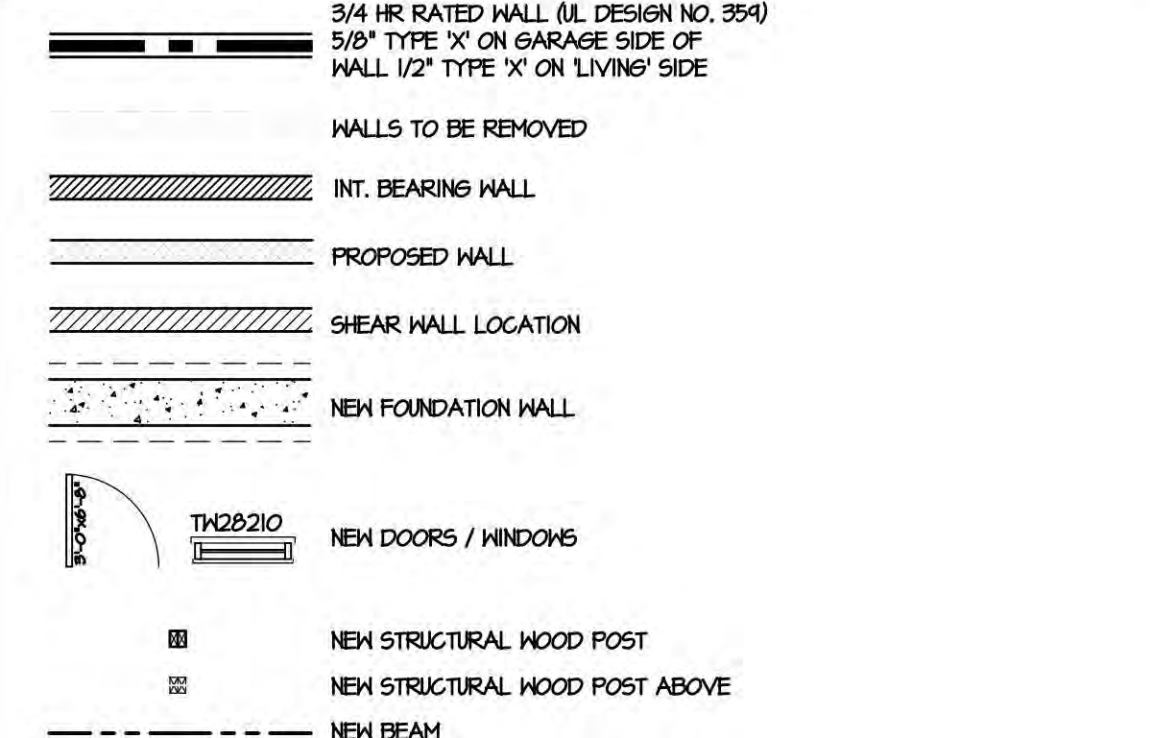
REFER TO RCAYS TABLE R301.6 FOR OTHER ALLOWABLE DEFLECTIONS ON SHEET T-2)

HEADER NOTE: ALL EXTERIOR WALL HEADERS ARE TO BE (2) 2X10 W/ 1/2" PLYWOOD SPACER AND ALL INTERIOR HEADERS ARE TO BE (2) 2X8 UNLESS OTHERWISE NOTED. ALL HEADERS EXCEEDING 5'-0" SHALL HAVE A DBL. JACK STUD WITH A SINGLE KING STUD AND ON EXTERIOR WALLS SHALL HAVE A DBL. SILL PLATE TYP. ALL LVL DESIGNATIONS ARE SIZED BASED ON THE GEORGIA PACIFIC TABLE FOR ALLOWABLE UNIFORM LOADS- FLOOR 1008- 2.0E 6-P LAM LVL FOR MAX. LIVE LOAD WITH LIMITED DEFLECTION OF L/360.

UMBER NOTE: ALL JOIST AND RAFTER SIZING IS BASED ON DOUGLAS FIR-LARCH NO. 2 (OR BETTER) W/ AN Fb OF 900 AND AN E OF 1600000. (AS PER WESTERN WOOD PRODUCTS ASSOCIATION SPAN TABLES)

'ACQ' DESIGNATION REFERS TO CURRENT ARSENIC-FREE TREATED WOOD STANDARDS AND SHALL TAKE THE PLACE OF 'CCA'

ALL JOIST HANGERS & LAG-BOLTS USED WITH 'ACQ' PRODUCTS SHALL BE ZINC COATED (TYP)



STAIRWAYS SHALL BE INSTALLED AS PER SECTION R311.7 OF THE RES. CODE OF NEW YORK STATE.

THE MECHANICAL SYSTEM SHALL BE INSTALLED AS PER CHAPTERS 12-24 OF THE RES. CODE OF NYS.

THE PLUMBING SYSTEM SHALL BE INSTALLED AS PER CHAPTERS 25-32 OF THE RES. CODE OF NYS.

THE ELECTRICAL EQUIPMENT AND WIRING SHALL BE INSTALLED AS PER CHAPTERS 34-43 OF THE RES. CODE OF NYS.

THE MINIMUM INSULATION THICKNESS FOR HOT HVAC PIPES SHALL BE AS PER SECTION N1103.3.1 OF THE RES. CODE OF NYS.

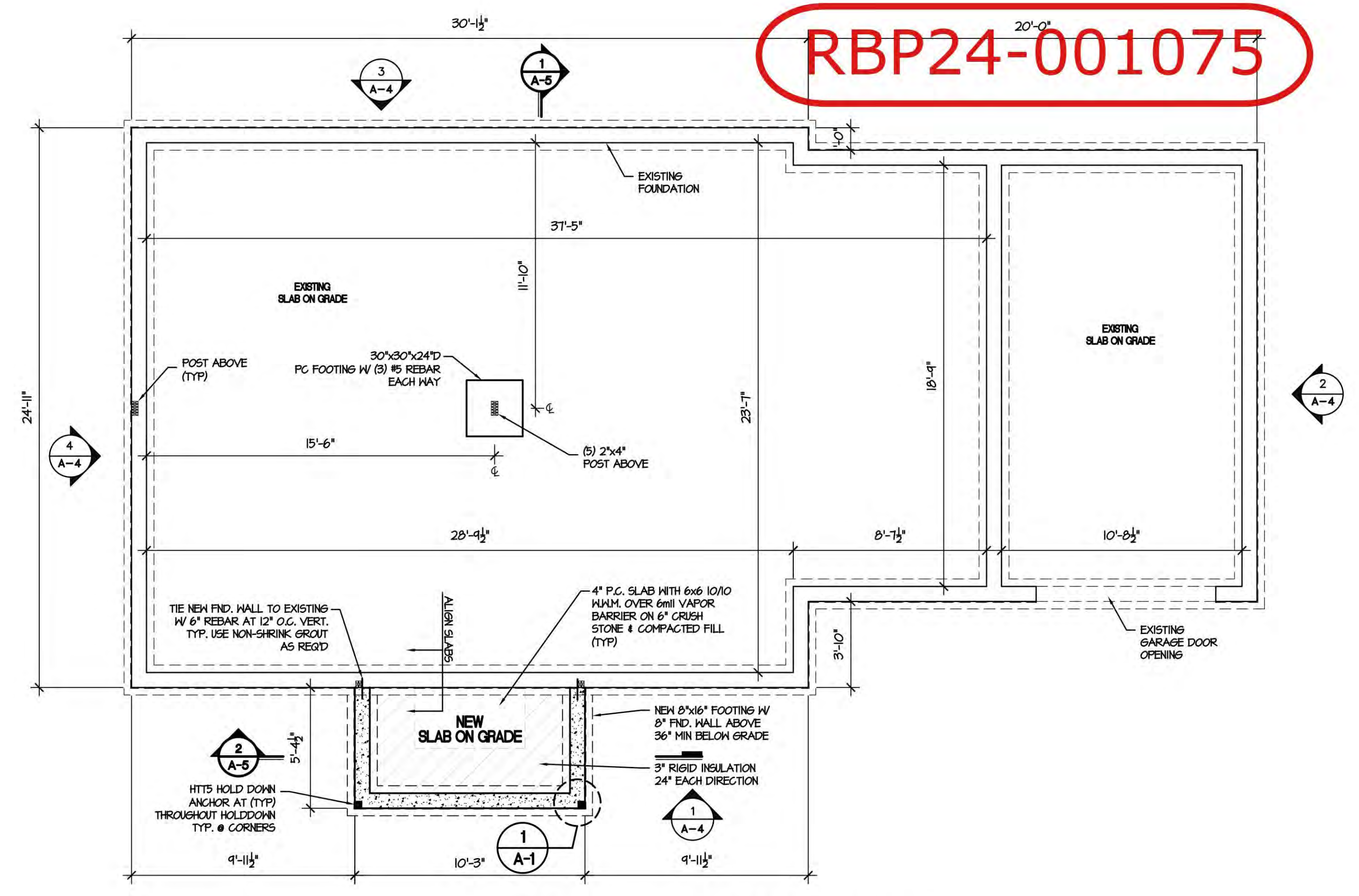
THE MINIMUM INSULATION THICKNESS FOR HOT WATER PIPES SHALL BE AS PER SECTION N1103.4 OF THE RES. CODE OF NYS.

IN ALL FRAMED WALLS, FLOORS AND ROOF / CEILINGS COMPRISING ELEMENTS OF THE BUILDINGS THERMAL ENVELOPE, A MOISTURE VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION AS PER SECTION R316.5 OF THE RES. CODE OF NYS.

R302.9 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL AND CEILING FINISHES. FLAME SPREAD AND SMOKE DEVELOPED INDICES FOR WALLS AND CEILING FINISHES SHALL BE IN ACCORDANCE WITH SECTIONS R302.9.1 THROUGH R302.9.4

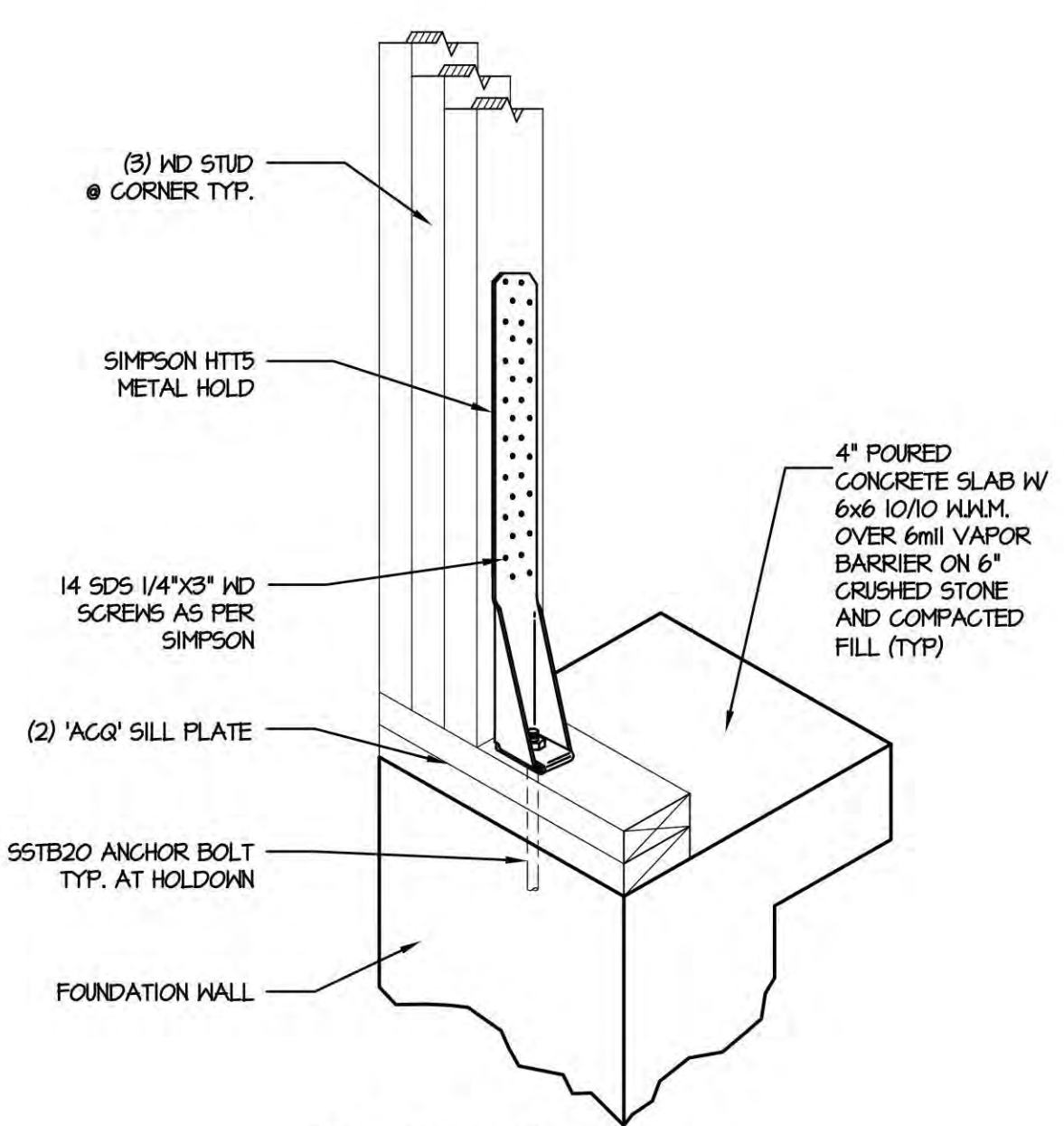
R302.10 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR INSULATION. FLAME SPREAD AND SMOKE-DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R302.10.1 THROUGH R302.10.5

INTERIOR WALL COVERINGS SHALL BE INSTALLED AS PER SECTION R702.3 AND EXTERIOR WALL COVERINGS SHALL BE INSTALLED AS PER SECTION R703 OF THE RES. CODE OF NYS.

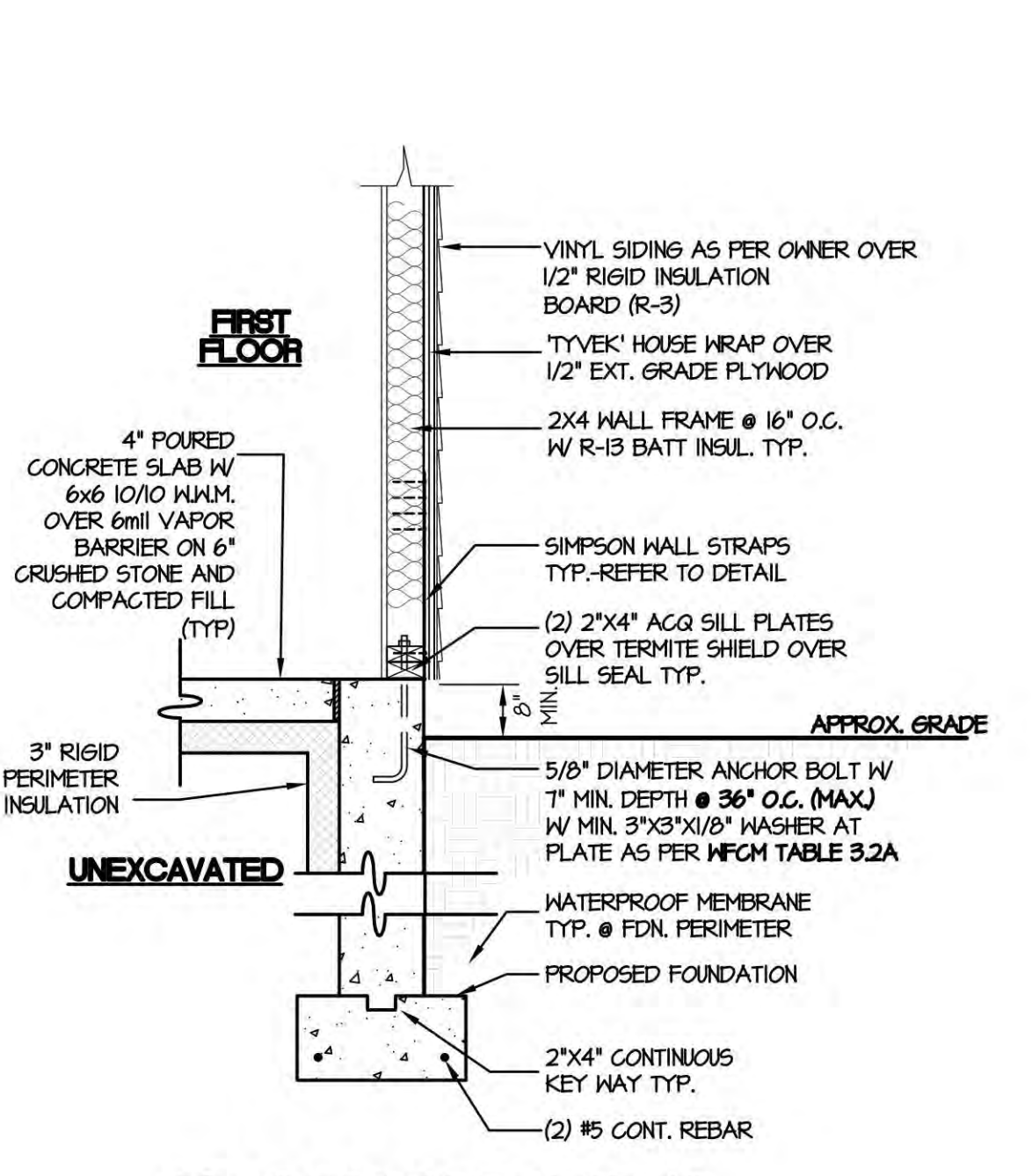


PROPOSED FOUNDATION PLAN

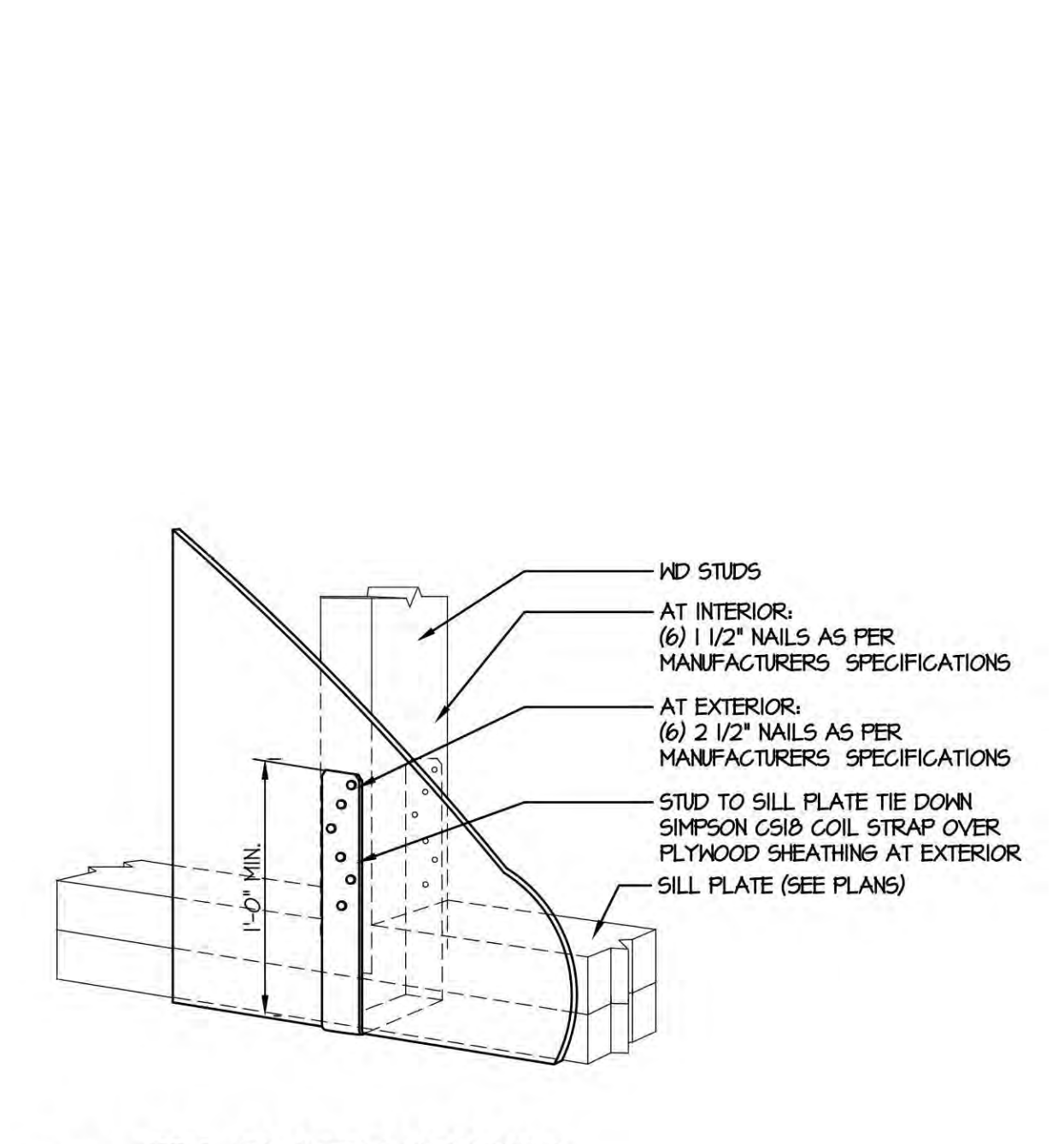
SCALE: 1/4" = 1'-0"



1 METAL HOLD-DOWN/ UPLIFT ANCHOR  
TRANSFERS TENSION LOAD BETWEEN FLOORS: TIES STUDS/ POSTS TO FOUNDATION



2 FLOOR TO FDN. DETAIL  
SCALE 3/4\"/>

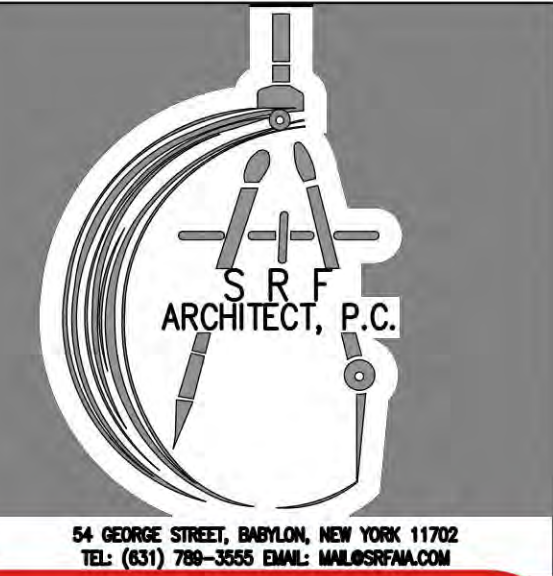


3 SILL PLATE ANCHORS  
SCALE N.T.S.

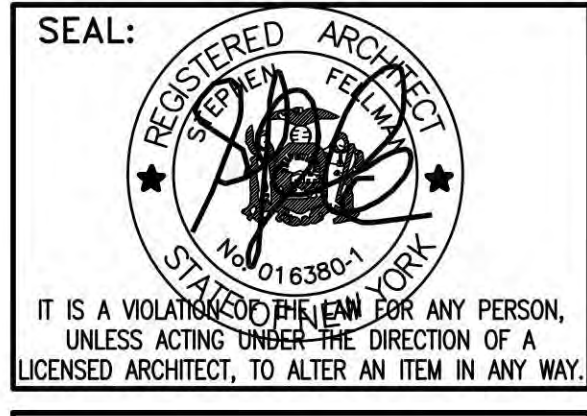
RBP24-001075

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

ZONING / TOWN CODE COMPLIANCE  
DISAPPROVED - Make corrections as noted and resubmit  
Anthony Raguseo  
01/29/2025



NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENTS COMMENTS	SAF
08/14/2024		REVISED AS PER CLIENTS COMMENTS	SAF
08/13/2024		ISSUED FOR CLIENT REVIEW	SAF



PROJECT TITLE:  
PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION  
FOR DACKOW RESIDENCE  
AT 208 JEROME AVE. CARLE PLACE, NY 11514  
TOWN OF NORTH HEMPSTEAD NASSAU COUNTY, NEW YORK SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF

FILE NO.: ---

PROJ. NO.: 24-117

DWG. NO.: A-1

PROPOSED FLOOR PLANS

DWG. TITLE:

NOTE: EXISTING CONDITIONS AS INDICATED HAVE BEEN ESTABLISHED WITHOUT DIRECT ACCESS TO STRUCTURAL COMPONENTS & ROUGH FRAMING. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY ONCE ROUGH FRAMING HAS BEEN EXPOSED SO THAT ACTUAL CONDITIONS MAY BE EVALUATED. FAILURE TO NOTIFY ARCHITECT WITHIN 12 HOURS IN WRITING INDICATES THE CONTRACTOR HAS TAKEN FULL RESPONSIBILITY AND IS LABEL FOR NEW WORK PERFORMED.

CO CARBON MONOXIDE DETECTORS SHALL BE DIRECTLY CONNECTED TO LIGHTING CIRCUIT IN ACCORDANCE WITH NYS CODES - DETECTORS SHALL CONFORM TO U.L. 2034 STANDARDS 415.1 General. Carbon monoxide alarms and carbon monoxide detectors shall be installed in buildings as required in accordance with Section 415.2 for residential buildings (2020 Fire Code of NYS)

SD SMOKE DETECTORS SHALL BE INTERCONNECTED SINGLE STATION DEVICES IN ACCORDANCE WITH LOCAL AND NYS CODE. R314.1 General. Smoke alarms shall comply with NFPA 72 and Section R314 (2020 Residential Code of New York)

EXHAUST FAN DUCTED TO EXTERIOR IN BATHROOMS (50 CFM MIN)

FIXTURE NOTE: ALL MAKE, MODEL, AND COLORS OF PLUMBING FIXTURES ARE AS PER OWNER.

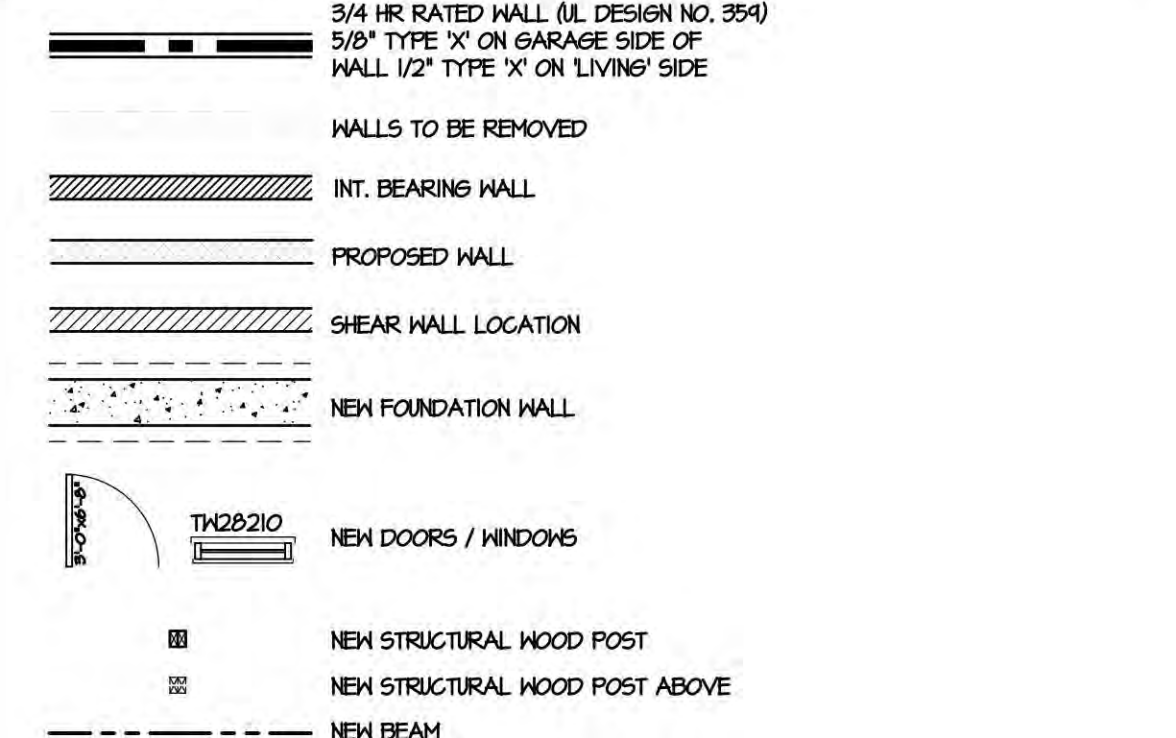
**WINDOW NOTE:**  
 1. WINDOW DESIGNATIONS ARE ANDERSEN AND SHALL HAVE A MIN. DESIGN PRESSURE AS PER TABLE 602A.2 FROM 551D 10-14 (SHEET T-2). APPROVED EQUAL MAY BE SUBSTITUTED. ALL WINDOWS DESIGNATED AS EGRESS WINDOWS SHALL COMPLY W/ ROOMS SECTION R602 - EMERGENCY ESCAPE AND RESCUE OPENINGS. THE WINDOW MEETS EGRESS REQUIREMENTS. (ANDERSEN 400 SERIES)  
 2. A DWELLING WITHIN 1 MILE OF THE COAST SHALL ALSO CONFORM TO ROOMS SECTION R602.2.2 AND PROVIDE GLAZING PROTECTION FROM HINDRANCE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE W/ THE BUILDING CODE OF NEW YORK STATE.  
 3. WINDOW AND GLASS DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE W/ THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED AS PER SECTION R604 OF THE ROOMS.  
 4. ALL WINDOW MILLIONS SHALL BE APPLIED UNLESS OTHERWISE DESIGNATED. ALL MILLIONS OCCURRING BETWEEN INDIVIDUAL WINDOW AND GLASS DOOR ASSEMBLIES SHALL CONFORM TO SECTION R604 OF THE ROOMS.  
 5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE IMPACT GLASS AS PER R308.4.5 OF THE ROOMS.

**JOIST NOTE:** ALL WALLS RUNNING PARALLEL TO FLOOR JOISTS SHALL HAVE A DBL. JOIST BENEATH TYP.

**LOADS USED IN CALCULATIONS:**  
 FIRST FLOOR (L/260)  
 LIVE LOAD=40 PSF DEAD LOAD=10 PSF TOTAL LOAD= 50 PSF  
 SECOND FLOOR (L/260)  
 LIVE LOAD=30 PSF DEAD LOAD=10 PSF TOTAL LOAD= 40 PSF  
 ATTIC STORAGE (L/260)  
 LIVE LOAD=20 PSF DEAD LOAD=10 PSF TOTAL LOAD= 30 PSF  
 ROOF (L/240)  
 SNOW LIVE LOAD=45 PSF DEAD LOAD=10 PSF TOTAL LOAD= 55 PSF  
 (REFER TO ROOMS TABLE R301.6 FOR OTHER ALLOWABLE DEFLECTIONS ON SHEET T-2)

**HEADER NOTE:** ALL EXTERIOR WALL HEADERS ARE TO BE (2) 2X10 W/ 1/2" PLYWOOD SPACER AND ALL INTERIOR HEADERS ARE TO BE (2) 2X8 UNLESS OTHERWISE NOTED. ALL HEADERS EXCEEDING 5'-0" SHALL HAVE A DBL. JACK STUD WITH A SINGLE KING STUD AND ON EXTERIOR WALLS SHALL HAVE A DBL. SILL PLATE TYP. ALL LVL DESIGNATIONS ARE SIZED BASED ON THE GEORGIA PACIFIC TABLE FOR ALLOWABLE UNIFORM LOADS- FLOOR 1008- 2.0E 6-P LAM LVL FOR MAX. LIVE LOAD WITH LIMITED DEFLECTION OF L/360.

**LINER NOTE:** ALL JOIST AND RAFTER SIZING IS BASED ON DOUGLAS FIR-LARCH NO. 2 (OR BETTER) W/ AN Fb OF 900 AND AN E OF 1600000. (AS PER WESTERN WOOD PRODUCTS ASSOCIATION SPAN TABLES)  
 'ACQ' DESIGNATION REFERS TO CURRENT ARSENIC-FREE TREATED WOOD STANDARDS AND SHALL TAKE THE PLACE OF 'CCA'  
 ALL JOIST HANGERS & LAG-BOLTS USED WITH 'ACQ' PRODUCTS SHALL BE ZINC COATED (TYP)



STAIRWAYS SHALL BE INSTALLED AS PER SECTION R311.7 OF THE RES. CODE OF NEW YORK STATE.  
 THE MECHANICAL SYSTEM SHALL BE INSTALLED AS PER CHAPTERS 12-24 OF THE RES. CODE OF NYS.  
 THE PLUMBING SYSTEM SHALL BE INSTALLED AS PER CHAPTERS 25-32 OF THE RES. CODE OF NYS.  
 THE ELECTRICAL EQUIPMENT AND WIRING SHALL BE INSTALLED AS PER CHAPTERS 34-43 OF THE RES. CODE OF NYS.  
 THE MINIMUM INSULATION THICKNESS FOR HOT HVAC PIPES SHALL BE AS PER SECTION N1103.3.1 OF THE RES. CODE OF NYS.  
 THE MINIMUM INSULATION THICKNESS FOR HOT WATER PIPES SHALL BE AS PER SECTION N1103.4 OF THE RES. CODE OF NYS.

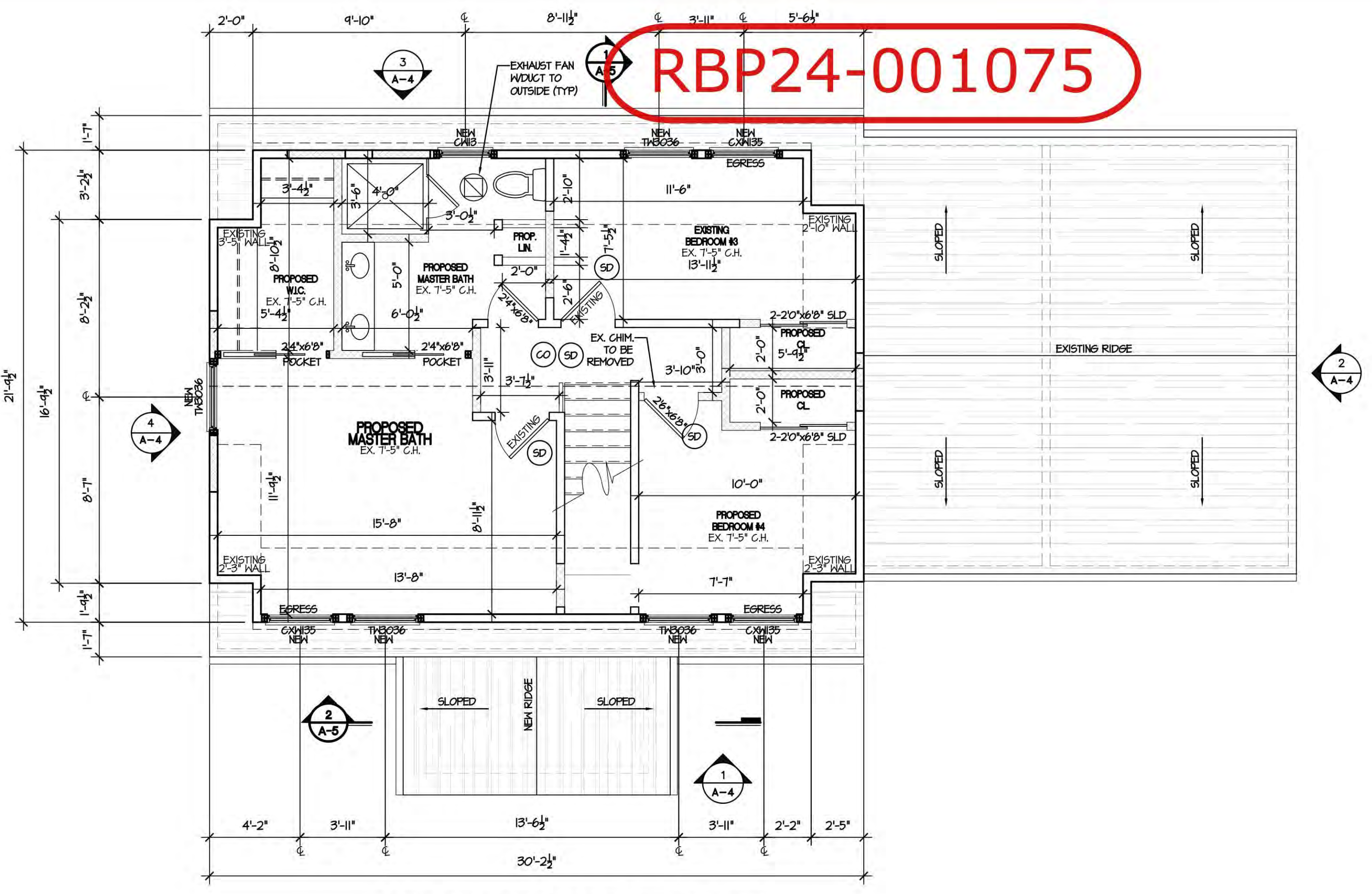
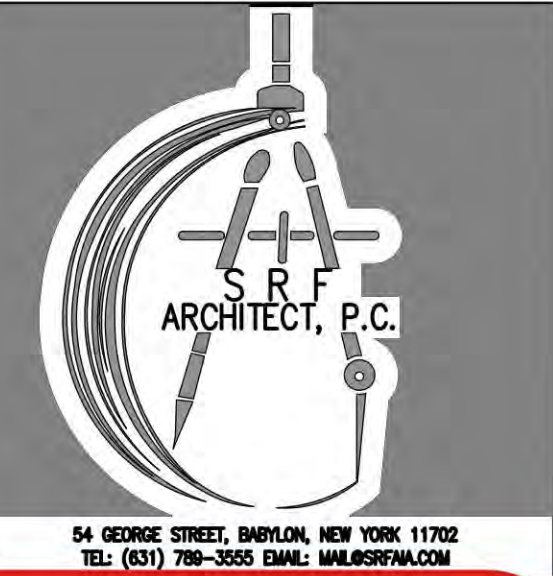
IN ALL FRAMED WALLS, FLOORS AND ROOF / CEILINGS COMPRISING ELEMENTS OF THE BUILDINGS THERMAL ENVELOPE, A MOISTURE VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION AS PER SECTION R316.5 OF THE RES. CODE OF NYS.  
 R302.9 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL AND CEILING FINISHES. FLAME SPREAD AND SMOKE DEVELOPED INDICES FOR WALLS AND CEILING FINISHES SHALL BE IN ACCORDANCE WITH SECTIONS R302.9.1 THROUGH R302.9.4  
 R302.10 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR INSULATION. FLAME SPREAD AND SMOKE-DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R302.10.1 THROUGH R302.10.5

INTERIOR WALL COVERINGS SHALL BE INSTALLED AS PER SECTION R702.3 AND EXTERIOR WALL COVERINGS SHALL BE INSTALLED AS PER SECTION R703 OF THE RES. CODE OF NYS.

**RBP24-001075**

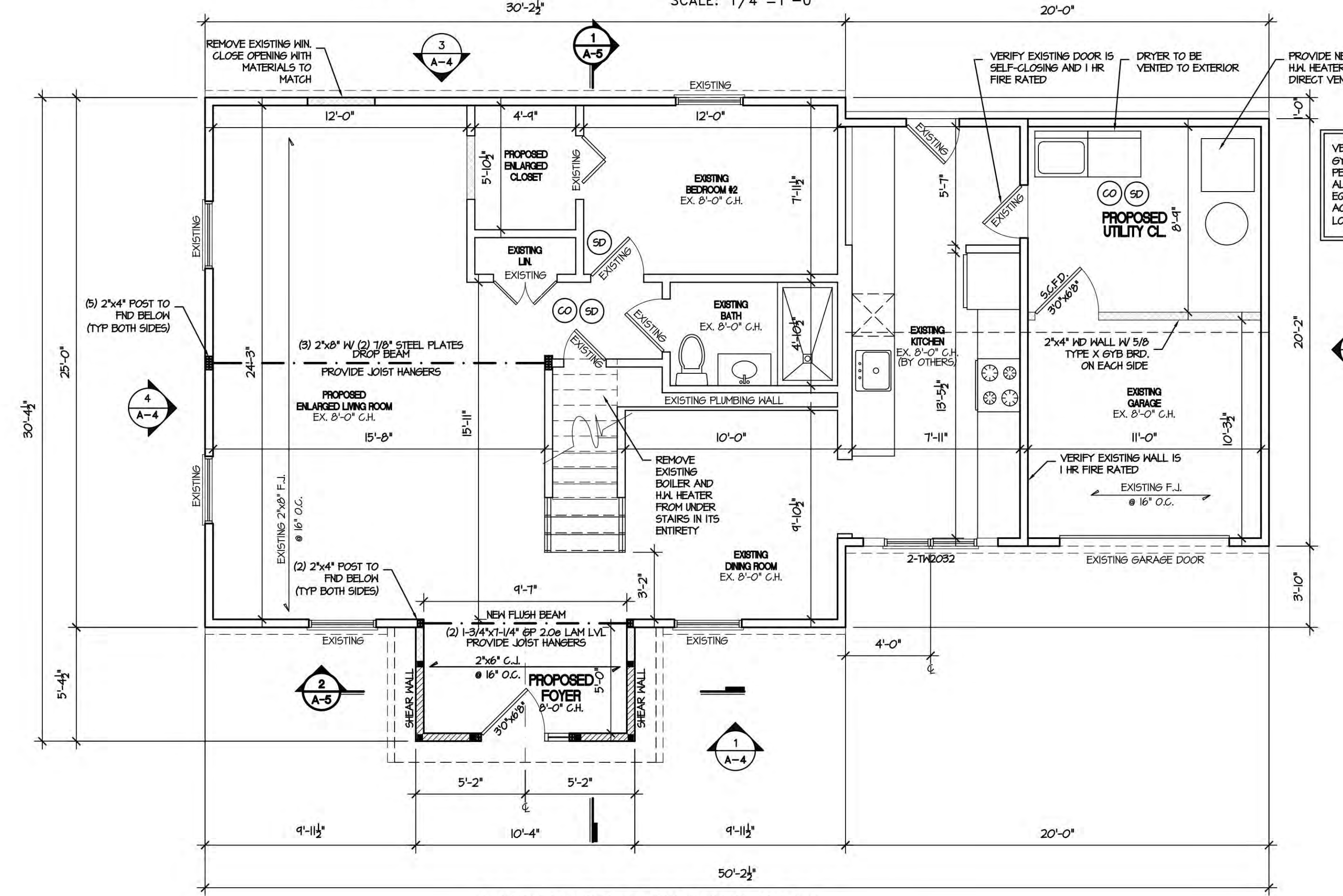
No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**ZONING / TOWN CODE COMPLIANCE**  
 DISAPPROVED - Make corrections as noted and resubmit  
 Anthony Raguseo  
 01/29/2025



**PROPOSED SECOND FLOOR**

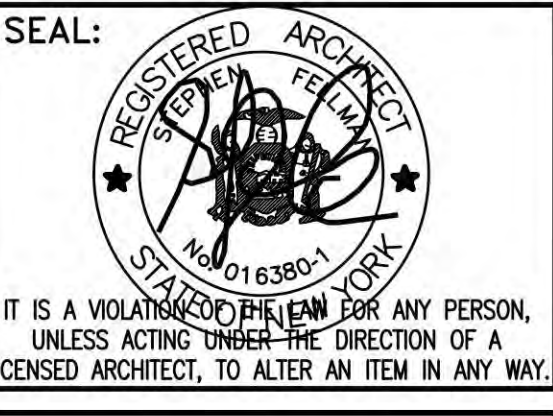
SCALE: 1/4" = 1'-0"



**PROPOSED FIRST FLOOR**

SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENTS COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENTS COMMENTS	SAF
08/13/2024		ISSUED FOR CLIENT REVIEW	SAF



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

**PROJECT TITLE:**  
 PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION FOR DACKOW RESIDENCE  
 AT 208 JEROME AVE. CARLE PLACE, NY 11514

TOWN OF NORTH HEMPSTEAD  
 NASSAU COUNTY, NEW YORK  
 SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF

FILE NO.: ---

PROJ. NO.: 24-117

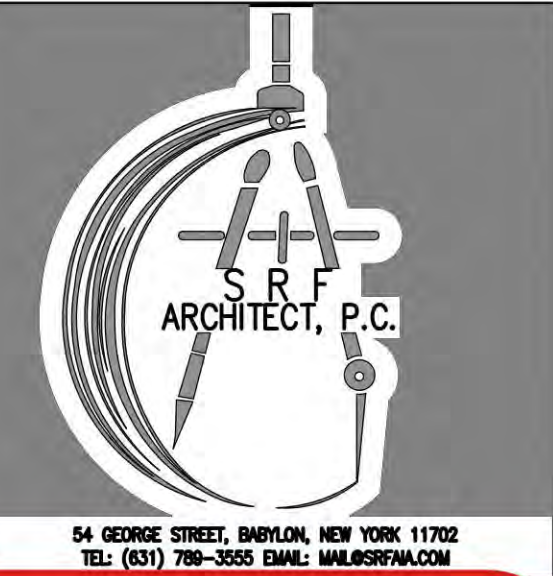
DWG. NO.: **A-2**

PROPOSED FLOOR PLANS

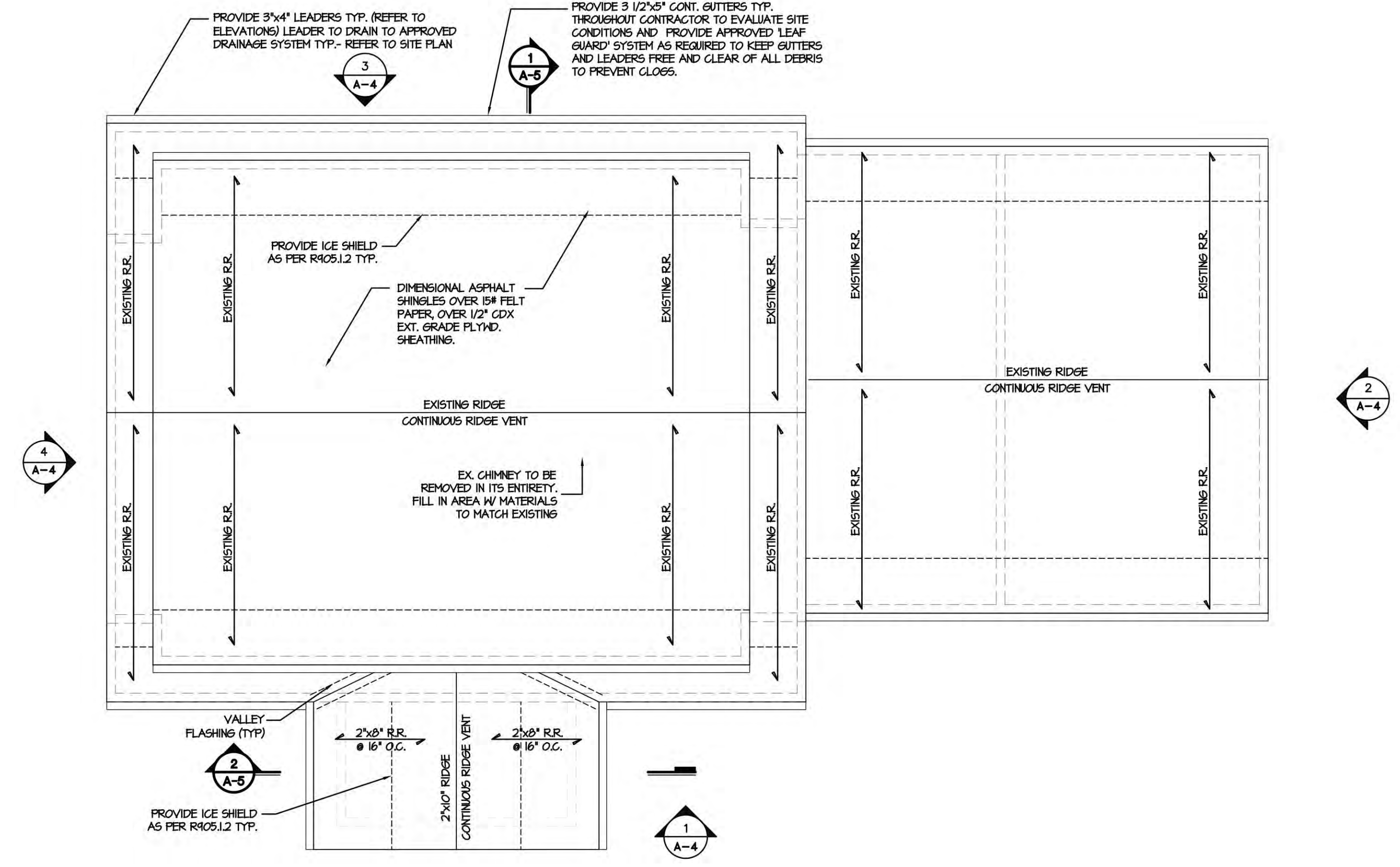
DWG. TITLE:

RBP24-001075

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

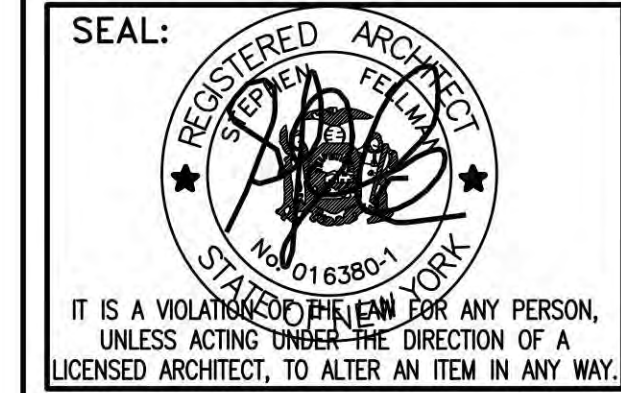


ZONING / TOWN CODE COMPLIANCE  
 DISAPPROVED - Make corrections as noted and resubmit  
 Anthony Raguseo  
 01/29/2025



PROPOSED SECOND FLOOR  
 SCALE: 1/4"=1'-0"

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENT COMMENTS	SAF
08/13/2024		ISSUED FOR CLIENT REVIEW	SAF



PROJECT TITLE:  
 PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION  
 FOR DACKOW RESIDENCE  
 AT 208 JEROME AVE. CARLE PLACE, NY 11514  
 TOWN OF NORTH HEMPSTEAD NASSAU COUNTY, NEW YORK SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF

FILE NO.: ---

PROJ. NO.: 24-117

DWG. NO.: A-3  
 PROPOSED ROOF PLANS  
 DWG. TITLE:

**ROOFING NOTES:**  
 Asphalt strip shingles shall have a minimum of six fasteners per shingle in the 110-130 mph wind zones.  
 R905.1.2 Ice barrier. In areas where there has been a history of ice forming along the eaves causing a backup of water as designated in Table R301.2(1), an ice barrier shall be installed for asphalt shingles, metal roof shingles, mineral-surfaced roll roofing, slate and slate type shingles, wood shingles and wood shakes. The ice barrier shall consist of not fewer than two layers of underlayment cemented together, or of a self-adhering polymer-modified bitumen sheet shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point not less than 24 inches (610 mm) inside the exterior wall line of the building. On roofs with a slope equal to or greater than 8 units vertical in 12 units horizontal, the ice barrier shall also be applied not less than 36 inches (914 mm) measured along the roof slope from the eave edge of building.  
 R905.2.3 Underlayment. Underlayment shall comply with section R905.1.1  
 R905.2.8 Flashing. Flashing for asphalt shingles shall comply with this section.

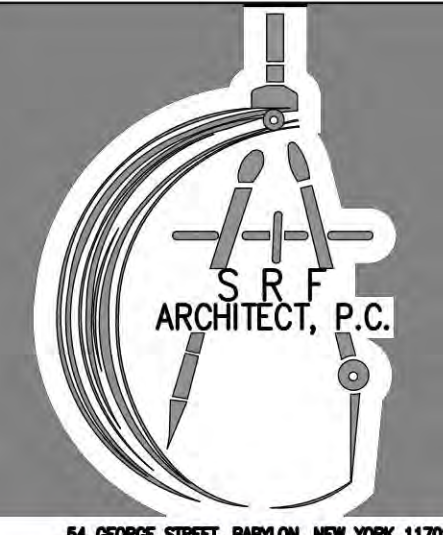
R905.2.8.1 Base and cap flashing. Base and cap flashing shall be installed in accordance with manufacturer's instructions. Base flashing shall be of either corrosion-resistant metal of minimum nominal 0.019-inch (0.5 mm) thickness or mineral surface roll roofing weighing not less than 77 pounds per 100 square feet (4 kg/m<sup>2</sup>). Cap flashing shall be corrosion-resistant metal of minimum nominal 0.019-inch (0.5 mm) thickness.  
 R905.2.8.2 Valleys. Valley linings shall be installed in accordance with the manufacturer's instructions before applying shingles. Valley linings of the following types shall be permitted:  
 1. For open valley (valley lining exposed) lined with metal, the valley lining shall be at least 24 inches (610 mm) wide and of any of the corrosion-resistant metals in Table R905.2.8.2.  
 2. For open valleys, valley lining of two plies of mineral surfaced roll roofing, complying with ASTM D 3909 or ASTM D 6380 Class M, shall be permitted. The bottom layer shall be 18 inches (457mm) and the top layer not less than 36 inches (914 mm) wide.  
 3. For closed valleys (valley covered with shingles), valley lining of one ply of smooth roll roofing complying with ASTM D 6380 and not less than 36 inches wide (914 mm) or valley lining as described in Items 1 and 2 shall be permitted. Self-adhering polymer modified bitumen underlayment complying with ASTM D 1970 shall be permitted in lieu of the lining material.

TABLE RR905.2.8.2

VALLEY LINING MATERIAL			
MATERIAL	MINIMUM THICKNESS (inches)	WEIGHT GAGE	(pounds)
Cold-Rolled Copper	0.0216 Nominal	---	ASTM B 370 16 oz per s.f.
Lead-Coated Copper	0.0216 Nominal	---	ASTM B 101 16 oz per s.f.
High-Yield Copper	0.0162 Nominal	---	ASTM B 370 12 oz per s.f.
Lead Coated High-Yield Copper	0.0162 Nominal	---	ASTM B 101 12 oz per s.f.
Aluminum	0.024	---	---
Stainless Steel	---	28	---
Galvanized Steel	0.0179	26 (zinc coated G90)	---
Zinc Alloy	0.027	---	---
Lead	---	---	2 1/2
Painted terne	---	---	20

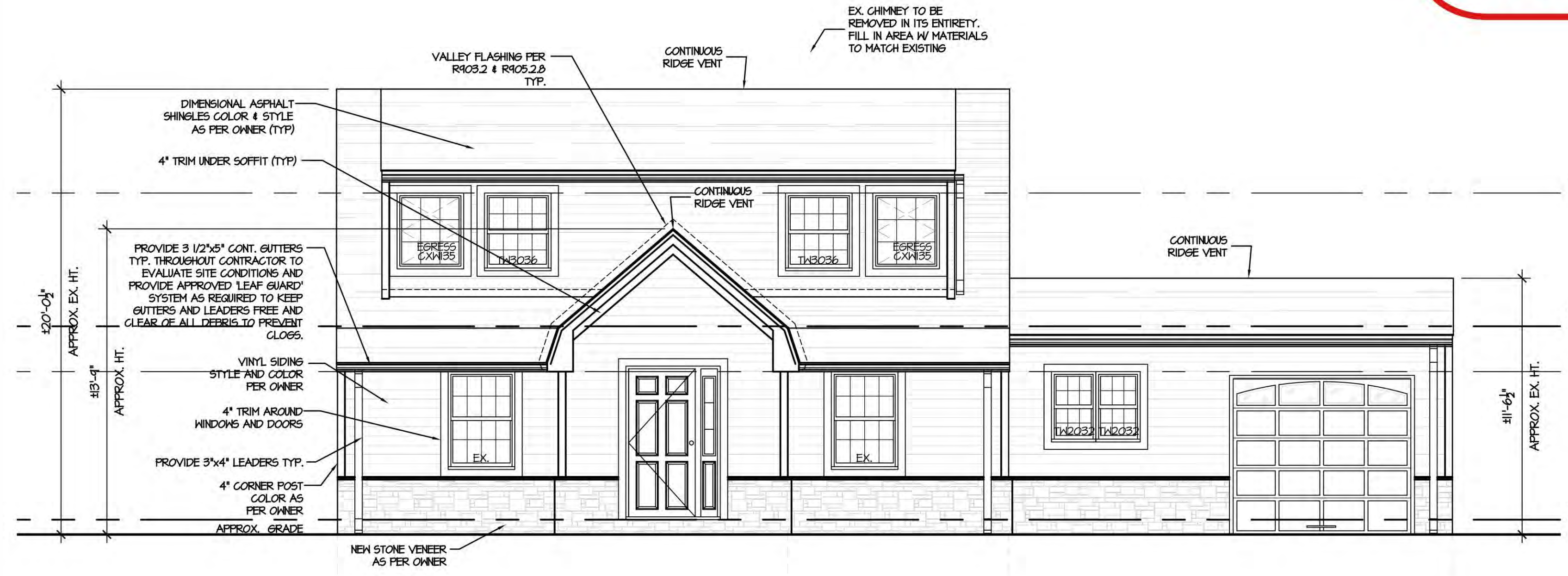
For Sl: 1 inch = 25.4 mm,  
 R903.2.2 Crickets and saddles. A cricket or saddle shall be installed on the ridge side of any chimney or penetration more than 30 inches (762 mm) wide as measured perpendicular to the slope. Cricket or saddle coverings shall be sheet metal or of the same material as the roof covering. 1 pound = 0.454 kg.  
 R905.2.8.3 Sidewall Flashing. Base flashing against a vertical sidewall shall be continuous or step flashing and shall be not less than 4 inches (102mm) in height and 4 inches (102mm) in width and shall direct water away from the vertical sidewall onto the roof or into a gutter. Where siding is provided on the vertical sidewall, the vertical leg of the flashing shall be continuous under the siding. Where anchored masonry veneer is provided on the vertical sidewall, the base flashing shall be provided in accordance with this section and counterflashing shall be provided in accordance with section R703.7.2.2. Where exterior plaster of adhered masonry veneer is provided on the vertical sidewall, the base flashing shall be provided in accordance with this section and section R703.6.3.

RBP24-001075

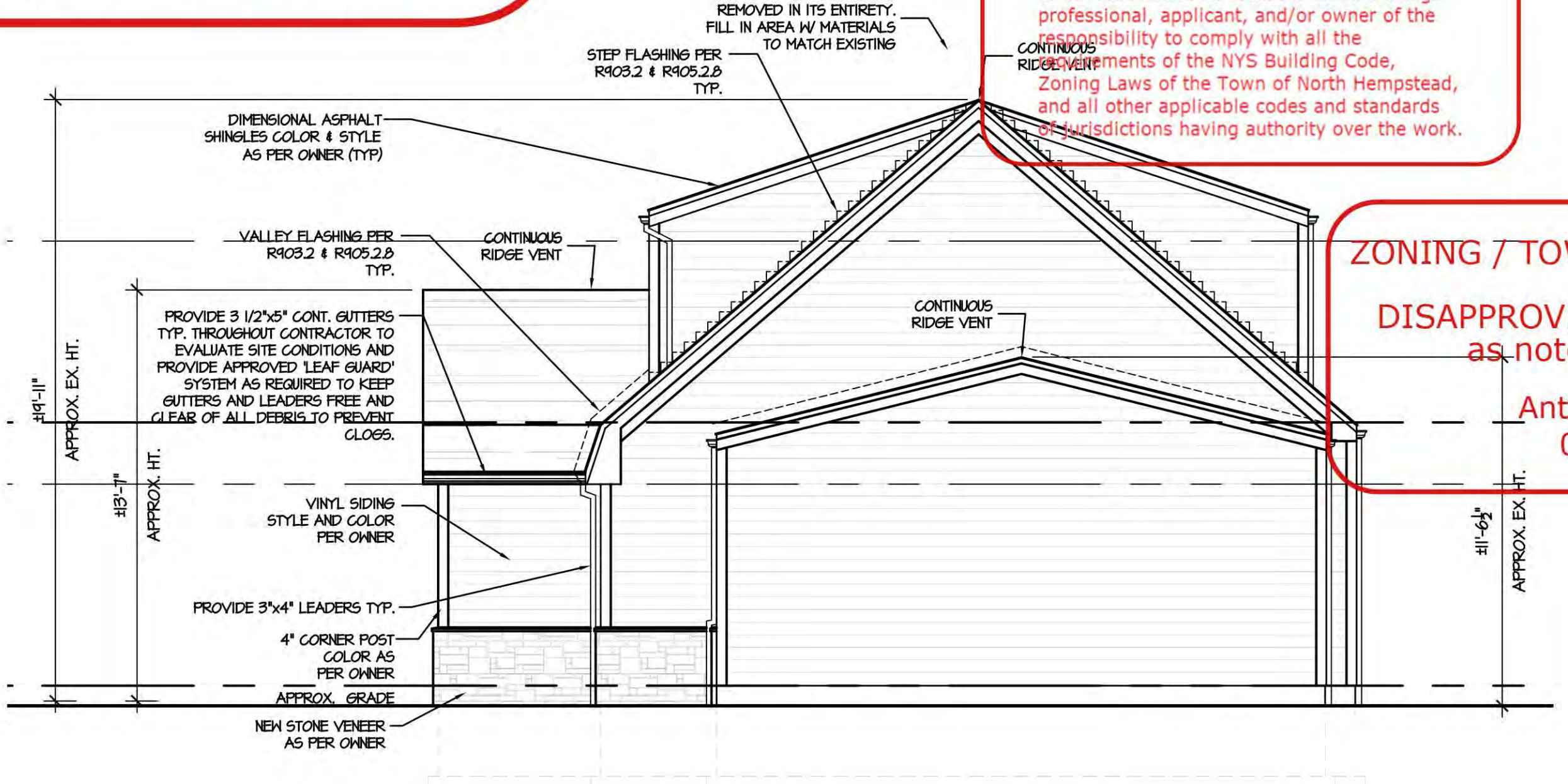


No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

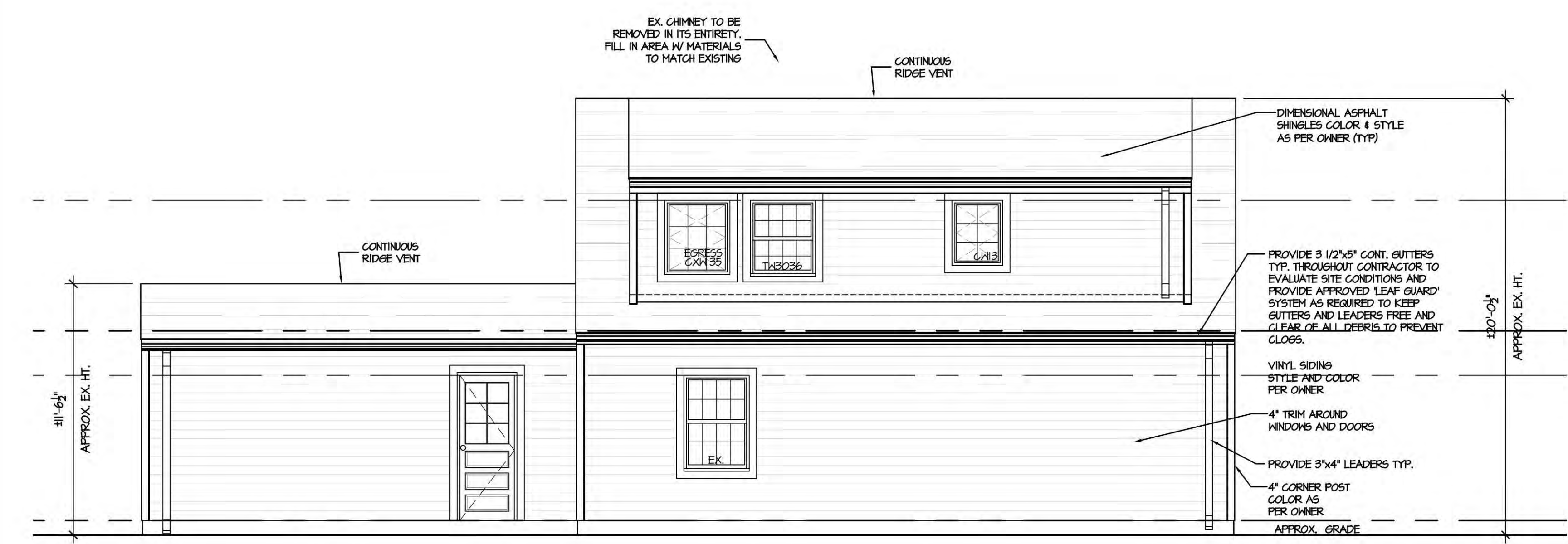
ZONING / TOWN CODE COMPLIANCE  
 DISAPPROVED - Make corrections as noted and resubmit  
 Anthony Raguseo  
 01/29/2025



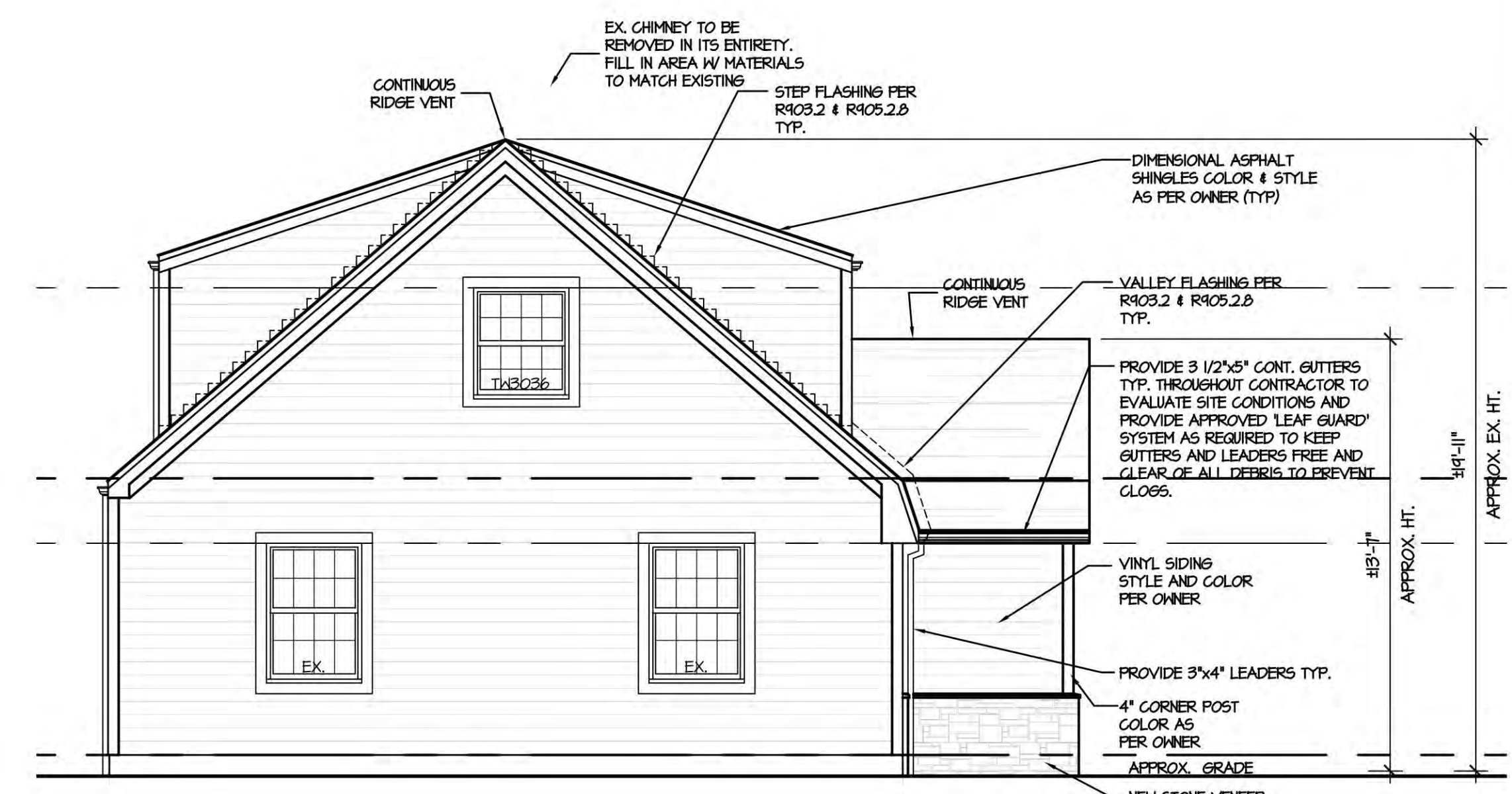
1 FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"

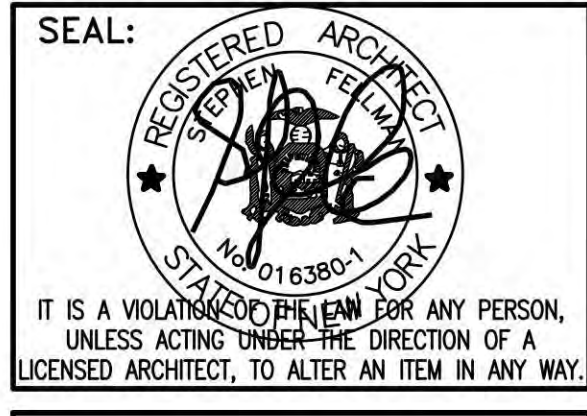


3 REAR ELEVATION  
 SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/13/2024		ISSUED FOR CLIENT REVIEW	SAF



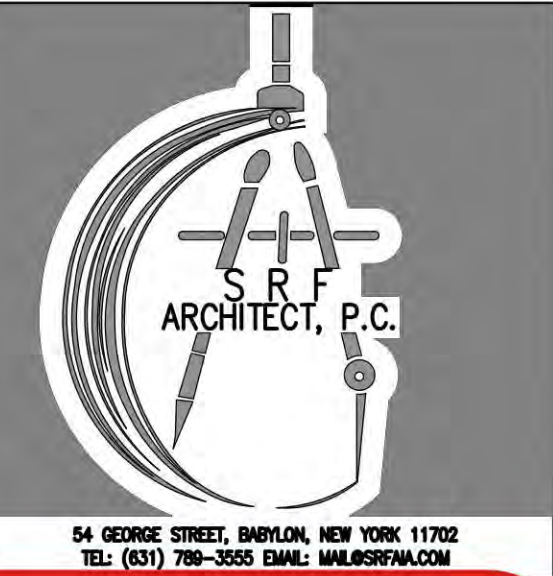
PROJECT TITLE:  
**PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION FOR DACKOW RESIDENCE**  
 AT  
 208 JEROME AVE.  
 CARLE PLACE, NY 11514  
 TOWN OF NORTH HEMPSTEAD  
 NASSAU COUNTY, NEW YORK  
 SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF  
 FILE NO.: ---  
 PROJ. NO.: 24-117  
 DWG. NO.: **A-4**  
 PROPOSED ELEVATIONS  
 DWG. TITLE:

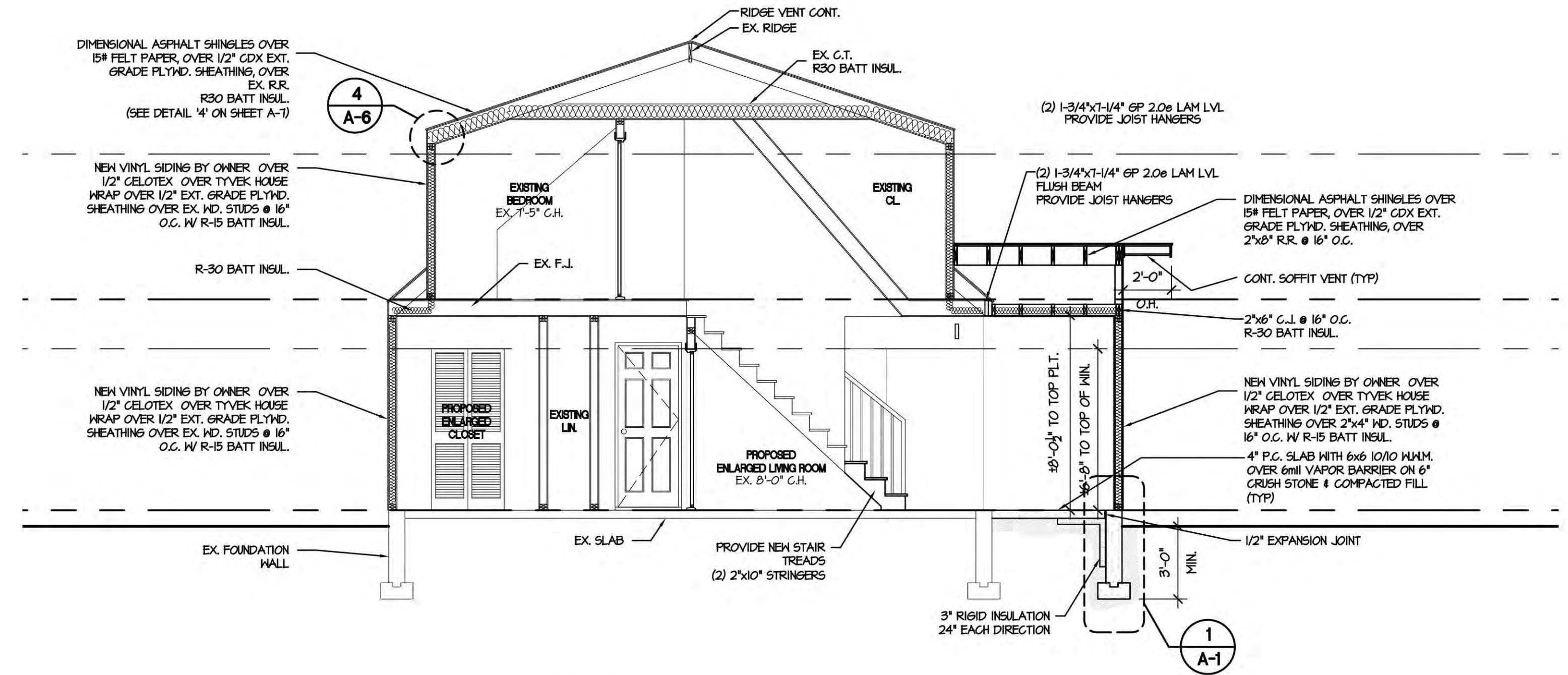


RBP24-001075

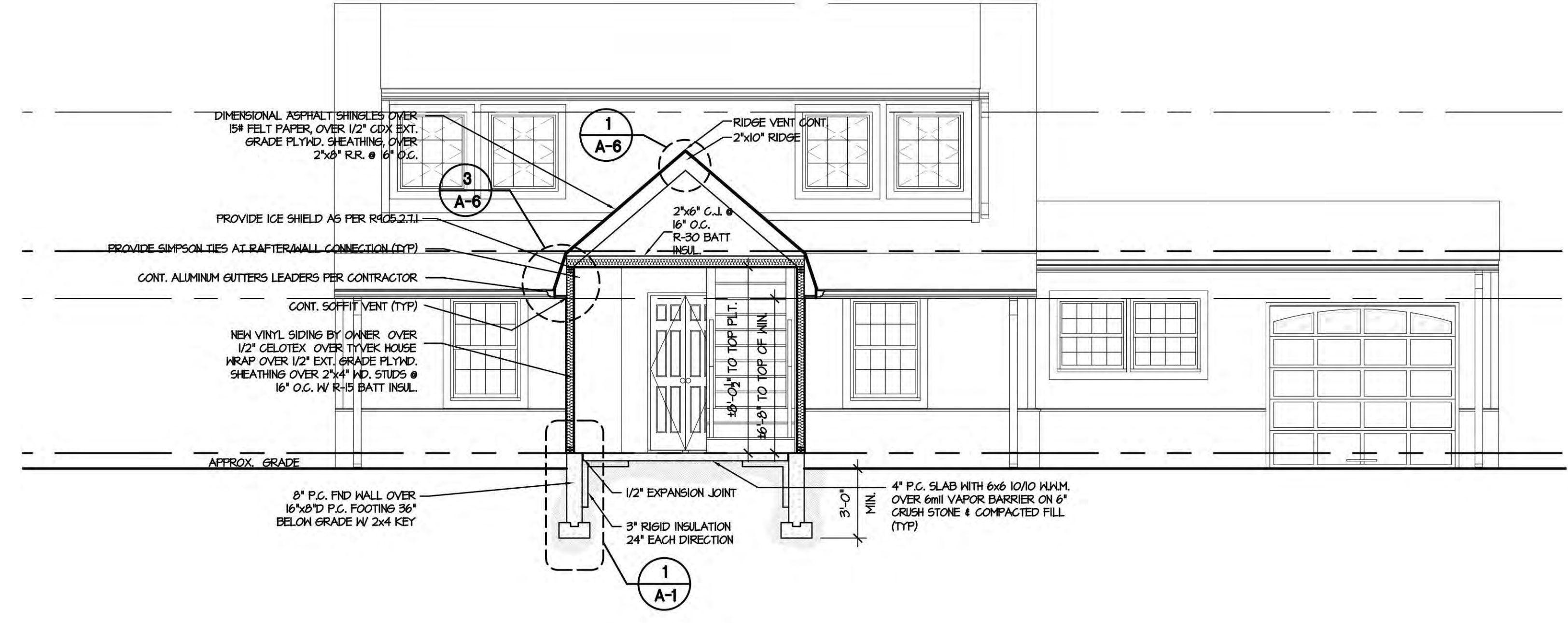
No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.



ZONING / TOWN CODE COMPLIANCE  
 DISAPPROVED - Make corrections as noted and resubmit  
 Anthony Raguseo  
 01/29/2025

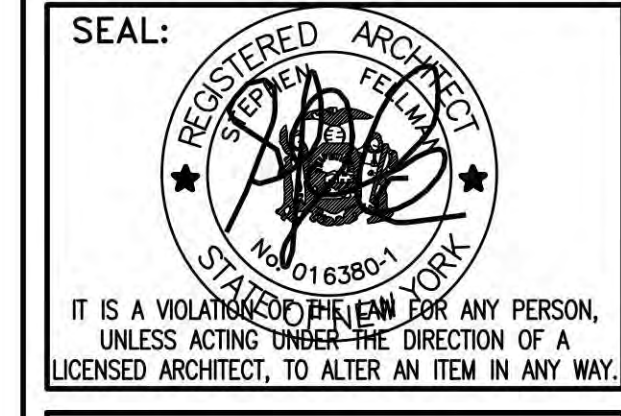


1 SECTION  
 SCALE: 1/4"=1'-0"



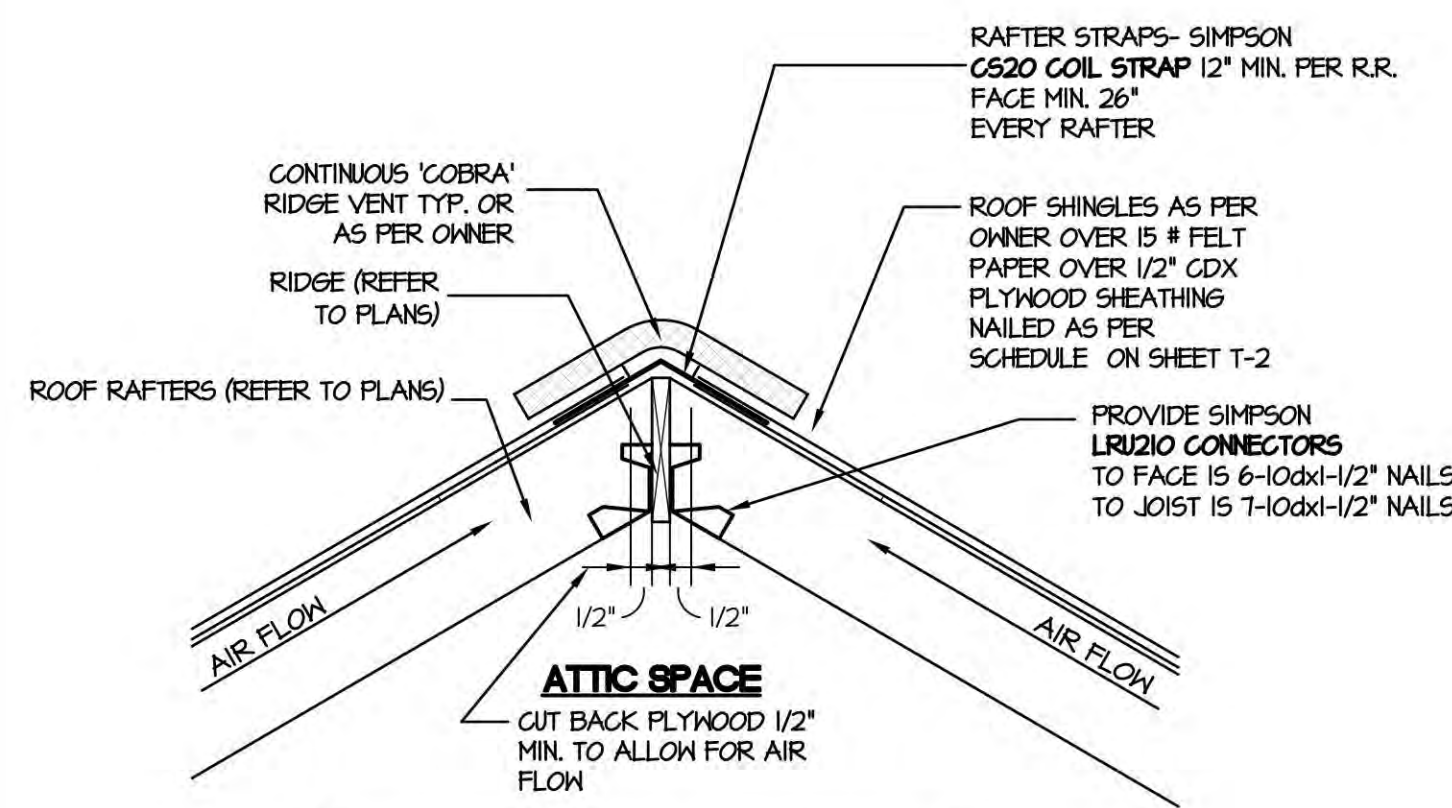
2 SECTION  
 SCALE: 1/4"=1'-0"

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENTS COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENTS COMMENTS	SAF
09/13/2024		ISSUED FOR CLIENT REVIEW	SAF



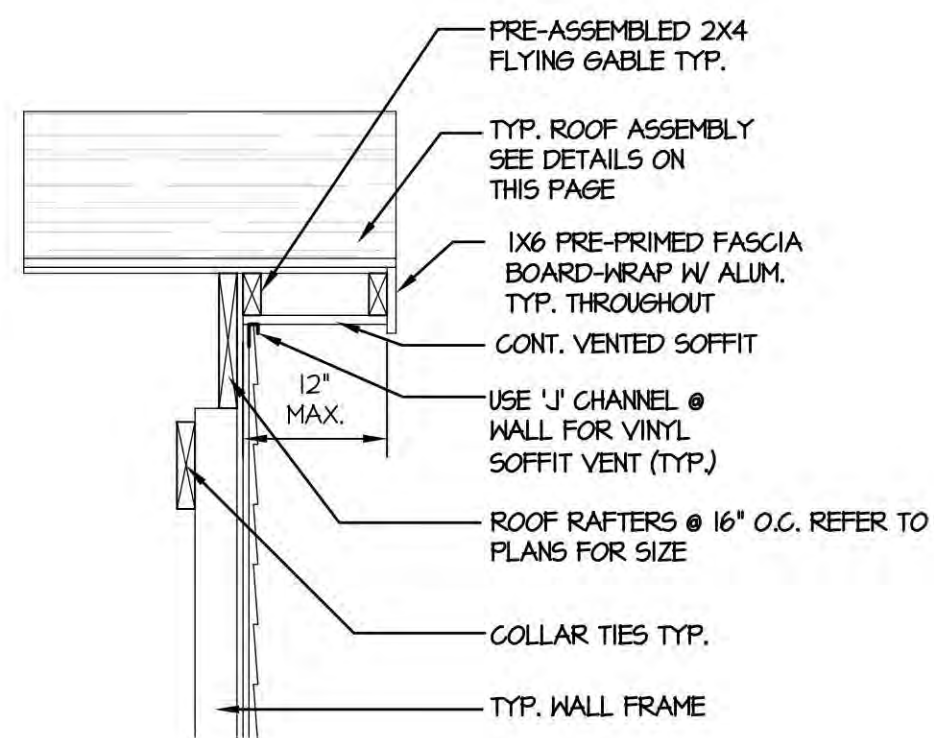
PROJECT TITLE:  
 PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION  
 FOR DACKOW RESIDENCE  
 AT 208 JEROME AVE. CARLE PLACE, NY 11514  
 TOWN OF NORTH HEMPSTEAD NASSAU COUNTY, NEW YORK SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF  
 FILE NO.: ---  
 PROJ. NO.: 24-117  
 DWG. NO.: A-5  
 PROPOSED SECTIONS  
 DWG. TITLE:

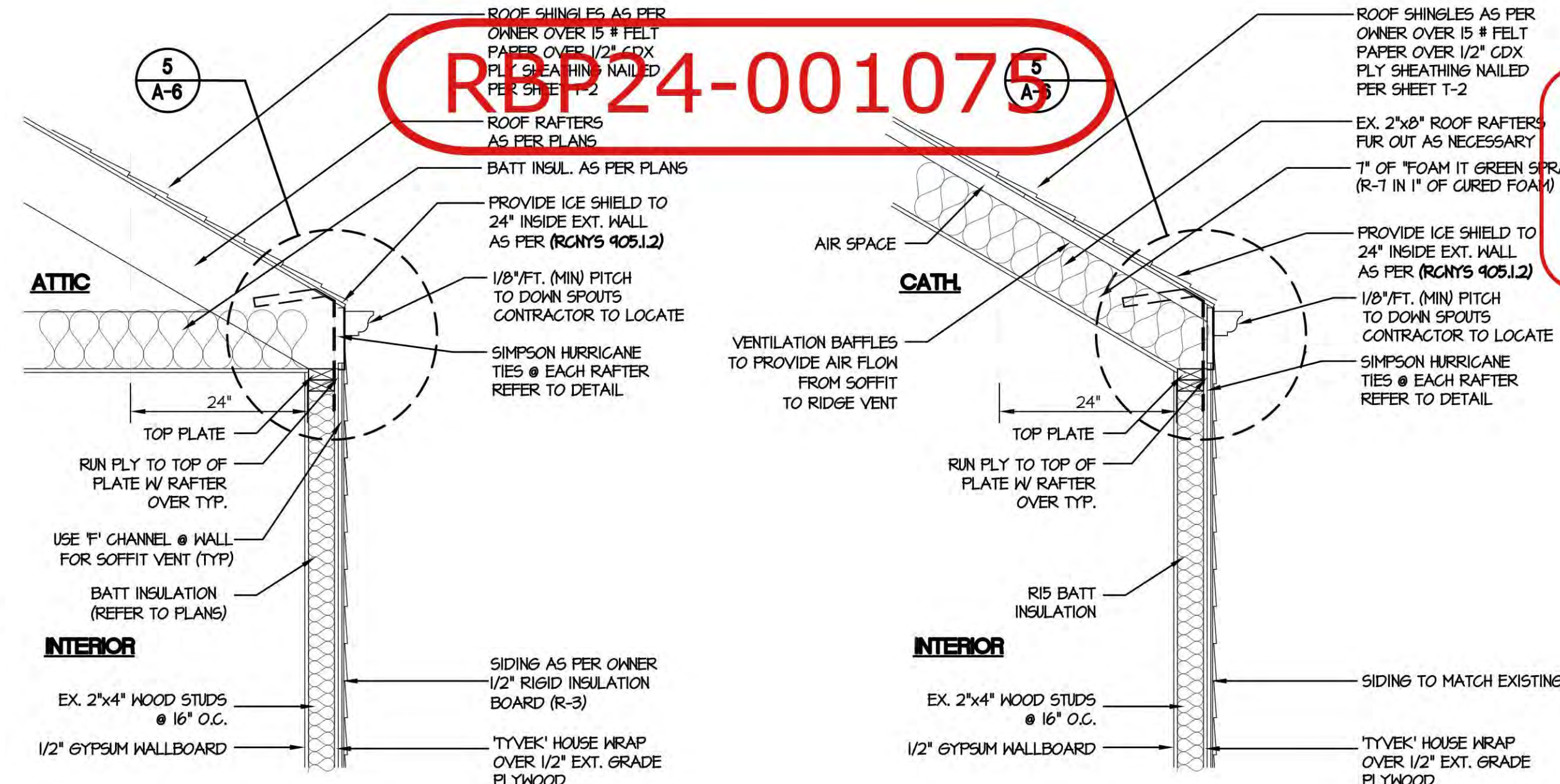


NOTE: RIDGE STRAP NOT REQ'D WHEN 2"x4" COLLAR TIE IS LOCATED WITHIN THE UPPER 1/3 OF THE ATTIC SPACE AND ATTACHED TO EACH PAIR OF OPPOSING

**1 RIDGE VENT DETAIL**  
SCALE: 3/4" = 1'-0"

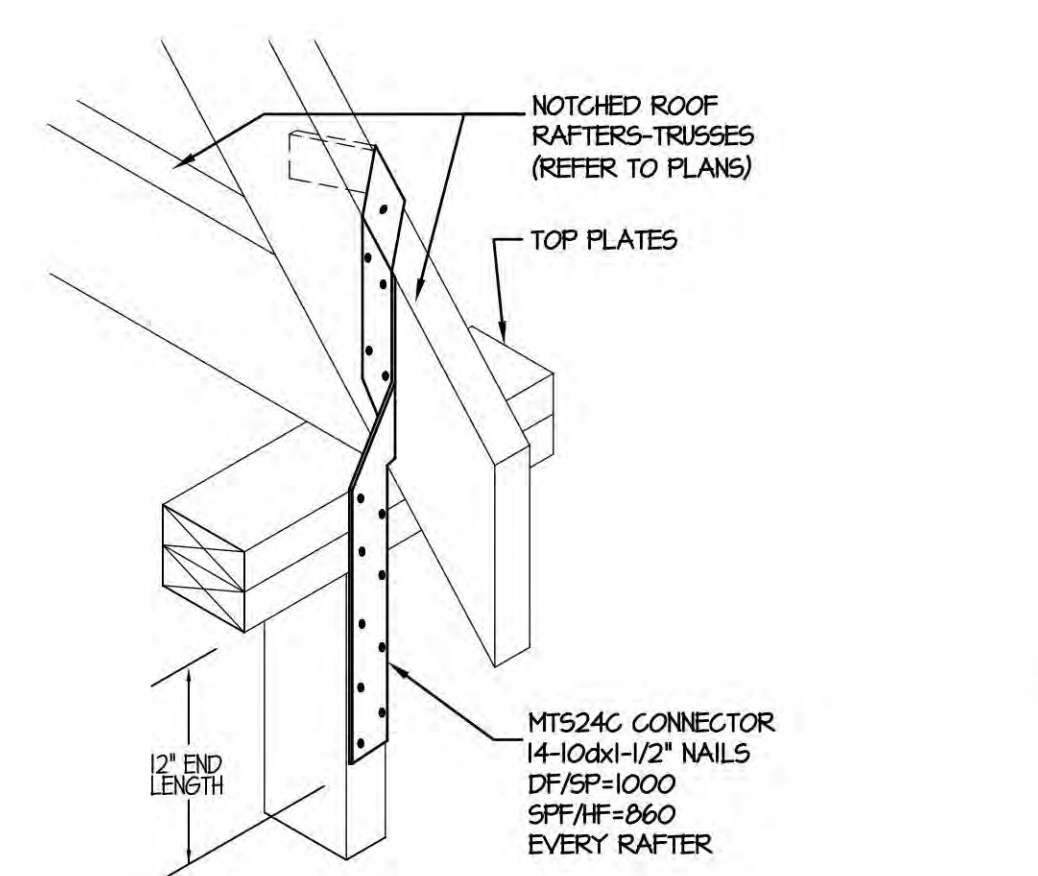


**2 TYP. FLYING GABLE DETAIL**  
SCALE: 3/4" = 1'-0"

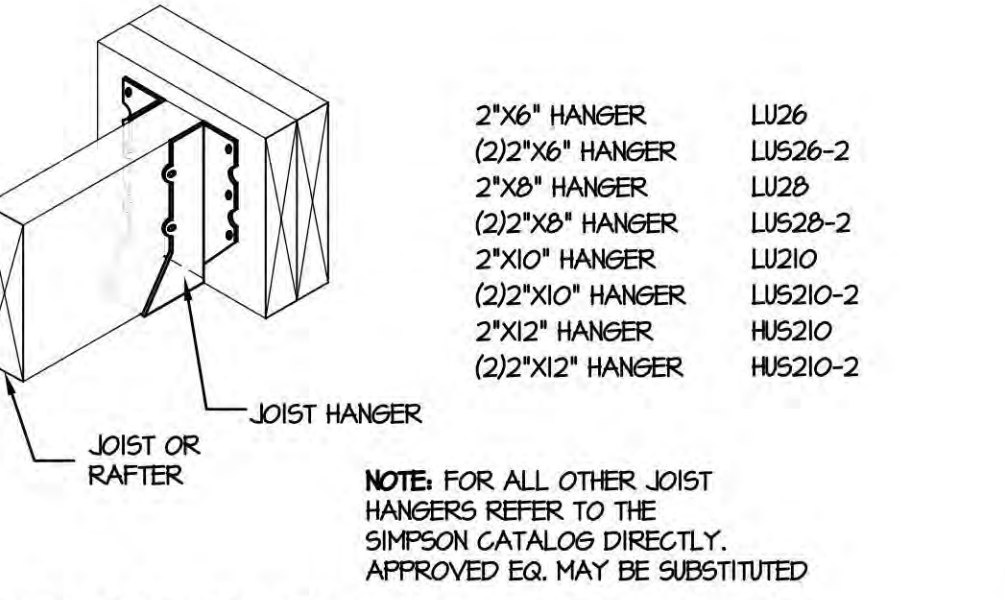


**3 SOFFIT DETAIL**  
SCALE: 3/4" = 1'-0"

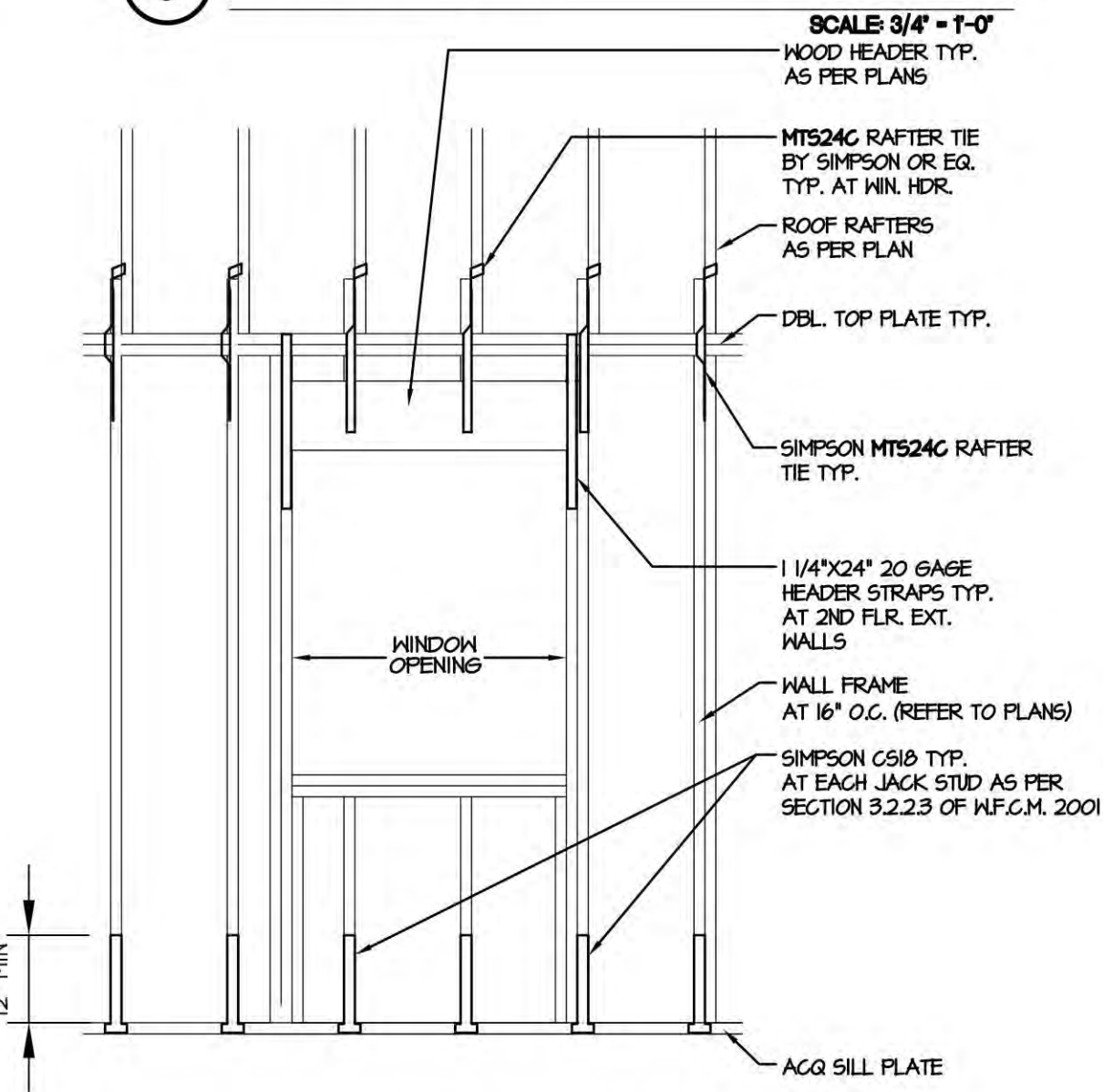
**4 SOFFIT DETAIL**  
SCALE: 3/4" = 1'-0"



**5 SEISMIC TIE**  
SCALE: N.T.S.



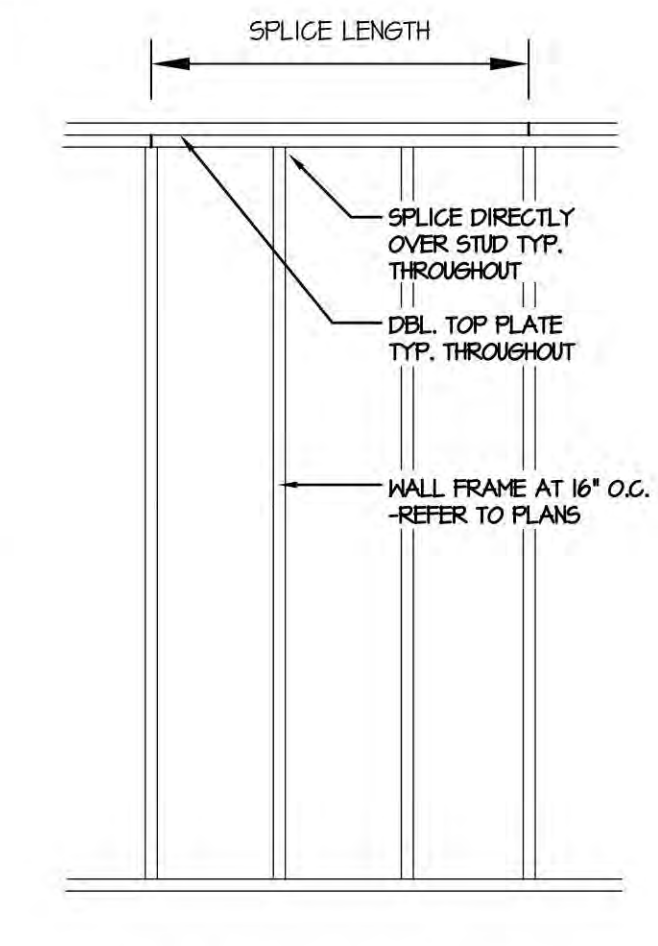
**6 FACE MOUNT JOIST HANGERS**  
SCALE: N.T.S.



**7 WALL STRAPPING DETAIL**  
SCALE: N.T.S.

BUILDING DIM. (FT.)	MIN. SPLICE LENGTH (FT.) <sup>UM</sup>
12	1
16	1
20	2
24	2
28	3
32	3
36	3
40	4
50	5
60	6

- TABULATED SPLICE LENGTHS ASSUME TOP PLATE-TO-PLATE CONNECTION USING 2-16d NAILS PER FT. FOR SHORTER SPLICE LENGTHS, THE NAIL SPACING SHALL BE REDUCED IN ORDER TO PROVIDE AN EQUIVALENT NUMBER OF NAILS.
- TABULATED SPLICE LENGTHS ASSUME A BUILDING LOCATED IN EXPOSURE B OR C.
- TABULATED SPLICE LENGTHS ARE BASED ON 8 FT. WALL HTS. FOR OTHER WALL HTS, H, THE TABULATED UNIT LATERAL LOADS SHALL BE MULTIPLIED BY H/8.
- TOP PLATES SHALL BE A MINIMUM OF 5/16" GRADE MATERIAL, R4021J Fasteners. Fasteners used below grade to attach plywood to the exterior side of exterior basement or crawl space wall studs, or fasteners used in knee wall construction, shall be of Type 304 or 316 stainless steel. Fasteners used above grade to attach plywood and all lumber to lumber fasteners except those used in knee wall construction shall be of Type 304 or 316 stainless steel, silicon bronze, copper, hot dipped galvanized (zinc coated) steel nails, or hot laminated galvanized (zinc coated) steel nails. Electro galvanized steel nails and galvanized (zinc coated) steel staples shall not be permitted.

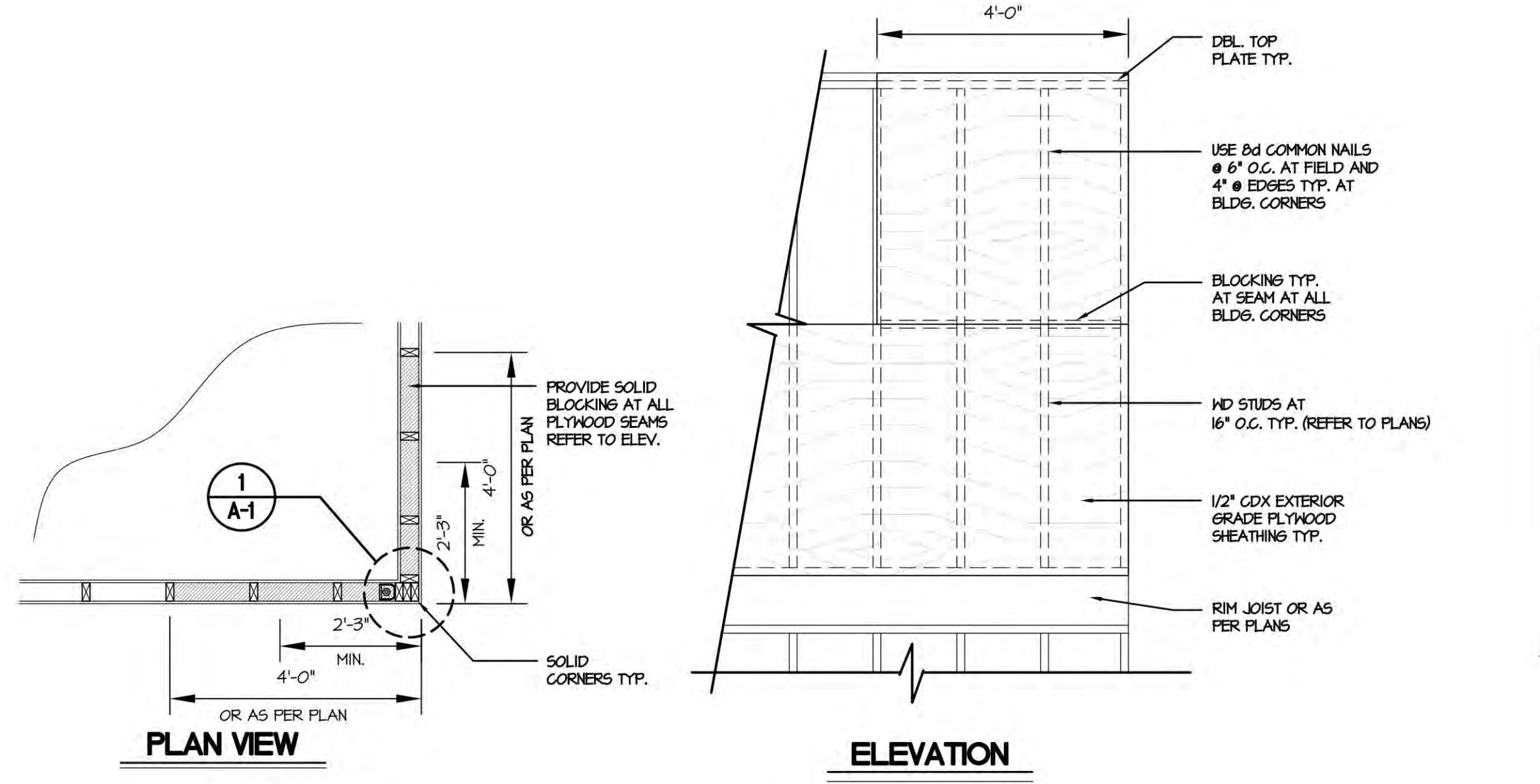


**8 PLATE SPLICEING DETAIL**  
SCALE: N.T.S.

AREA	HOLDDOWN USED / LENGTH	NUMBER OF NAILS	CAPACITY OF HOLDDOWN	NOTES
RIDGE	SIMPSON C5-20/24" MIN. LENGTH	3-10d	1005#/CONNECTION	RIDGE STRAPS ARE NOT REQ'D WHEN 2"x4" COLLAR TIE IS LOCATED WITHIN THE UPPER 1/3 OF THE ATTIC SPACE AND ATTACHED TO EACH PAIR OF OPPOSING RAFTERS AS PER N.Y.C.M. 2009 SECTION 3.2.3.1
DORMER RIDGE	SIMPSON C5-20/24" MIN. LENGTH	2-10d	1005#/CONNECTION	SEE NOTE ABOVE
EAVE	SIMPSON H-7 ANCHOR	4-8d TO RAFTER 8-8d TO STUD 2-8d TO PLATES	845#/CONNECTION	PER RAFTER
DORMER EAVE	SIMPSON H-7 ANCHOR	4-8d TO RAFTER 8-8d TO STUD 2-8d TO PLATES	845#/CONNECTION	PER RAFTER
CEILING TO WALL	SIMPSON C5-20/36" MIN. LENGTH	26-8d	1005#/CONNECTION	PER STUD
FLOOR TO WALL	SIMPSON C5-20/36" MIN. LENGTH	26-8d	1005#/CONNECTION	PER STUD
FLOOR TO FOUNDATION	SIMPSON S1HD4RJ	36-16d SINKER	4160#/CONNECTION	AT FOUNDATION CORNERS- FROM FDN. WALL TO WOOD CORNER POST
FOUNDATION TO SILL	SIMPSON S5TB-16 18" MIN. LENGTH	PLACED 4'-0" O.C.	120 MFT. TABLE 3-2 N.Y.C.M.	

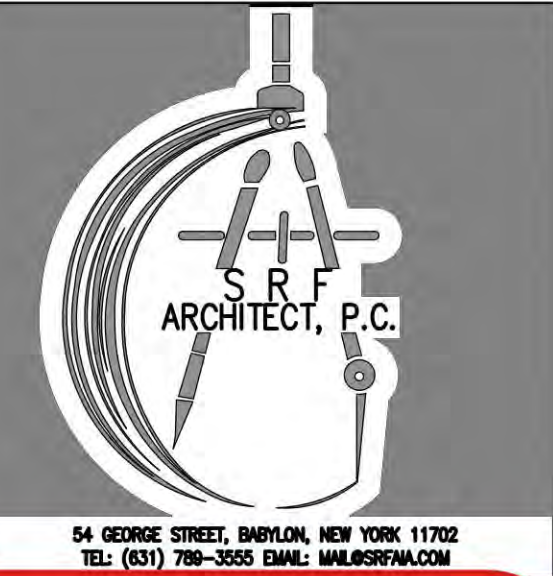
NOTE: ALL STRAPPING INDICATED MEETS OR EXCEEDS THE REQUIREMENTS IN THE WOOD FRAME CONSTRUCTION MANUAL, 2015 EDITION TABLE 3.6 FOR RIDGE CONNECTIONS, TABLE 2.2 FOR EAVE CONNECTIONS, AND TABLE 3.2 FOR FOUNDATION CONNECTIONS.

NOTE: ALL STRAPS BY 'SIMPSON STRONG-TIE' SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. ANY NEW, UPDATED OR CONFLICTING INFORMATION PROVIDED BY SIMPSON SHALL TAKE PRECEDENCE OVER THIS SCHEDULE.



**9 SHEAR WALL SEGMENT DETAIL**  
SCALE: N.T.S.

AS PER SECTION R301.2.1.2 OF THE NYS RESIDENTIAL CODE

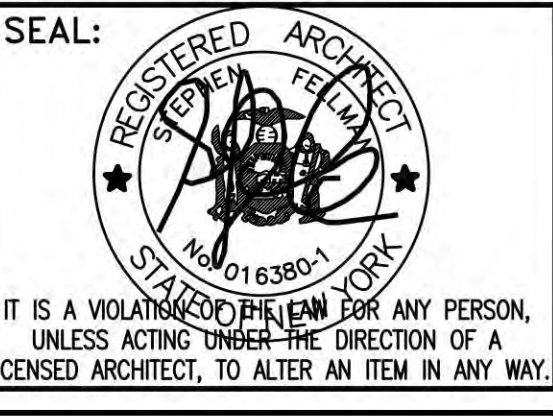


ZONING / TOWN CODE COMPLIANCE

DISAPPROVED - Make corrections as noted and resubmit

Anthony Raguseo  
01/29/2025

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/13/2024		ISSUED FOR CLIENT REVIEW	SAF



PROJECT TITLE:

PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION

FOR DACKOW RESIDENCE

AT 208 JEROME AVE. CARLE PLACE, NY 11514

TOWN OF NORTH HEMPSTEAD NASSAU COUNTY, NEW YORK SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF

FILE NO.: ---

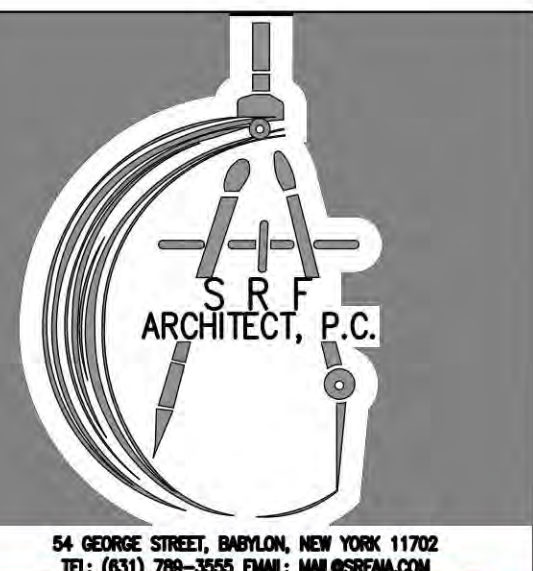
PROJ. NO.: 24-117

DWG. NO.: A-6  
DETAILS

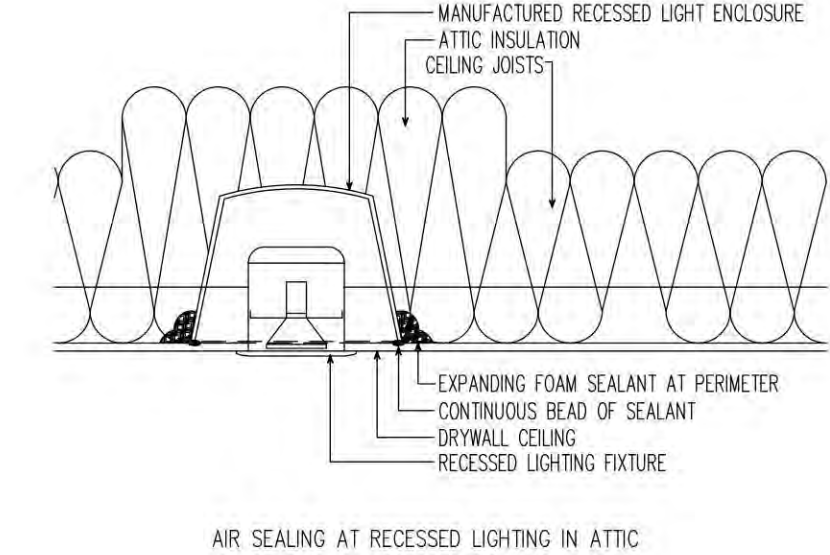
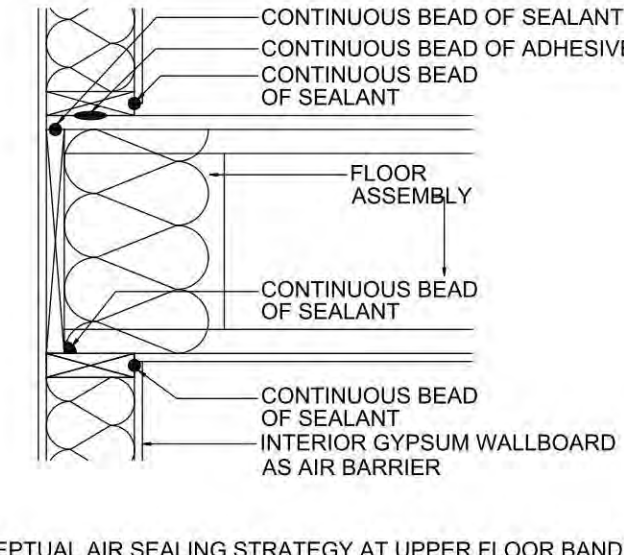
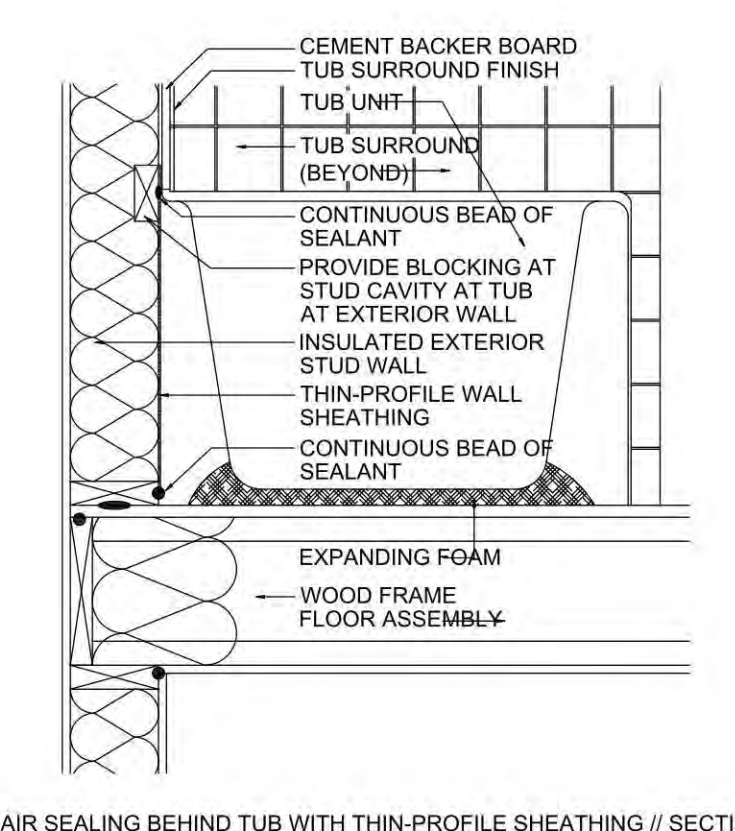
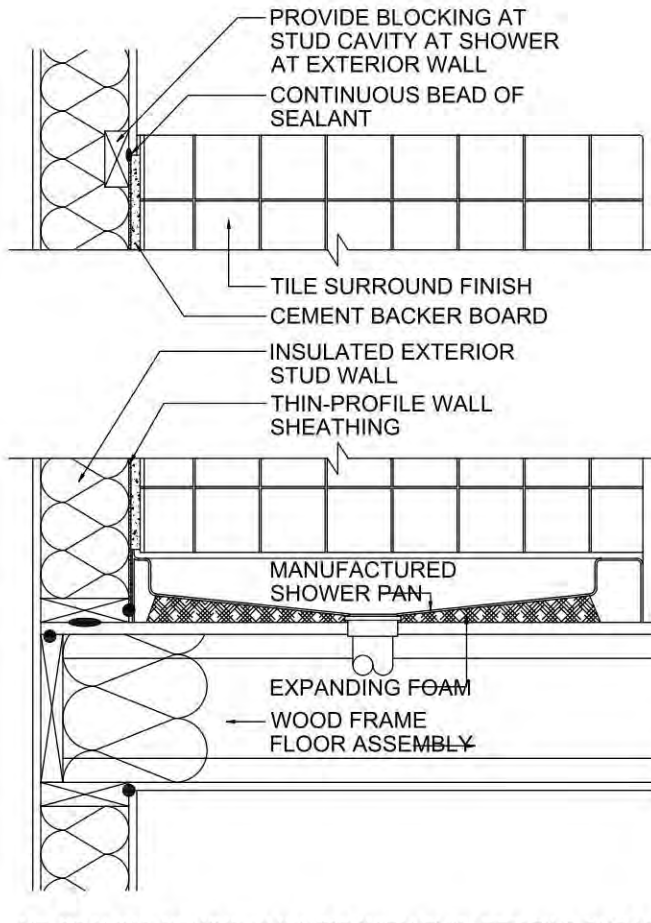
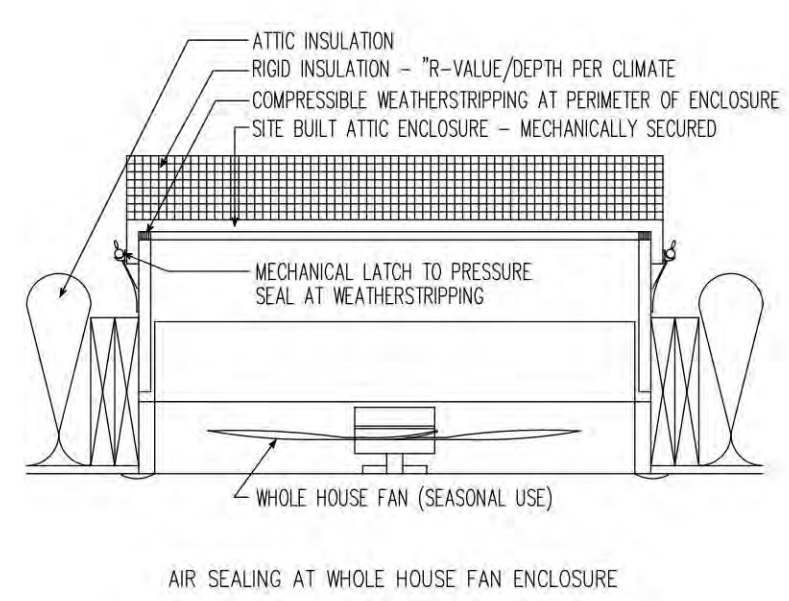
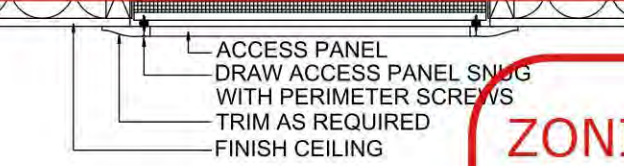
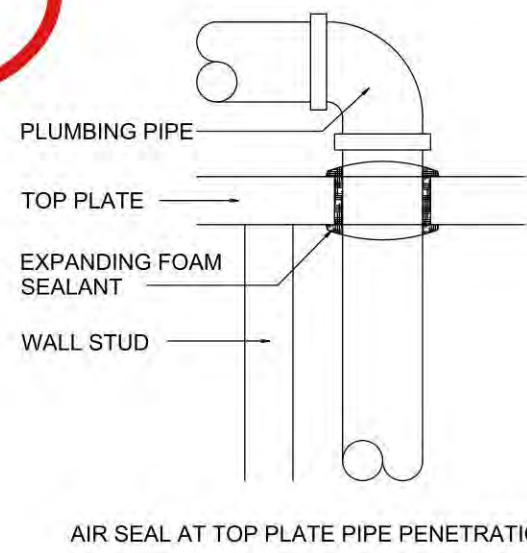
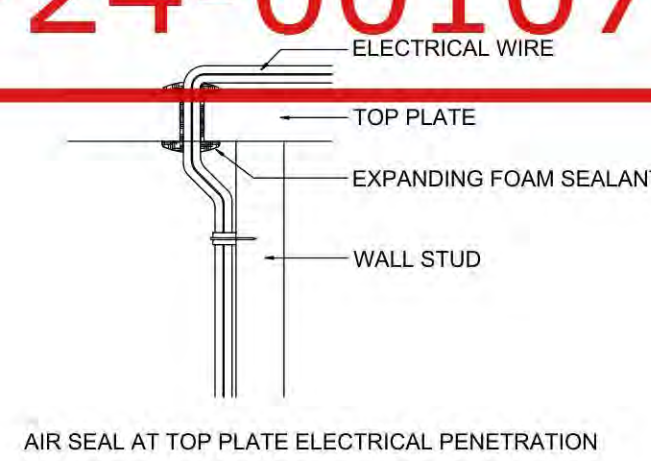
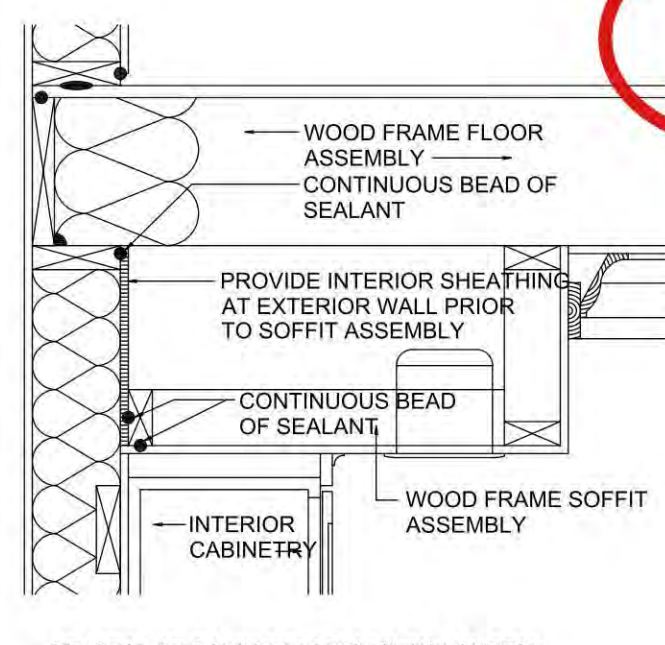
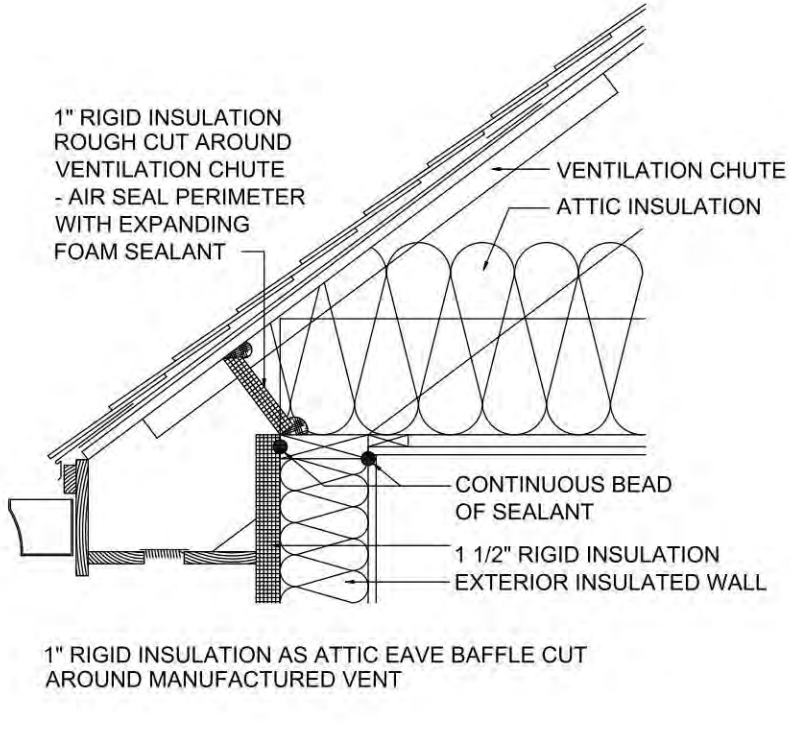
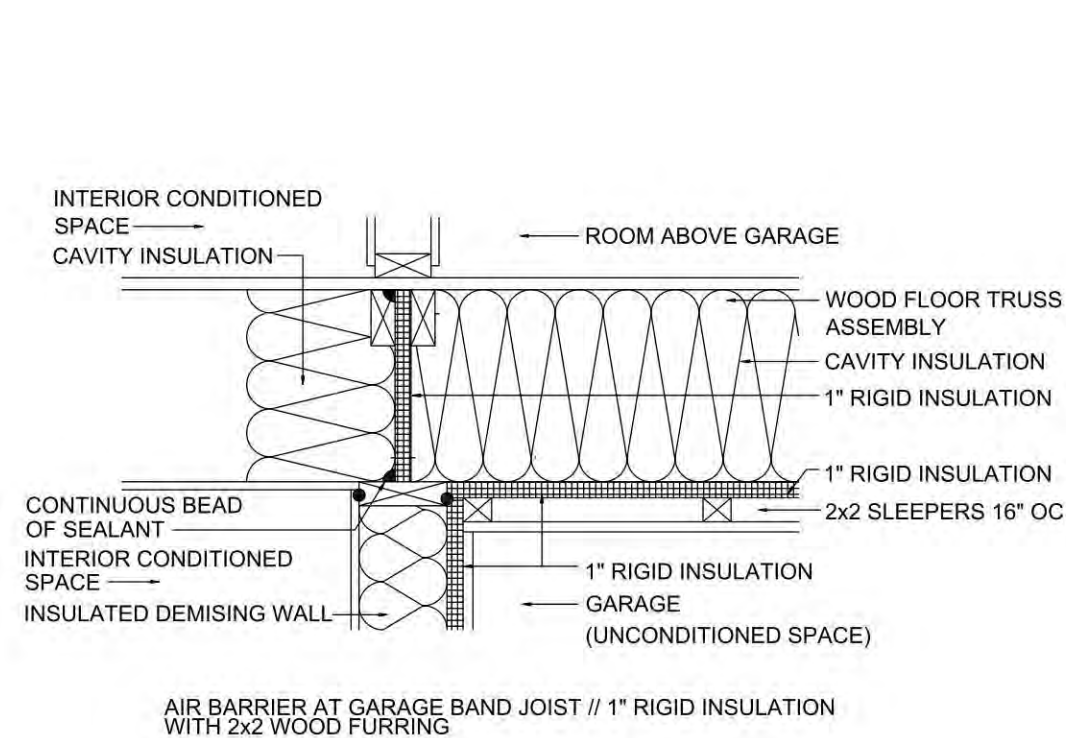
DWG. TITLE:

**RBP24-001075**

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.



**ZONING / TOWN CODE COMPLIANCE**  
**DISAPPROVED - Make corrections as noted and resubmit**  
 Anthony Raguseo  
 01/29/2025



**TABLE P3201.7**  
**SIZE OF TRAPS FOR PLUMBING FIXTURES**

PLUMBING FIXTURE	TRAP SIZE MINIMUM (Inches)
BATH/TUB (WITH OR WITHOUT SHOWER HEAD AND/OR whirlpool ATTACHMENTS)	1-1/2
BIDET	1-1/4
CLOTHES WASHER STANDPIPE	2
DISHWASHER (ON SEPARATE TRAP)	1-1/2
KITCHEN SINK (ONE OR TWO WITH OR WITHOUT DISHWASHER AND FOOD WASTE DISPOSER)	1-1/2
LAUNDRY TUB (ONE OR MORE COMPARTMENTS)	1-1/2
LAVATORY	1-1/4
SHOWER (BASED ON THE TOTAL FLOW RATE THROUGH SHOWERHEADS AND BODYSPRAYS) FLOW RATE: 5.7 gpm AND LESS MORE THAN 5.7 gpm UP TO 12.3 gpm MORE THAN 12.3 gpm UP TO 25.6 gpm MORE THAN 25.6 gpm UP TO 55.6 gpm	1-1/2 2 3 4

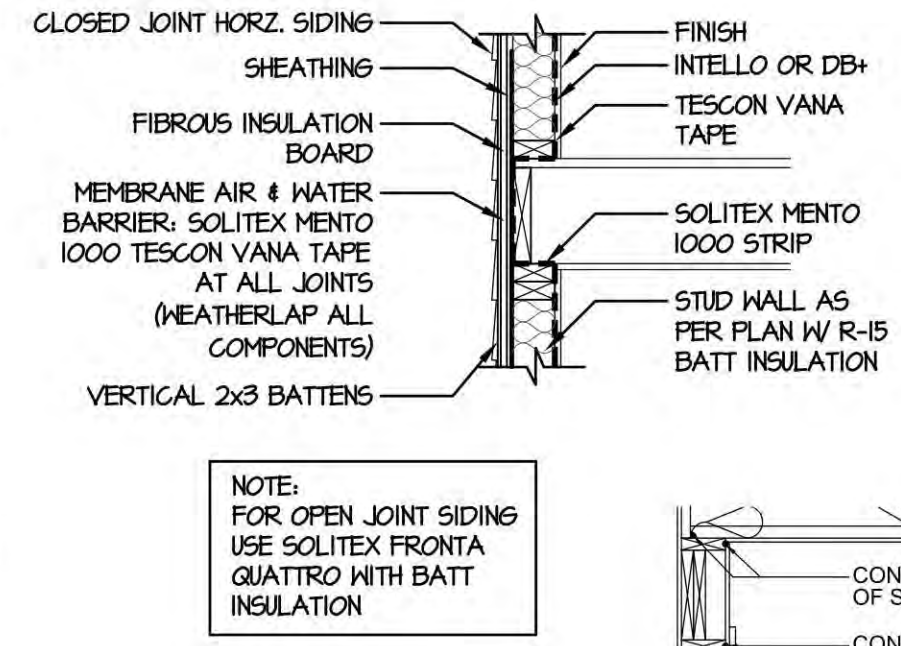
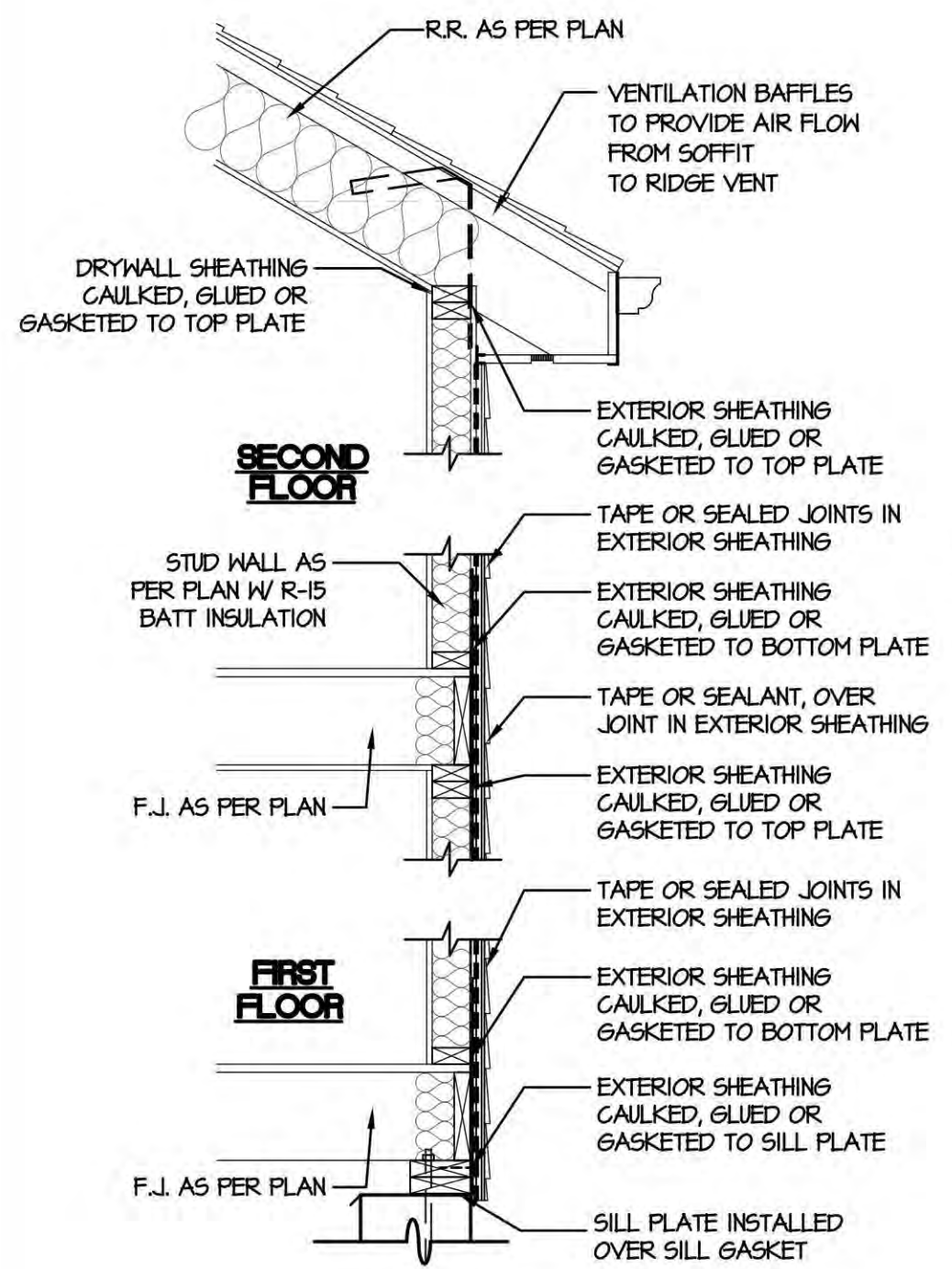
**P3103.1 ROOF EXTENSION.**  
 OPEN VENT PIPES THAT EXTEND THROUGH A ROOF SHALL BE TERMINATED NOT LESS THAN 6 INCHES (152 MM) ABOVE THE ROOF OR 6 INCHES (152 MM) ABOVE THE ANTICIPATED SNOW ACCUMULATION, WHICHEVER IS GREATER. WHERE A ROOF IS TO BE USED FOR ASSEMBLY, AS A PROMENADE, OBSERVATION DECK OR SUNBATHING DECK OR FOR SIMILAR PURPOSES, OPEN VENT PIPES SHALL TERMINATE NOT LESS THAN 1 FOOT (304.8 MM) ABOVE THE ROOF.

**P3103.2 FROST CLOSURE.**  
 WHERE THE 915 PERCENT VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F (-18°C) OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES (76 MM) IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE LESS THAN 1 FOOT (304.8 MM) INSIDE THE THERMAL ENVELOPE OF THE BUILDING.

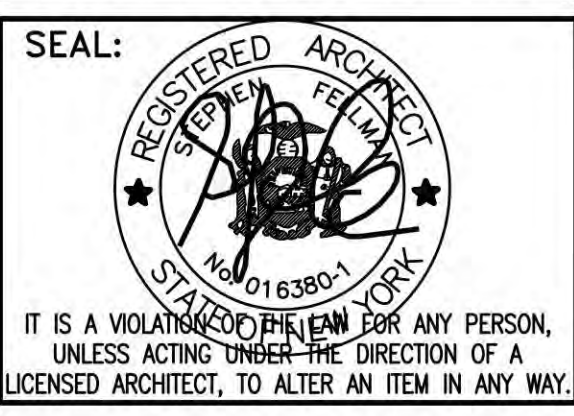
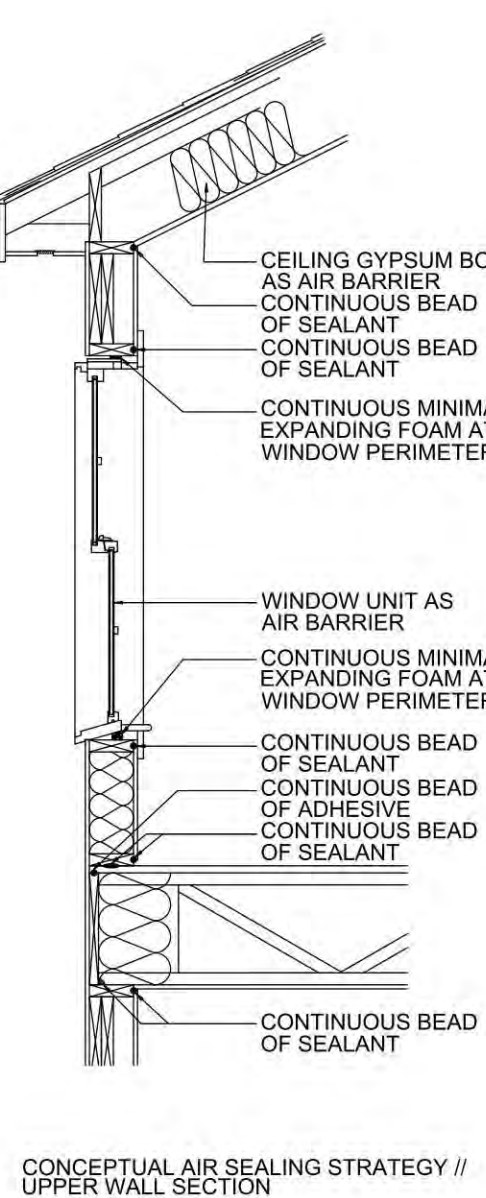
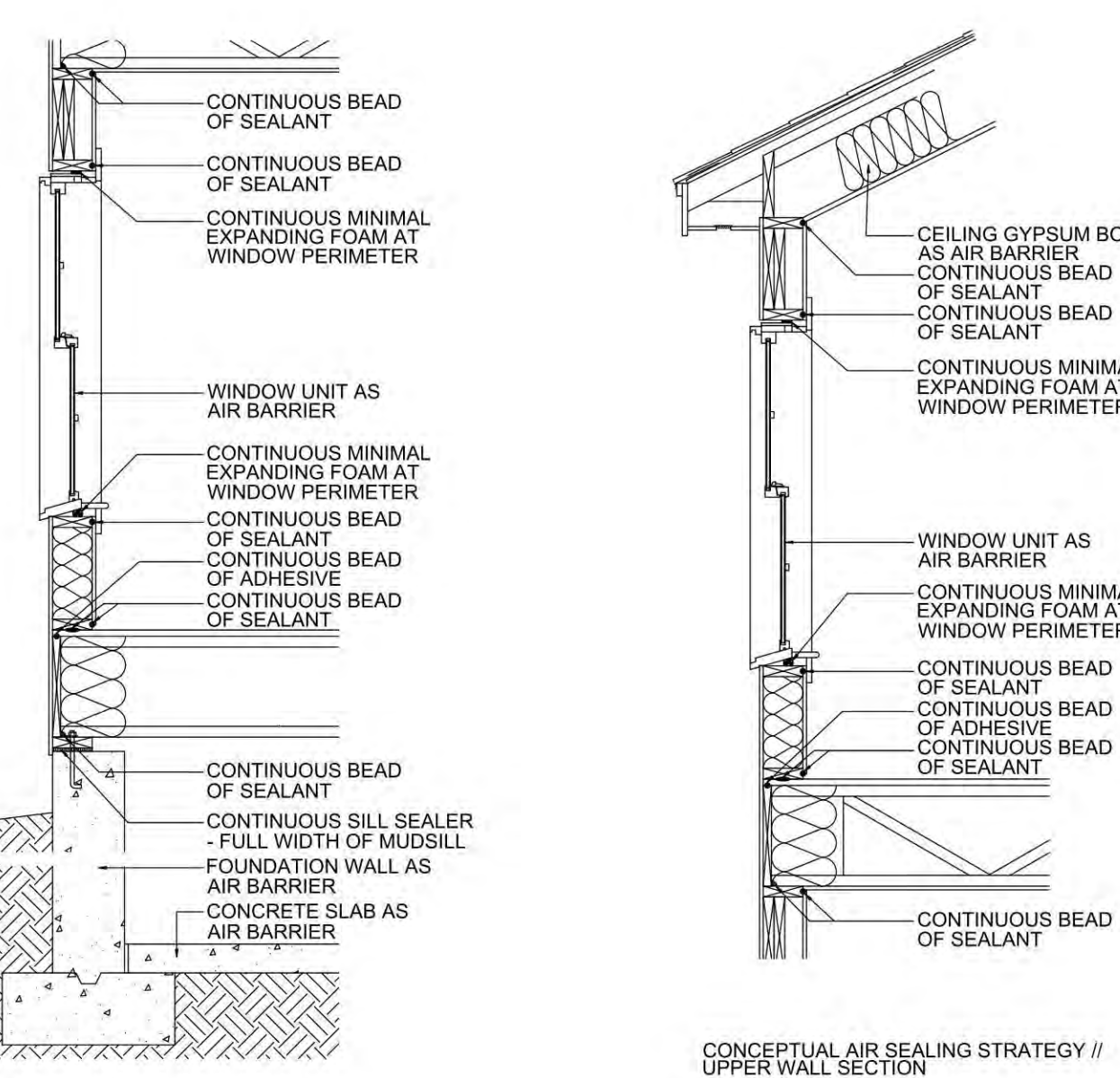
**TABLE R402.4.11**  
**AIR BARRIER AND INSULATION INSTALLATION**

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/Attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Halls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-5 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking or floor framing cavity insulation shall be permitted to be in contact with the topside of sheathing or continuous insulation installed on the underside of floor framing and extend from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I, black vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and fire shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit and installed to the correct density without any voids or gaps or compression, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior wall	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between the sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.



NOTE:  
 FOR OPEN JOINT SIDING USE SOLITEX FRONTO QUATTRO WITH BATT INSULATION



PROJECT TITLE:  
**PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION**  
 FOR  
**DACKOW RESIDENCE**  
 AT  
 208 JEROME AVE.  
 CARLE PLACE, NY 11514  
 TOWN OF NORTH HEMPSTEAD  
 NASSAU COUNTY, NEW YORK  
 SEC. 9-BLOCK. 470-LOT. 45

DRAWN BY: SAF  
 FILE NO.: ---  
 PROJ. NO.: 24-117  
 DWG. NO.:  
**A-7**  
 AIR BARRIER  
 DWG. TITLE:

NO.	DATE	REVISION	BY
01/13/2025		REVISED AS PER CLIENT COMMENTS	SAF
12/11/2024		REVISED AS PER TOWN COMMENTS	SAF
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT	SAF
09/16/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/14/2024		REVISED AS PER CLIENT COMMENTS	SAF
09/13/2024		ISSUED FOR CLIENT REVIEW	SAF

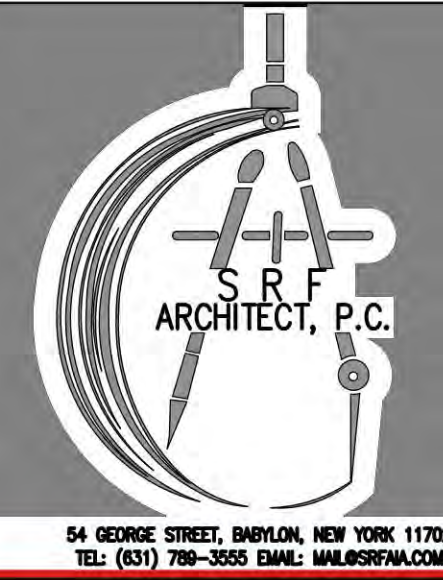
**BUILDING CODE COMPLIANCE SHEET (2020 RESIDENTIAL CODE OF NEW YORK STATE)**  
**SINGLE FAMILY DWELLING OCCUPANCIES**

**RBP24-001075**

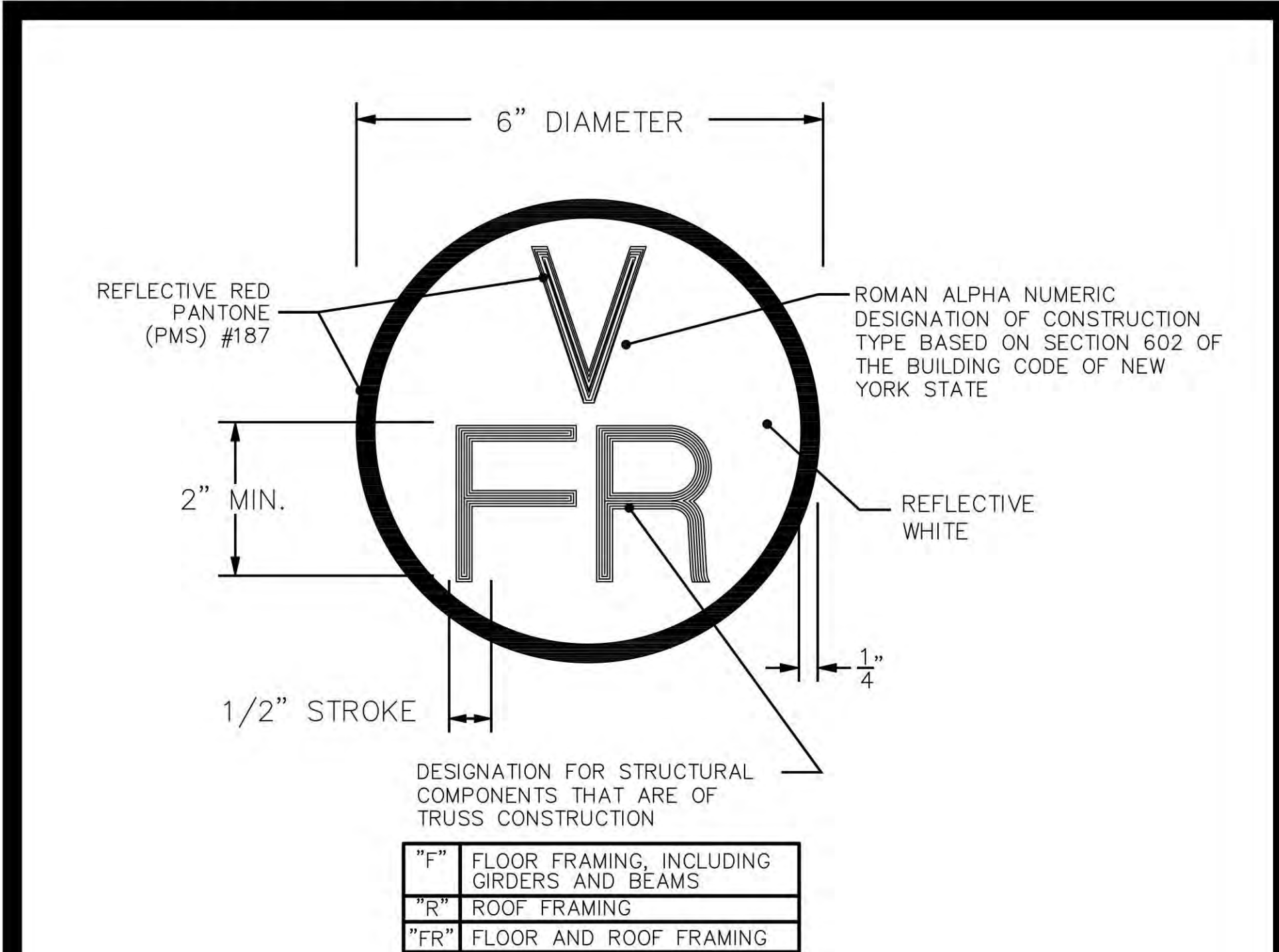
Project Name: DACKOW RESIDENCE  
 208 JEROME AVE.  
 CARLE PLACE, NY 11514  
 Project Number: 24-117

Project Type: SINGLE FAMILY RESIDENCE R-2  
 Occupancy Classification: 5b

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Law of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.



**TRUSS IDENTIFICATION**



**TRUSS IDENTIFICATION SIGN**  
**COMPLIANCE WITH 19NYCRR PART 1264**  
 NOT TO SCALE

**EXAMPLE TRUSS IDENTIFICATION SIGN DATE:03/08/2005**  
 NEW YORK STATE DEPARTMENT OF STATE  
 DIVISION OF CODE ENFORCEMENT  
 AND ADMINISTRATION

Text of Rule  
 Effective December 29, 2004  
 19 NYCRR Part 1264

Subchapter C of Chapter XXXIII of Title 19 of the Official Compilation of Codes, Rules and Regulations of the State of New York is amended by adding a new Part 1264 to read as follows:

**Part 1264**  
**IDENTIFICATION OF BUILDINGS UTILIZING TRUSS TYPE CONSTRUCTION**

**1264.1 Introduction.**  
 Section 382-a of the Executive Law provides that commercial and industrial buildings and structures that utilize truss type construction shall be marked by a sign or symbol that informs persons conducting fire control and other emergency operations of the existence of truss construction. Section 382-a further directs the State Fire Prevention and Building Code Council to promulgate rules and regulations it deems necessary to carry into effect the provisions of the statute. This Part establishes certain requirements pertaining to the identification of building and structures that utilize truss type construction.

**1264.2 Enforcement.**  
 (a) Subdivision 4 of Section 382-a of the Executive Law directs local governments to provide for enforcement of the statute. Enforcement of section 382-a of the Executive Law shall include enforcement of the provisions of this Part. A fee of fifty dollars shall be paid by the Owner of a building with truss type construction to the authority having jurisdiction for enforcement of Section 382-a of the Executive Law prior to the issuance of a building permit.

(b) This Part shall not apply within a city with a population of one million or more persons.

**1264.3 Definition.**  
 For the purposes of this Part, truss type construction shall mean a fabricated structure of wood or steel, made up of a series of members connected at their ends to form a series of triangles to span a distance greater than would be possible with any of the individual members on their own. Truss type construction shall not include:

- (a.) individual wind or seismic bracing components which form triangles when diagonally connected to the main structural system; and
- (b.) structural components that utilize solid plate web members.

**1264.4 Identification of truss type construction.**

(a) Truss type construction shall be identified by a sign or signs in accordance with the provisions of this Part.  
 (b) Signs shall be affixed where a building or a portion thereof is classified as Group A, B, E, F, H, I, M, or S occupancy, and in hotels and motels classified as Group R-1 or R-2 occupancy, in accordance with the provisions for the classification of buildings set forth in Chapter 3 of the Building Code of New York State (see 19 NYCRR Part 1221)

(c) Signs shall be provided in newly constructed buildings that utilize truss type construction and in existing building where an addition that extends or increases the floor area of the building utilizes truss type construction. Signs shall be affixed prior the issuance of a certificate of occupancy or a certificate of compliance.

(d) Signs identifying the existence of truss construction shall consist of a circle 6 inches (152.4 mm) in diameter, with a stroke width of 1/2 inch (12.7 mm). The sign background shall be reflective white in color. The circle and contents shall be reflective in red in color, conforming to Pantone matching system (PMS) #187. Where a sign is directly applied to a door or sidelight, it may be a permanent non-fading sticker or decal. Signs not directly applied to doors or sidelights shall be of sturdy, non-fading, weather resistant material.

(e) Signs identifying the existence of truss construction shall contain the roman alphanumeric designation of the construction type of the building, in accordance with the provisions for the classification of types of construction set forth in section 602 of the Building Code of New York State (see 19 NYCRR Part 1221), and an alphabetic designation for the structural components that are of truss construction as follows:

"F" shall mean floor framing, including girders and beams.

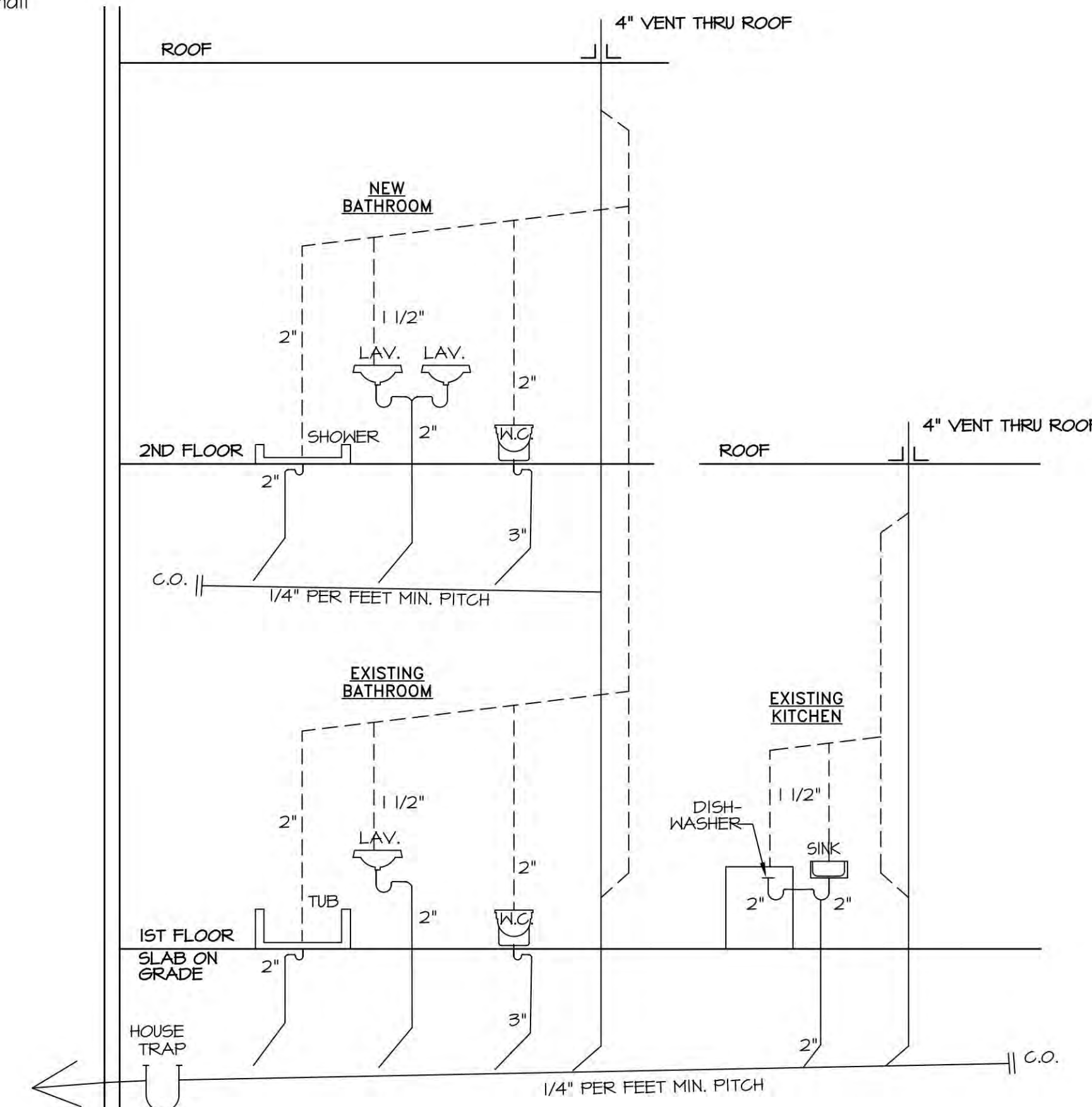
"R" shall mean roof framing.

"FR" shall mean floor and roof framing.

The construction type designation shall be placed at the twelve o'clock position over structural component designation, which shall be placed at the six o'clock position.

(f) Signs identifying the existence of truss construction shall be affixed in the locations specified in Table 1-1264.

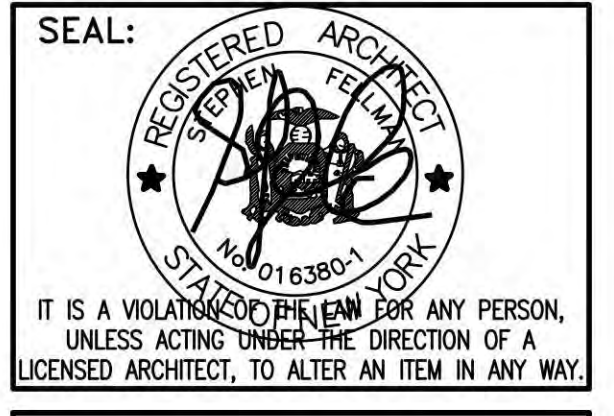
TABLE 1-1264 TRUSS IDENTIFICATION SIGN LOCATIONS	Sign Placement
Exterior building entrance doors, exterior exit discharge doors, and exterior roof access doors to a stairway	Attached to the door, or attached to a sidelight or the face of the building, not more than 12 inches (305 mm) horizontally from the latch side of the door jamb, and not less than 42 inches (1067 mm) nor more than 60 inches (1524 mm) above the adjoining walking surface.
Multiple contiguous exterior building entrance or exit discharge doors	Attached at each end of the row of doors and at a maximum horizontal distance of 12 feet (3.65M) between signs, and not less than 42 inches (1067 mm) nor more than 60 inches (1524 mm) above the adjoining walking surface.
Fire Department hose connections	Attached to the face of the building, not more than 12 inches (305 mm) horizontally from the center line of the fire department hose connection, and not less than 42 inches (1067 mm) nor more than 60 inches (1524 mm) above the adjoining walking surface.



NOTE: PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH SECTION F2605 OF THE 2020 RESIDENTIAL CODE OF NYS  
 NOTE: PIPING MATERIALS AND FITTINGS FOR WATER SUPPLY, WASTE AND VENTS MUST BE IN COMPLIANCE WITH CHAPTERS 25,26,21,28,24,30, AND 31 OF THE 2020 RESIDENTIAL CODE OF NYS - SIZES AS PER RISER DIAGRAM  
 NOTE: PIPING MATERIALS AND FITTINGS FOR WATER SUPPLY TO BE PEX W/ BRASS FITTINGS - WASTE AND VENTS TO BE PVC PIPE

**ZONING / TOWN CODE COMPLIANCE**  
**DISAPPROVED - Make corrections as noted and resubmit**  
 Anthony Raguseo  
 01/29/2025

NO.	DATE	REVISION
01/13/2025		REVISED AS PER CLIENT COMMENTS
12/11/2024		REVISED AS PER TOWN COMMENTS
10/25/2024		ISSUED TO BUILDING DEPARTMENT FOR PERMIT
09/16/2024		REVISED AS PER CLIENT COMMENTS
08/14/2024		REVISED AS PER CLIENT COMMENTS
08/13/2024		ISSUED FOR CLIENT REVIEW



**PROJECT TITLE:**  
**PROPOSED ONE STORY ADDITION AND INTERIOR ALTERATION**  
**FOR DACKOW RESIDENCE**  
 AT  
 208 JEROME AVE.  
 CARLE PLACE, NY 11514  
 TOWN OF NORTH HEMPSTEAD  
 NASSAU COUNTY, NEW YORK  
 SEC. 9-BLOCK. 470-LOT. 45

**DRAWN BY:** SAF  
**FILE NO.:** ---  
**PROJ. NO.:** 24-117  
**DWG. NO.:** **A-8**  
**TRUSS SIGN PLUMBING RISER**  
**DWG. TITLE:**



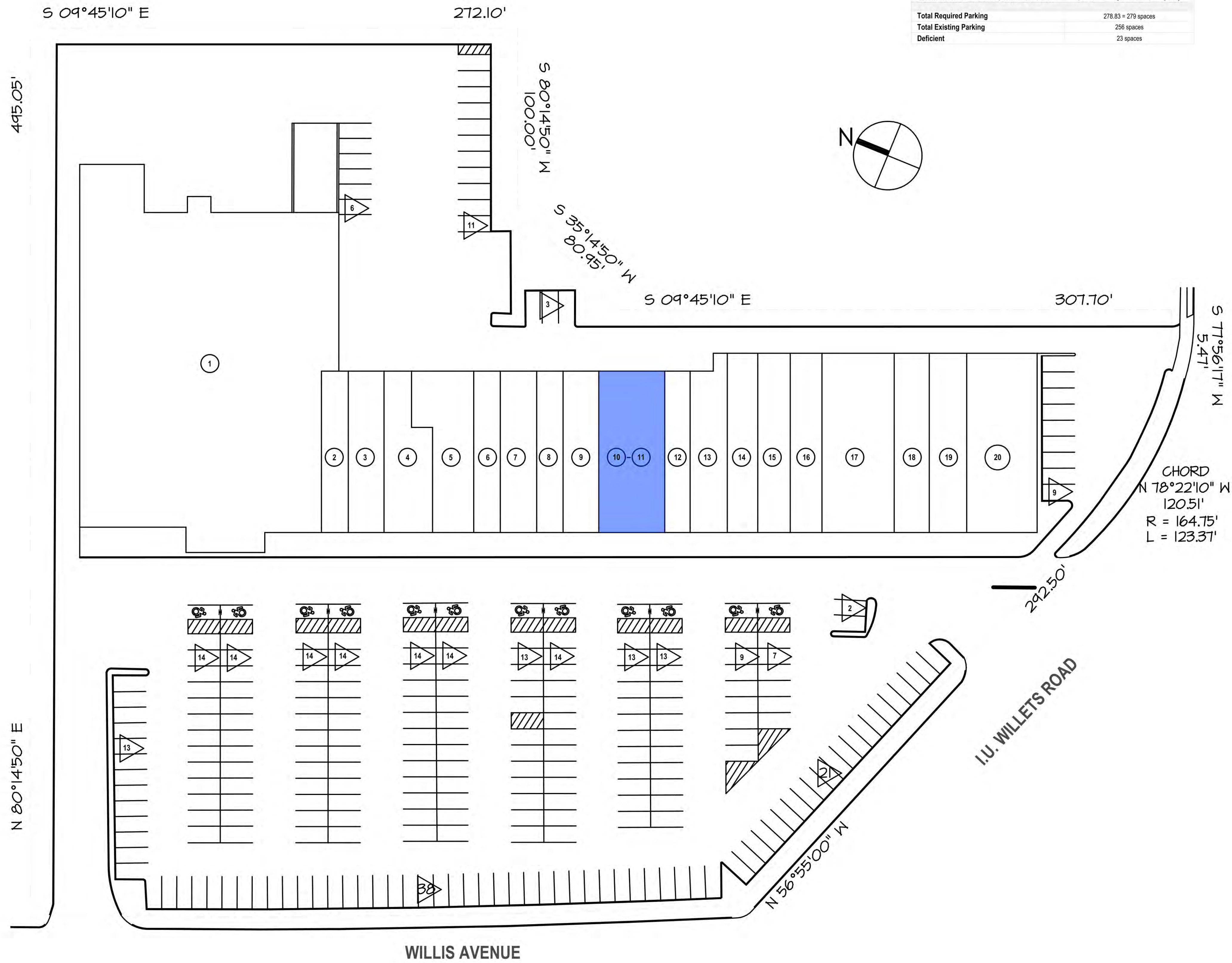
Note: Drawing May Be Printed at Reduced Scale  
 This is a violation of the State Education Law Section 7209(2) for any person to alter or tamper in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.  
 Client: Metro Physical & Aquatic Therapy  
 1024 Willis Avenue Albertson, NY 11507

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED FOR ZONING**  
 Anthony Basile  
 12/16/2024

CBP24-000273

Tag	Tenant	Occupancy	Gross Floor Area	Parking Requirement	Parking Required
1	FOOD EMPORIUM	M	26,403 sf	1 per 300 sf	88.01
2	ROSLYN KOSHER MEATS	M	1,370 sf	1 per 300 sf	4.57
3	STAGE CARDS	M	1,800 sf	1 per 300 sf	6.00
4	LA VITA BELLA SALON	B	2,070 sf	1 per 300 sf	6.90
5	CLOTHES HORSE	M	2,430 sf	1 per 300 sf	8.10
6	JERSEY MIKE'S SUBS	M	1,350 sf	1 per 300 sf	4.50
7	FISH MARKET	M	1,800 sf	1 per 300 sf	6.00
8	SALOMON JEWELERS	M	1,350 sf	1 per 300 sf	4.50
9	VISUAL EYES	M	1,800 sf	1 per 300 sf	6.00
10,11	METRO PHYSICAL THERAPY	B	2,660 sf	1 per 150 sf	17.73
12	NAIL SALON	B	1,350 sf	1 per 300 sf	4.50
13	SIMPLE WINE & LIQUOR	B	1,800 sf	1 per 300 sf	6.00
14	ICHIDO RAMEN NOODLE RESTAURANT	A2	1,750 sf	1 per 80 sf	21.88
			Lin. Feet of Bar = 9'-10"	1 per (3) lin. ft.	3.28
15-17	LESTER'S	M	8,260 sf	1 per 300 sf	27.53
18	GRILL MARK	A2	2,000 sf	1 per 80 sf	25.00
19	VINCENT'S PIZZERIA	A2	2,000 sf	1 per 80 sf	25.00
20	CITI BANK	B	4,000 sf	1 per 200 sf	20.00
			Total Prior to Deduction:		285.90
	PARKING CREDIT FOR MEDICAL, DENTAL & SIMILAR		1,000 sf	1 per 150 sf	(-6.67)
	<b>Total Required Parking</b>				278.83 = 279 spaces
	<b>Total Existing Parking</b>				256 spaces
	<b>Deficient</b>				23 spaces



1 SITE PLAN  
 SCALE: 1/32" = 1'-0"

Mark	Issue Date	Description	Revisions

DOB Stamp & Signature

B-Scan Sticker

REGISTERED APPRAISER  
 ANTHONY D. GIBREKOV  
 032056  
 STATE OF NEW YORK

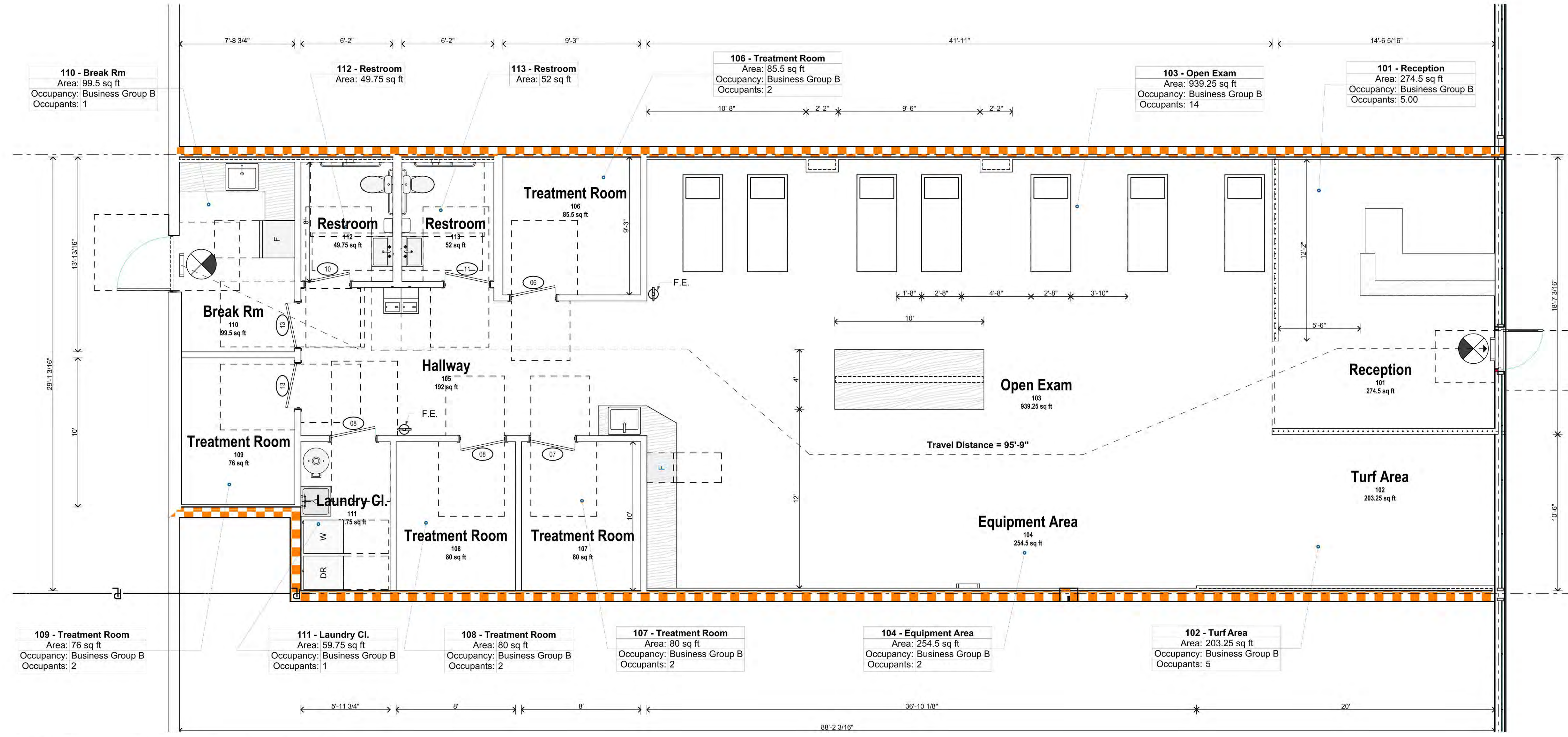
Signature & Seal NYIC DOB ID# A10276

1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY

Project Name  
 Site Plan & Parking Calculations

Drawing Title  
 Drawn By: AS Project Number: 2408  
 Checked By: AG Date: Scale

A010. 2 of 11  
 Drawing Number Page #



Note: Drawing May Be Printed at Reduced Scale  
 This is a violation of the State Education Law Section 7209 (2) for any person to alter an item in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such change.  
 Client: Metro Physical & Aquatic Therapy  
 1024 Willis Avenue Albertson, NY 11507

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED FOR ZONING**  
 Anthony Basile  
 12/16/2024

CBP24-000273

1 Egress and Code Compliance Plan - First Floor  
 SCALE: 1/4" = 1'-0"

ROOM OCCUPANCY SCHEDULE							
Story	Room Number	Room Name	Occupancy Classification	Measured Area (sf)	Occupant Function (per Table 1004)	Occupant Load Factor	Occupancy Load
Level 1	101	Reception	B	274.39	Business areas	150	5
	102	Turf Area	B	203.29	Exercise rooms	50	5
	103	Open Exam	B	939.26	Business areas	150	14
	104	Equipment Area	B	254.60	Business areas	150	2
	106	Treatment Room	B	85.56	Business areas	150	2
	107	Treatment Room	B	80.00	Business areas	150	2
	108	Treatment Room	B	80.00	Business areas	150	2
	109	Treatment Room	B	76.04	Business areas	150	2
	110	Break Rm	B	99.50	Business areas	150	1
	111	Laundry Cl.	B	59.79	Business areas	150	1
<b>Total Number of Occupants:</b>						<b>36</b>	

CODE SYMBOLS LEGEND	
	Property line
	Non-rated construction
	1-Hour rated construction
	2-Hour rated construction
	3-Hour rated construction
	Travel distance
	Common path of travel distance
	Ceiling mounted Exit sign
	Ceiling mounted directional Exit sign
	Fire Extinguisher: Provide sign above indicating "Fire Extinguisher"

**# - Room**

Area: ---

Occupancy: ---

Occupants: ---

Room number

Room name

Area (per Section 1004)

Occupancy group

(A) Accessory per Section 508.2

(I) Incidental per Section 509

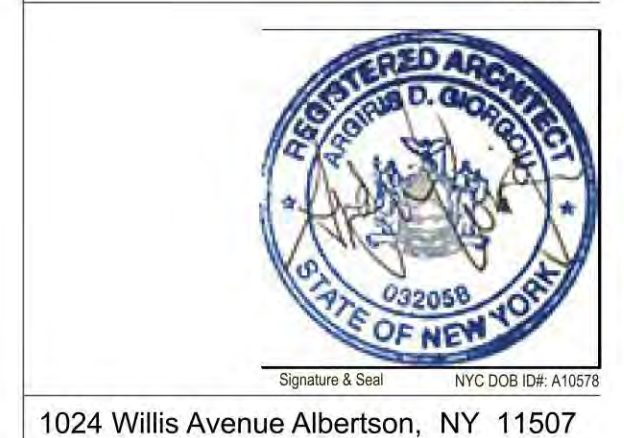
Occupant load

Total Interior Gross Area	
Occupancy Classification	Measured Area
BUSINESS	2,511.54

Exit Capacity: Exterior Doors				
Story	Door	Egress Width (")	Inches per Occupant	Occupant Capacity Allowed
Level 1	EX-1	33.00	0.20	165.00
	EX-2	33.00	0.20	165.00
<b>Total Exterior Door Capacity:</b>				<b>330 occupants</b>
<b>Total Occupant Load:</b>				<b>36 occupants</b>

- Egress / Fire Protection Notes:**
- Location of all fire extinguishers shall comply with all code requirements including the 2020 Building Code of New York State; 2020 Existing Building Code of New York State, NYS Fire Code and NFPA 10.
  - All means of egress shall be readily accessible and maintained in accordance with Chapter 10 of the 2020 Building Code of New York State; 2020 Existing Building Code of New York State, Per BC 1010.1.9, all exit doors shall be readily operable from the egress side without the use of a key, special knowledge or effort.
  - Corridors serving and occupant load of less than 50 shall have a minimum width of 36" per BC 1020.2. Minimum width of paths of egress and required inches per occupant shall be determined per Table 1004.5.
  - Maximum dead end corridor shall be 20 feet per BC 1020.4.
  - Maximum travel distance shall be 200 feet per Table 1017.2 without the inclusion of an automatic sprinkler system.
  - Exit doors included within means of egress shall be as per BC 1010 and follow requirements for size, direction of swing, opening force, hardware, etc. as described therein. Fire doors shall have a fire-resistance rating per Table 716.1(2). Glazing requirements shall comply with BC 716.1.2 and Table 716.1(1).
  - Exit signs shall be installed in accordance with BC 1013. Placement of all exit signs are visible within 100 feet or the listed viewing distance of the sign, whichever is less, from the nearest visible exit sign.

Mark	Issue Date	Description



1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY  
 Project Name:  
**Egress and Code Compliance Plan**  
 Drawing Title:  
 Drawn By: A.S. Project Number: 2408  
 Checked By: AG Scale: Date:

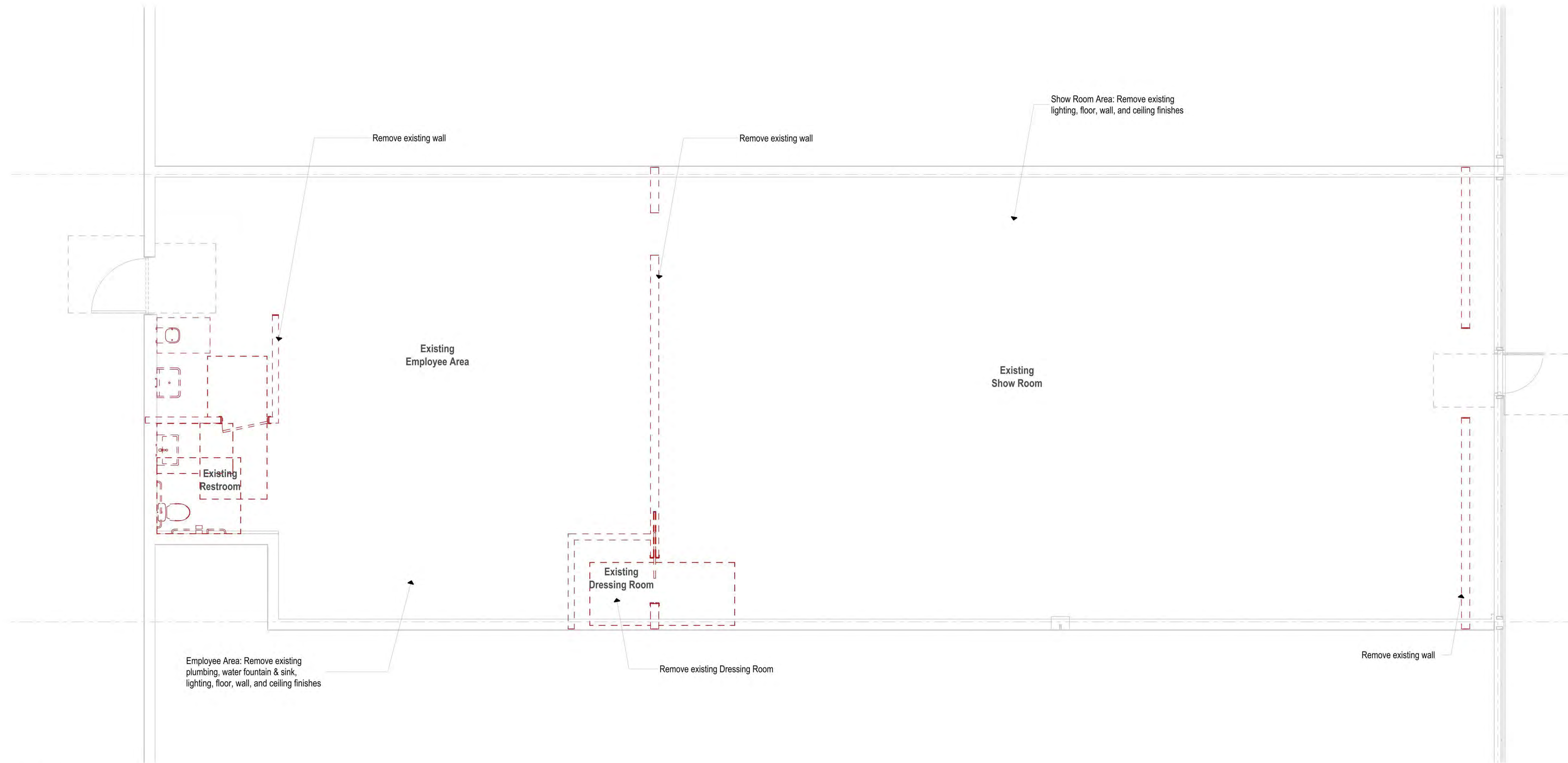
Note: Drawing May Be Printed at Reduced Scale  
 This is a violation of the State Education Law Section 7204 (2) for any person to alter an item in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.

Client: Metro Physical & Aquatic Therapy  
 1024 Willis Avenue Albertson, NY 11507

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED FOR ZONING**  
 Anthony Basile  
 12/16/2024

CBP24-000273



1 Removals Plan  
 SCALE: 1/4" = 1'-0"

**Key**

--- Existing Work to be Removed

- Notes:**
- All dimensions to be V.I.F. by Contractor.
  - Contractor shall comply with OSHA requirements for any work on temporary platforms greater than 6'-0" above the floor.
  - Contractor shall make probes and explorations as necessary to ascertain any required protective measures prior to proceeding with removals work.
  - Contractor shall be held responsible for any damage which may be caused to any part or parts of the existing structure, enclosure, fixtures, equipment and/or finished surfaces not designated to be removed as part of this work.
  - Where existing walls are to remain in whole or part, leave edges of existing material neat, sharp and firmly in place so that new materials can be properly and securely joined to existing.
  - Perform associated electric work as necessary, including removal of devices and wiring made obsolete by the scope of the removals. Existing electrical distribution panels shall remain. Provide temporary supports for said panels as required. Temporary support shall consist of Unistrut or Kindorf framing members to safely support panel.
  - All electrical work and plumbing removals, disconnects and capping work shall be performed by contractors licensed to perform such work in Town of North Hempstead.
  - Maintain the job site in an orderly condition. Materials, tools and equipment shall be organized, and waste materials and rubbish removed so that they do not inhibit the orderly progress of the job. Remove any flammable waste material from the job site at the end of each working day.
  - At the completion of the removals work, remove tools, equipment, rubbish, and any remaining debris. Leave site "broom clean".

Mark	Issue Date	Description	Revisions

Mark Issue Date Description Revisions

DOB Stamp & Signature

B-Scan Sticker

Signature & Seal NYC DOB ID# A10578



1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY

Project Name

**Removals Plan**

Drawing Title  
 Drawn By: A.S. Project Number: 2406  
 Checked By: A.G. Date: Scale

A061. 4 of 11

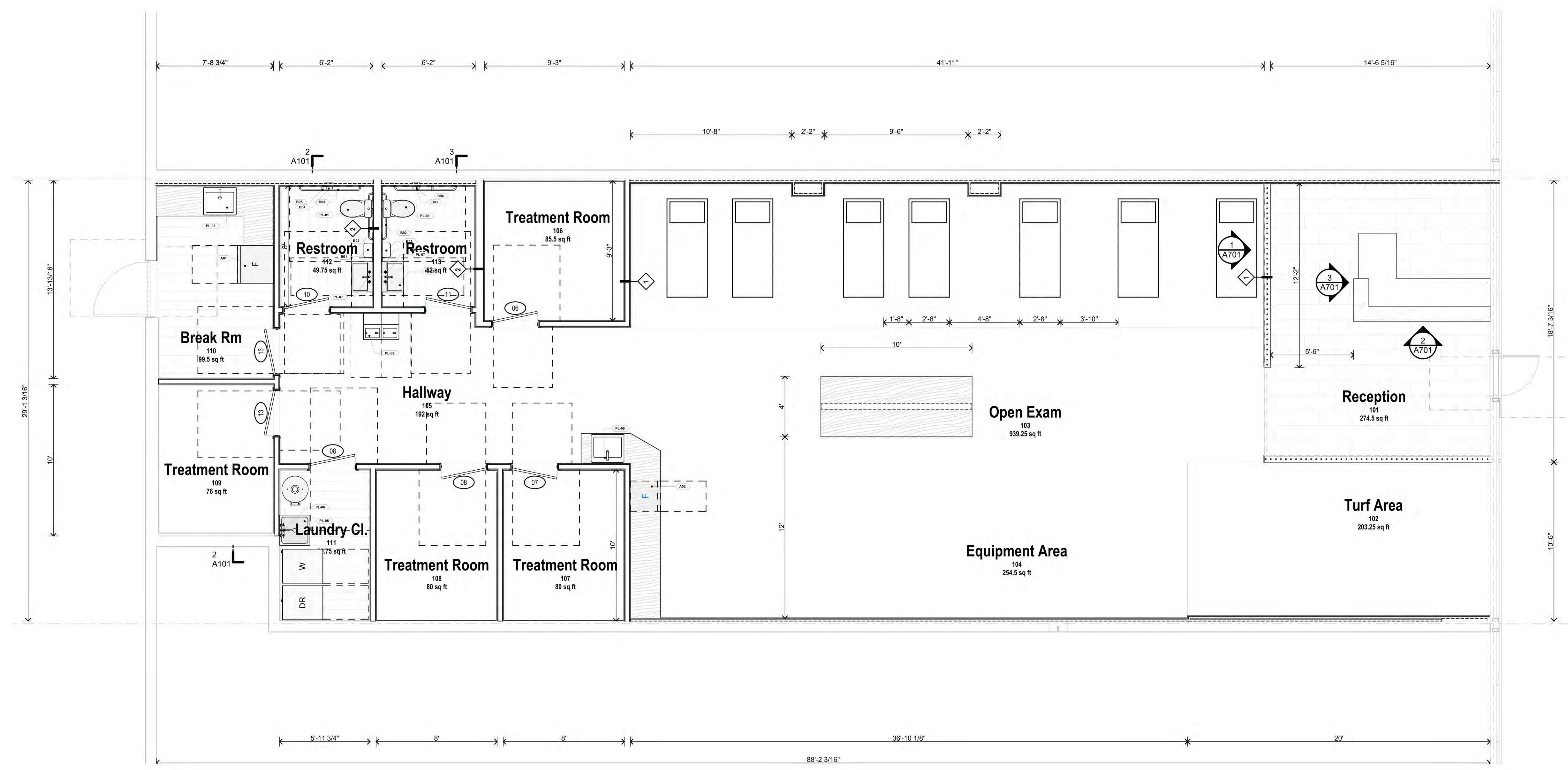
Drawing Number Page #



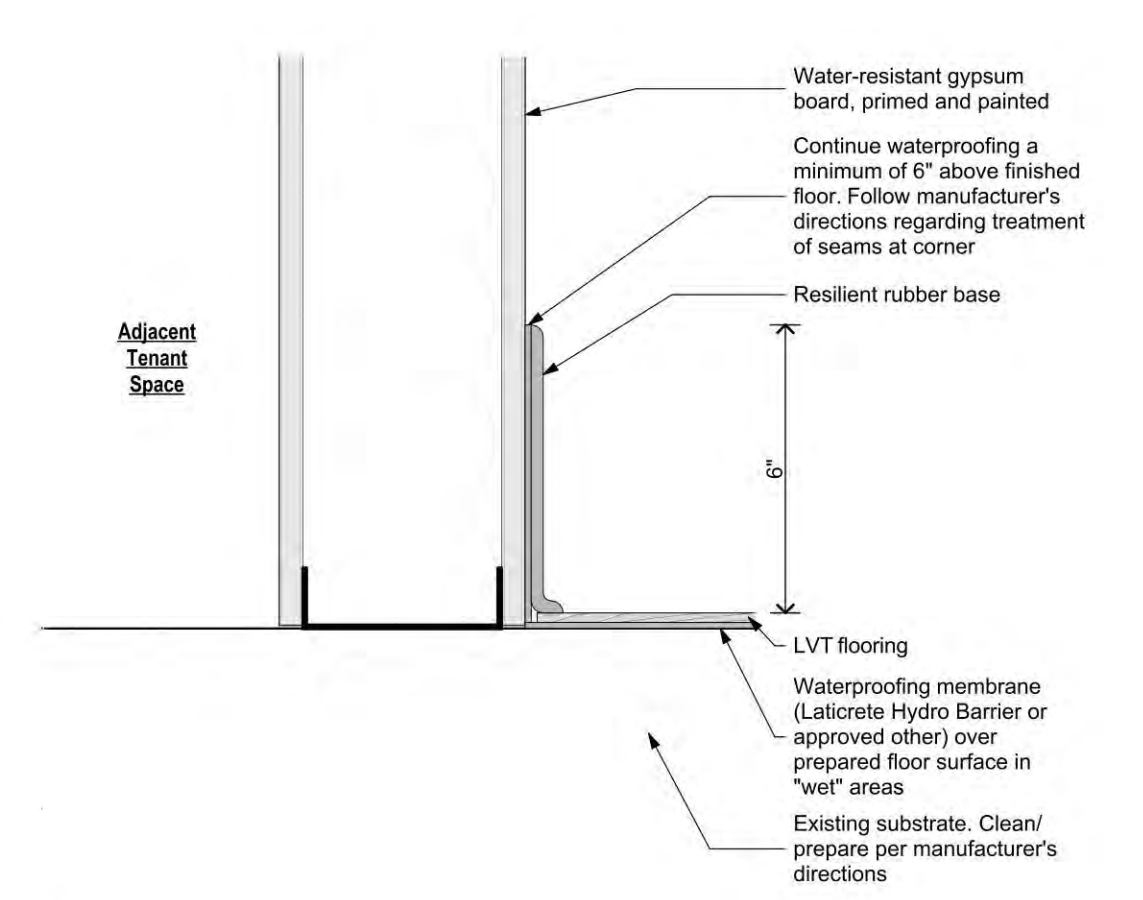
No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED For ZONING**  
 Anthony Basile  
 12/16/2024

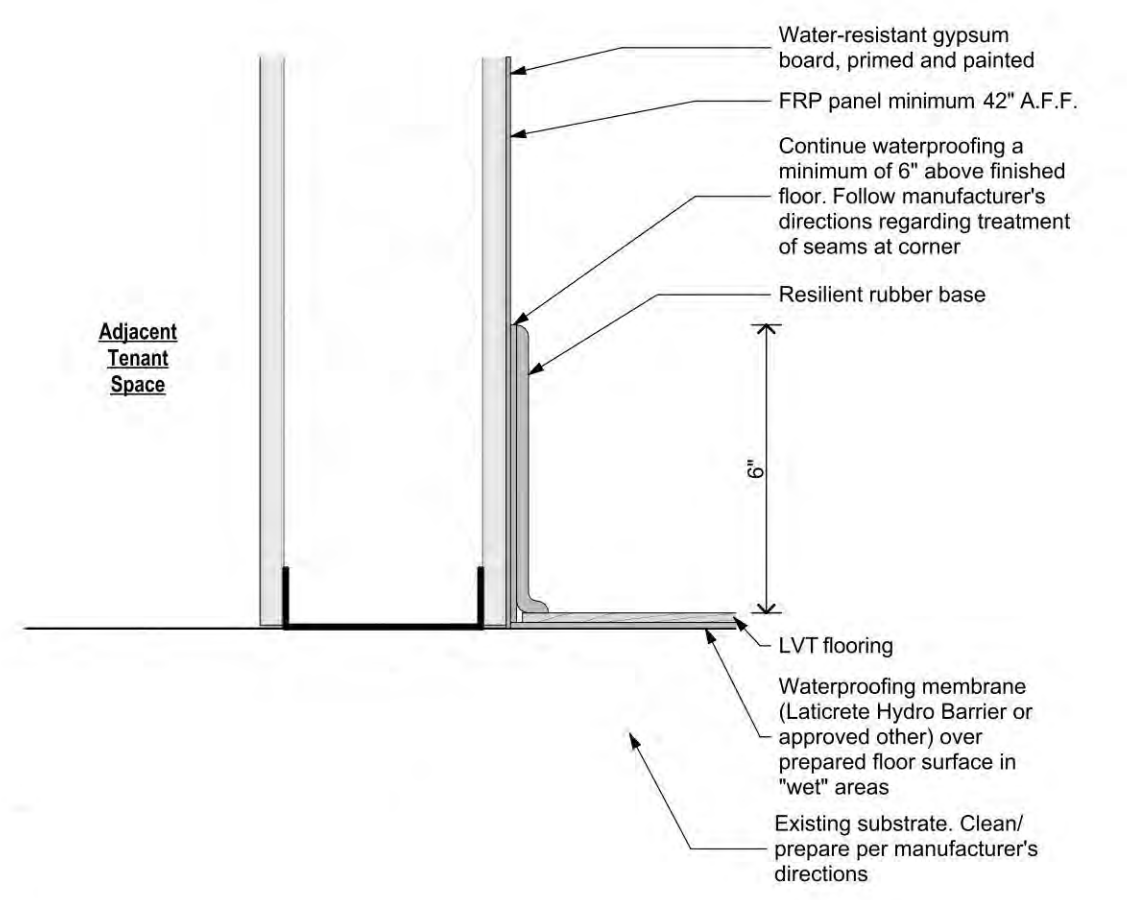
CBP24-000273



1 Proposed Floor Plan  
 SCALE: 1/4" = 1'-0"

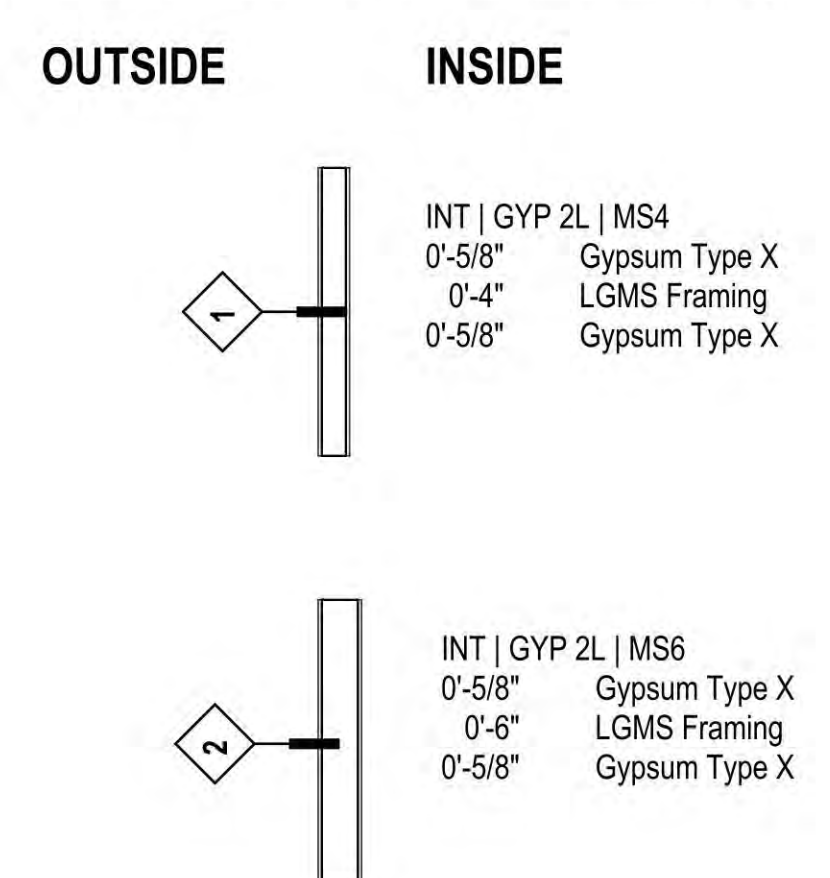


2 Waterproofing detail @ "wet" areas  
 SCALE: 3" = 1'-0"



3 Waterproofing detail @ laundry "wet" areas  
 SCALE: 3" = 1'-0"

### INTERIOR PARTITION TYPES



Mark	Issue Date	Description	Revisions

1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY

Project Name: Proposed Floor Plan

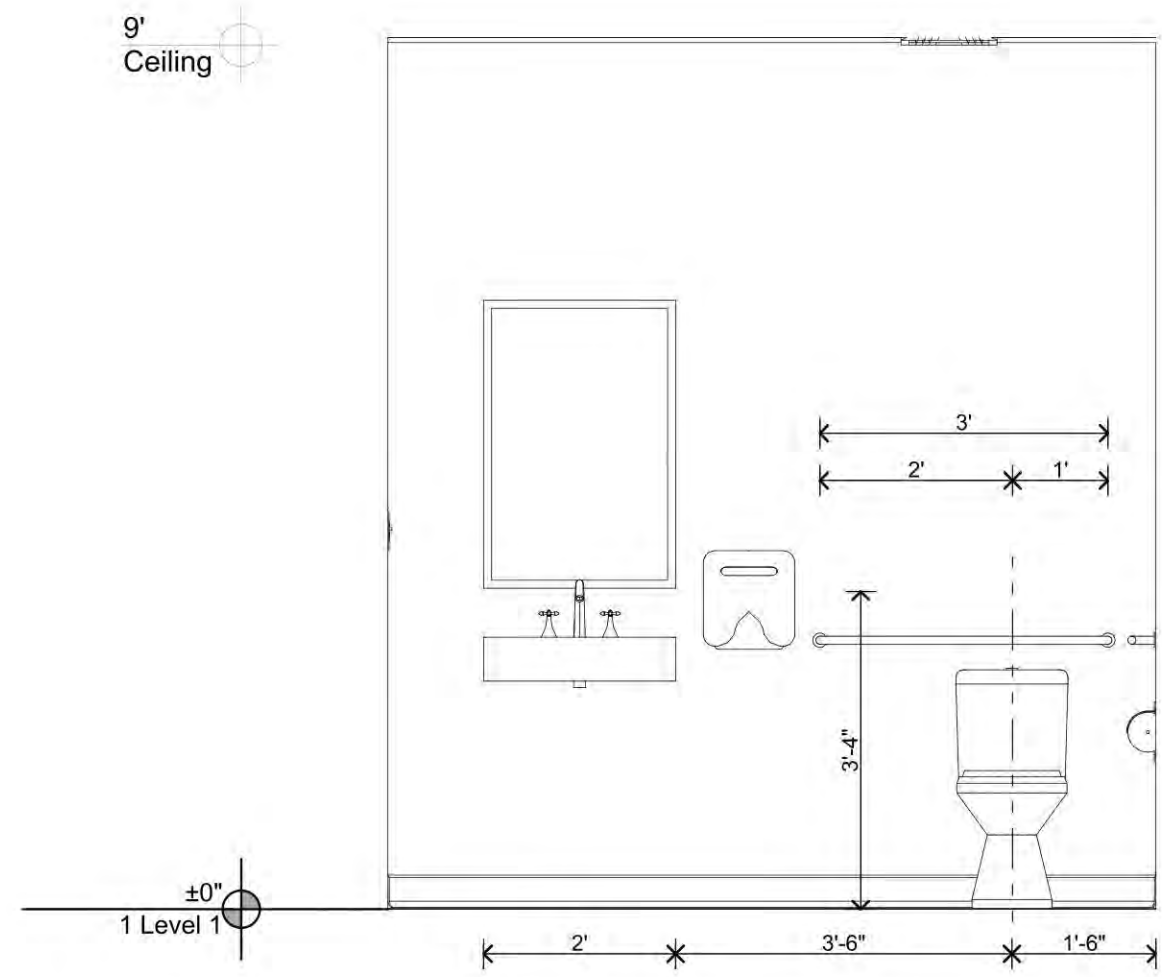
Drawing Title: A101

Drawn By: A.S. Project Number: 2408  
 Checked By: A.G. Date: Scale

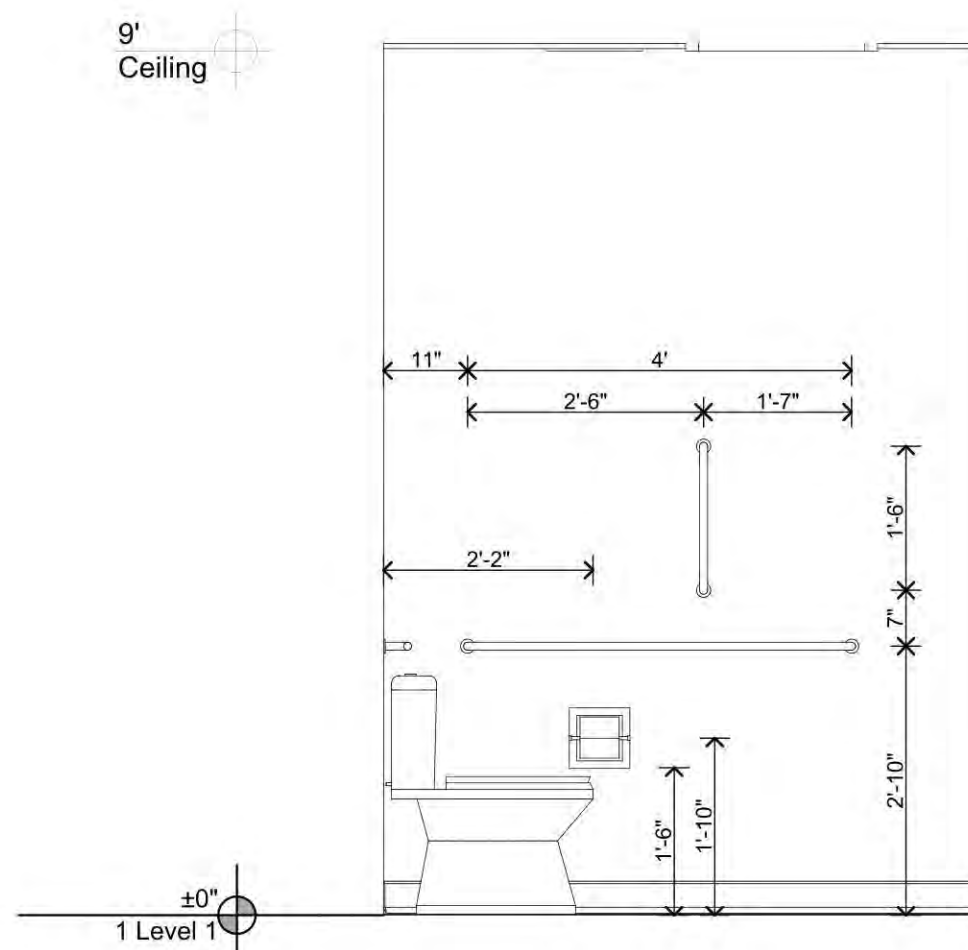
5 of 11  
 Page #

**Plumbing Notes:**

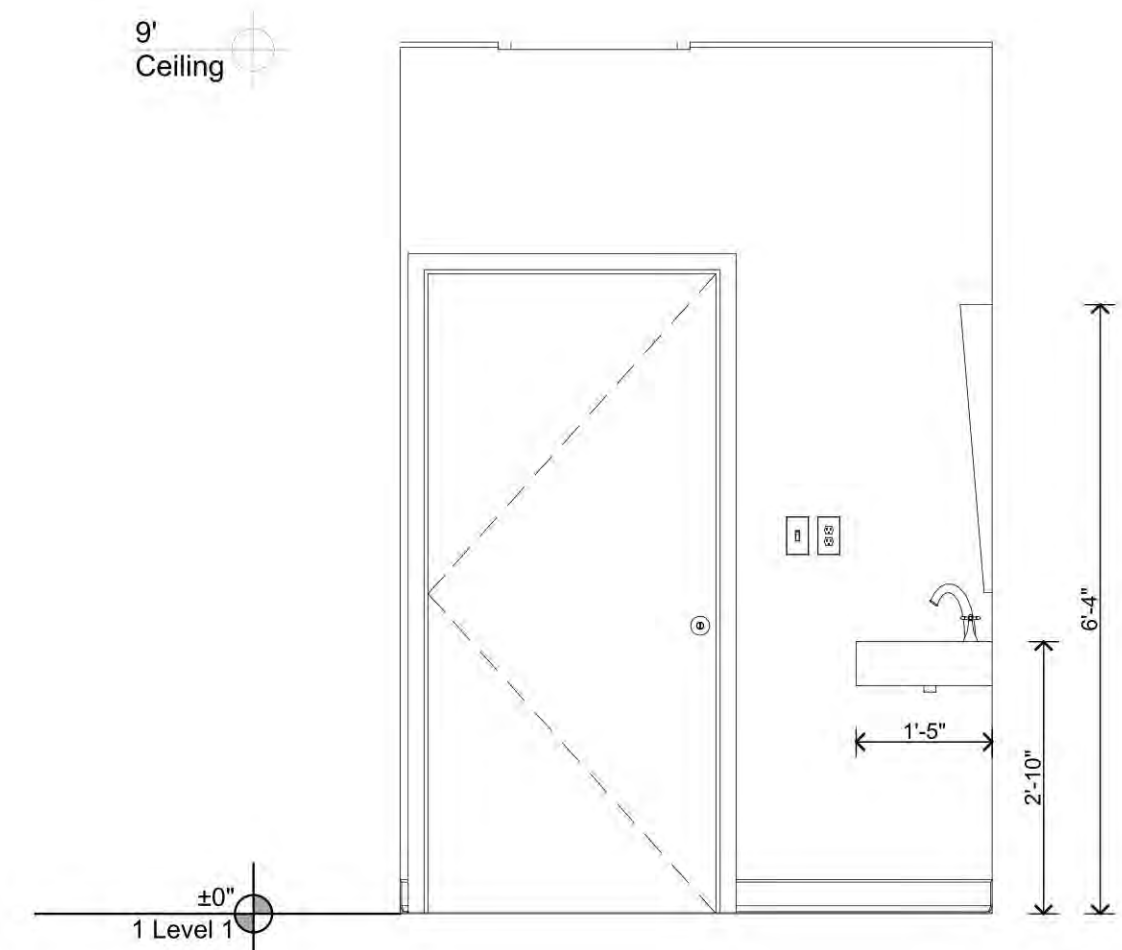
- The Contractor shall furnish all permits, labor, materials, equipment, services, tools, transportation and facilities necessary for, reasonably implied and incidental to, the furnishing, installation, completion and testing of all the work for the plumbing systems as shown on the drawings, called for in the specifications, and as required by job conditions.
- Contractor shall obtain plumbing work permit. Plumbing contractor shall be required to obtain Building Department inspections, approval and permit closeout.
- All work shall be in conformance with the State of New York Plumbing Code.
- Install all necessary pipe hangers, saddles, and carriers to properly support all piping and fixtures. Hangers shall suit type of piping provided.
- Provide new 3" gas pipe back to meter. Cut & cap existing gas piping as required. New piping shall run thru existing basement or ceiling above. Coordinate with building Owner and Tenant. Provide new meter as required by utility company.
- Provide new 1-1/2" HW and 2" CW pipes back to existing mains. Cut and cap existing piping as required. New piping shall run thru basement or in ceiling above. Coordinate work with building Owner and Tenant. Verify all work in field. Contractor shall test existing water meter serving Owner's space and replace if necessary.
- Provide new 4" waste pipe to existing waste. Cut and cap existing piping as required. New piping shall run thru existing basement or below slab. Coordinate work with Building Owner and Tenant. Verify all work in field. Provide new 4" vent pipe to existing stack.
- Diameters indicated are for informational purposes only. Existing shall be verified in field by Plumbing Contractor.



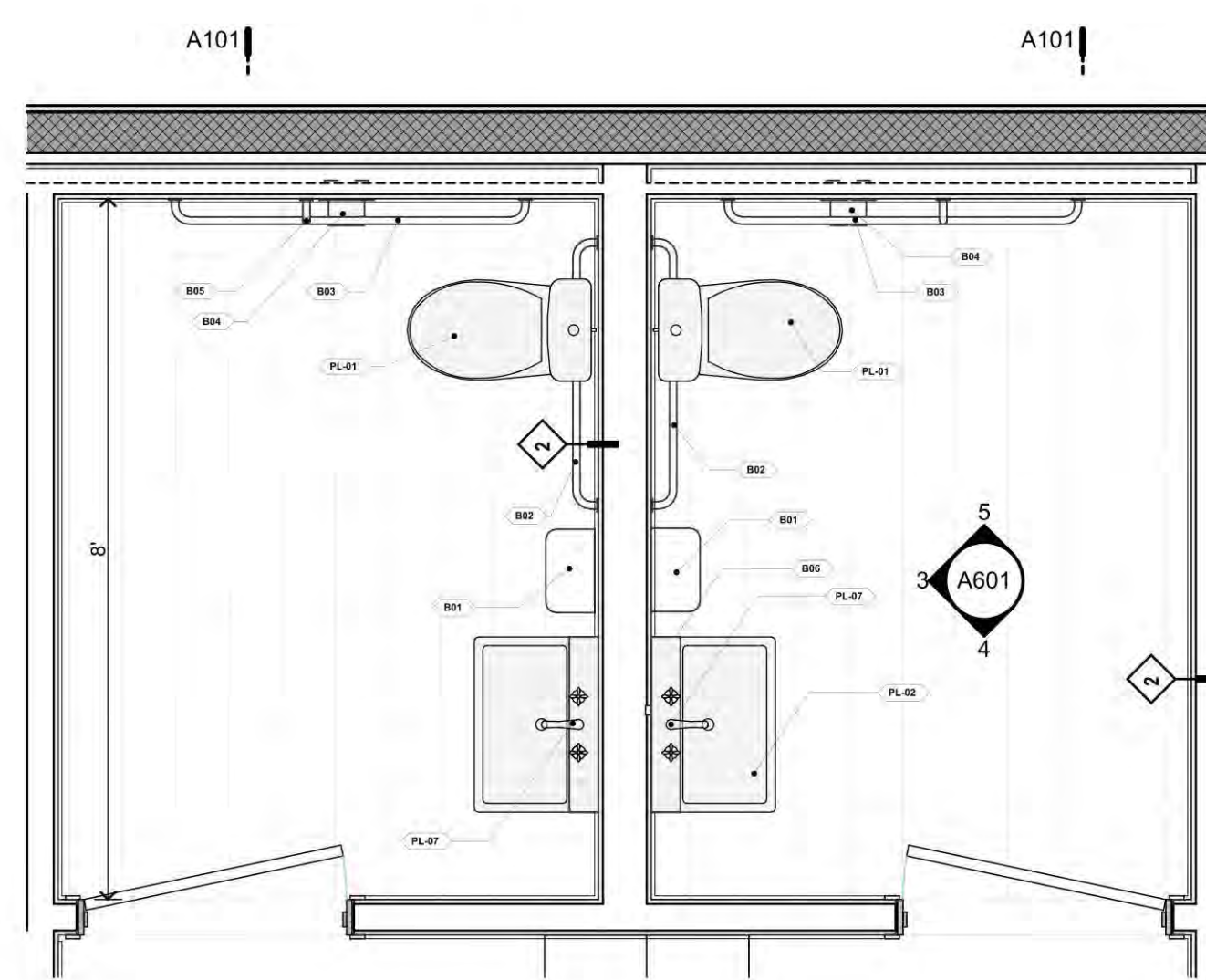
3 Restroom - West Elevation  
SCALE: 1/2" = 1'-0"



5 Restroom - North Elevation  
SCALE: 1/2" = 1'-0"

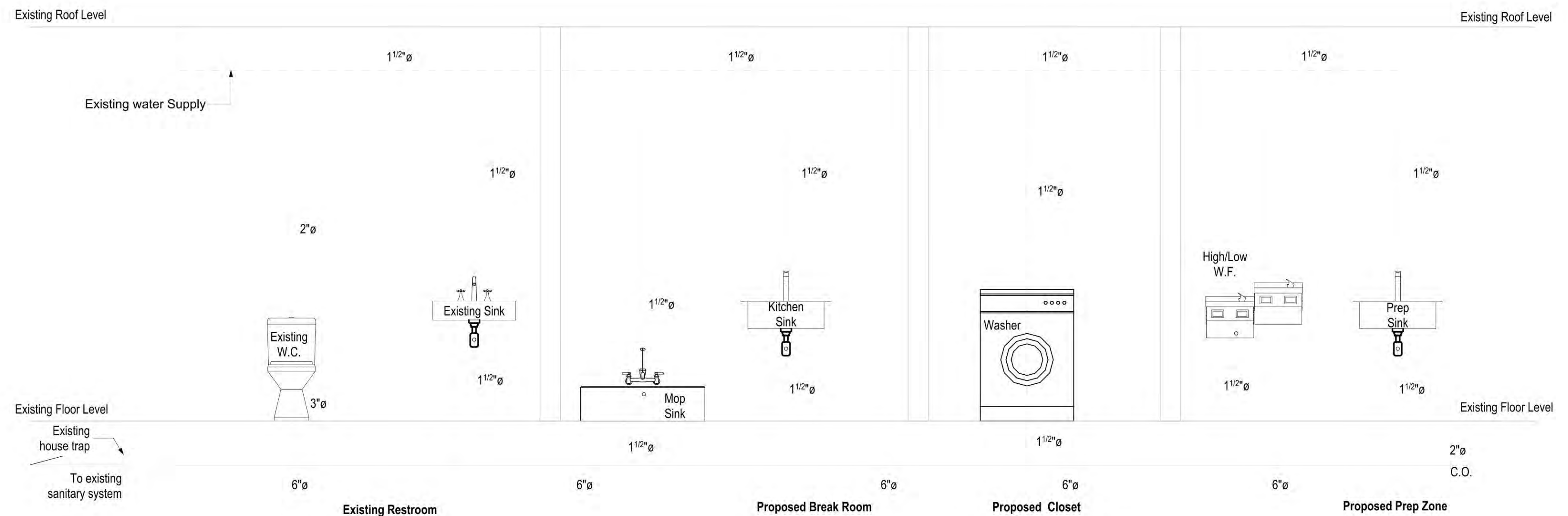


4 Restroom - South Elevation  
SCALE: 1/2" = 1'-0"



2 Enlarged Toilet Plan @ 109  
SCALE: 1/2" = 1'-0"

LEGEND Plumbing							
#	Type	3D Front Axonometry	2D Plan Preview	Element ID	Manufacturer	Model	Website
PL-01	Water Closet			Toilet Residential	Kohler	K-3999	<a href="https://www.kohler.com/en/products/toilets/shop-toilets/highline-comfort-height-two-piece-elongated-1-28-gpf-chair-height-toilet-3999">https://www.kohler.com/en/products/toilets/shop-toilets/highline-comfort-height-two-piece-elongated-1-28-gpf-chair-height-toilet-3999</a>
PL-01	Water Closet			Toilet Residential	Kohler	K-3999	<a href="https://www.kohler.com/en/products/toilets/shop-toilets/highline-comfort-height-two-piece-elongated-1-28-gpf-chair-height-toilet-3999">https://www.kohler.com/en/products/toilets/shop-toilets/highline-comfort-height-two-piece-elongated-1-28-gpf-chair-height-toilet-3999</a>
PL-02	Wall-hung Basin Sink			Basin Sink - Wall Mount	Kohler	K-2006	<a href="https://www.kohler.com/en/products/commercial/shop-commercial-lavatories-sinks/kingston-21-1-4-x-18-1-8-wall-mount-concealed-arm-carrier-bathroom-sink-with-widespread-faucet-holes-2006">https://www.kohler.com/en/products/commercial/shop-commercial-lavatories-sinks/kingston-21-1-4-x-18-1-8-wall-mount-concealed-arm-carrier-bathroom-sink-with-widespread-faucet-holes-2006</a>
PL-02	Wall-hung Basin Sink			Basin Sink - Wall Mount	Kohler	K-2006	<a href="https://www.kohler.com/en/products/commercial/shop-commercial-lavatories-sinks/kingston-21-1-4-x-18-1-8-wall-mount-concealed-arm-carrier-bathroom-sink-with-widespread-faucet-holes-2006">https://www.kohler.com/en/products/commercial/shop-commercial-lavatories-sinks/kingston-21-1-4-x-18-1-8-wall-mount-concealed-arm-carrier-bathroom-sink-with-widespread-faucet-holes-2006</a>
PL-03	Undermount Sink			Sink-Multistyle	TBD		http:
PL-05	Mop Sink			Mop Sink	Zurn	Z1996-24	<a href="https://www.zurn.com/products/building-drainage/building-light-commercial/z1996-24">https://www.zurn.com/products/building-drainage/building-light-commercial/z1996-24</a>
PL-06	FAUCET			Wall Tap	Kohler	K-8928	<a href="https://www.kohler.com/products/commercial/shop-commercial-faucets/double-lever-handle-service-sink-faucet-with-loose-key-stops-rubber-hose-wall-hook-and-lever-handles-8928">https://www.kohler.com/products/commercial/shop-commercial-faucets/double-lever-handle-service-sink-faucet-with-loose-key-stops-rubber-hose-wall-hook-and-lever-handles-8928</a>
PL-07	FAUCET			Tap-Sink Counter Mounted	American Standard	AS6540270	<a href="https://www.americanstandard-us.com/mechanical-commercial-fittings/monterrey-8-inch-widespread-gooseneck-faucet-with-wrist-blade-handles-15-gpm-57-lpm-with-flexible-underbody/chrome-6540270002">https://www.americanstandard-us.com/mechanical-commercial-fittings/monterrey-8-inch-widespread-gooseneck-faucet-with-wrist-blade-handles-15-gpm-57-lpm-with-flexible-underbody/chrome-6540270002</a>
PL-07	FAUCET			Tap-Sink Counter Mounted	American Standard	AS6540270	<a href="https://www.americanstandard-us.com/mechanical-commercial-fittings/monterrey-8-inch-widespread-gooseneck-faucet-with-wrist-blade-handles-15-gpm-57-lpm-with-flexible-underbody/chrome-6540270002">https://www.americanstandard-us.com/mechanical-commercial-fittings/monterrey-8-inch-widespread-gooseneck-faucet-with-wrist-blade-handles-15-gpm-57-lpm-with-flexible-underbody/chrome-6540270002</a>
PL-08	Undermount Sink			Sink-Multistyle	TBD		http:
PL-09	Drinking Fountain			125v Duplex Outlet	Zurn Elkay	EZSTLDDWSSK ezH20	<a href="https://www.webstaurantstore.com/elkay-ezstlddwssk-ezh20-stainless-steel-hands-free-non-filtered-bottle-filling-station-with-versatile-bi-level-drinking-fountain/438ESTLDW.html?utm_source=google&amp;utm_medium=cpc&amp;clid=Cj0KCQjw2ou2BhCCARIsANAwM2FSzjWh2wumE3tX5yKDKKuICOYN-XLn4U1caMEOO_ySMLXKdZh1kSuAvsJEAL_w_wcB">https://www.webstaurantstore.com/elkay-ezstlddwssk-ezh20-stainless-steel-hands-free-non-filtered-bottle-filling-station-with-versatile-bi-level-drinking-fountain/438ESTLDW.html?utm_source=google&amp;utm_medium=cpc&amp;clid=Cj0KCQjw2ou2BhCCARIsANAwM2FSzjWh2wumE3tX5yKDKKuICOYN-XLn4U1caMEOO_ySMLXKdZh1kSuAvsJEAL_w_wcB</a>



1 Plumbing Riser Diagram  
SCALE: 1/2" = 1'-0"

123 South Street, Suite 205 Oyster Bay, NY 11771  
 Tel: 1-848-844-1550  
 Fax: www.Studio8.com  
 Email: studio8@studio8.com

Drawing May Be Printed at Reduced Scale  
 This is a violation of the State Education Law Section 7204 (2) for any person to alter an item in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.  
 Client: Metro Physical & Aquatic Therapy  
 1024 Willis Avenue Albertson, NY 11507

**DISAPPROVED  
FOR  
ZONING**  
Anthony Basile  
12/16/2024

CBP24-000273

Mark	Issue Date	Description

Signature & Seal  
  
 Metro Physical Therapy - Albertson, NY





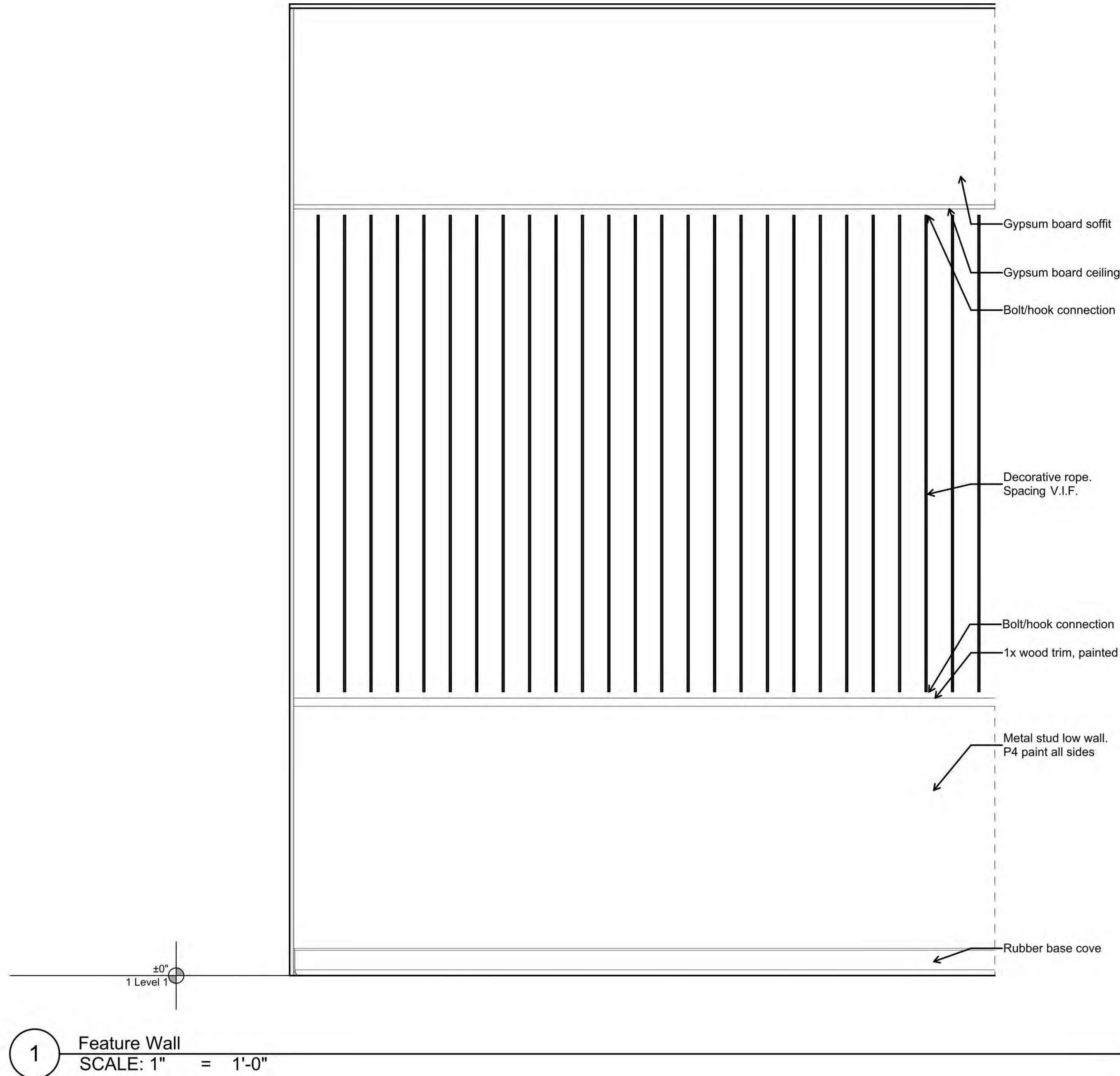
Architect: Studio BB Architecture, PC  
 123 South Street, Suite 205 Oyster Bay, NY 11771  
 Tel: 1-848-844-1550  
 Web: www.8studio8.com  
 Email: studio@8studio8.com

Note: Drawing May Be Printed at Reduced Scale  
 This is a violation of the State Education Law Section 7204 (2) for any person to alter an item in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.  
 Client: Metro Physical & Aquatic Therapy  
 1024 Willis Avenue Albertson, NY 11507

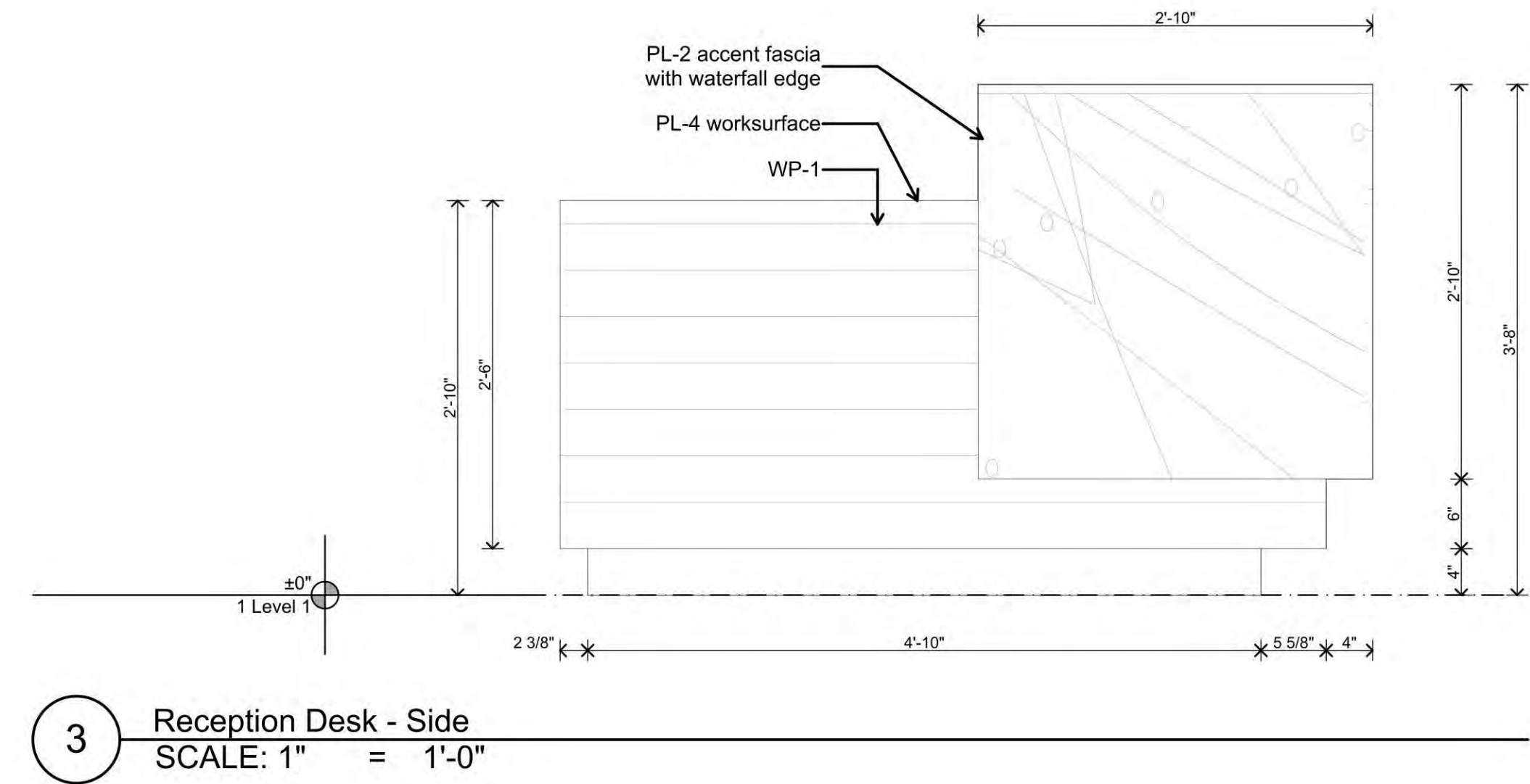
No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED**  
 FOR  
**ZONING**  
 Anthony Basile  
 12/16/2024

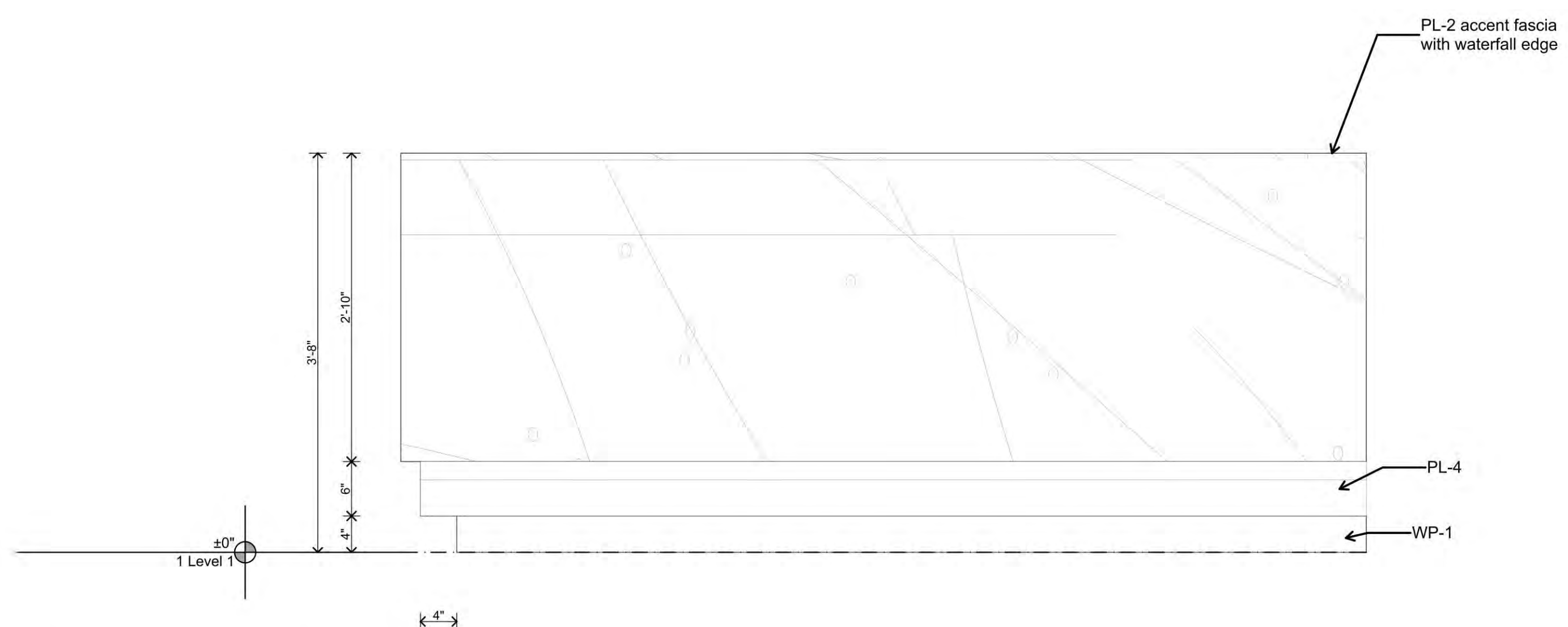
CBP24-000273



1 Feature Wall  
 SCALE: 1" = 1'-0"



3 Reception Desk - Side  
 SCALE: 1" = 1'-0"

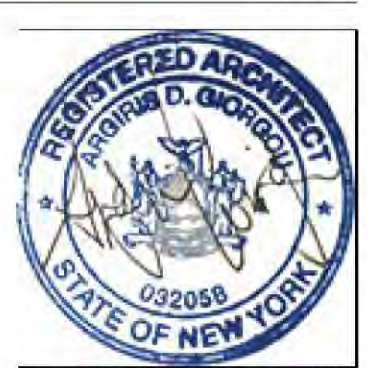


2 Reception Desk - Front  
 SCALE: 1" = 1'-0"

Mark	Issue Date	Description	Revisions

DOB Stamp & Signature

B-Scan Sticker



1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY

Project Name  
 Interior Elevations

Drawing Title	Project Number	Scale
Drawn By: A.S.	2408	
Checked By: AG		

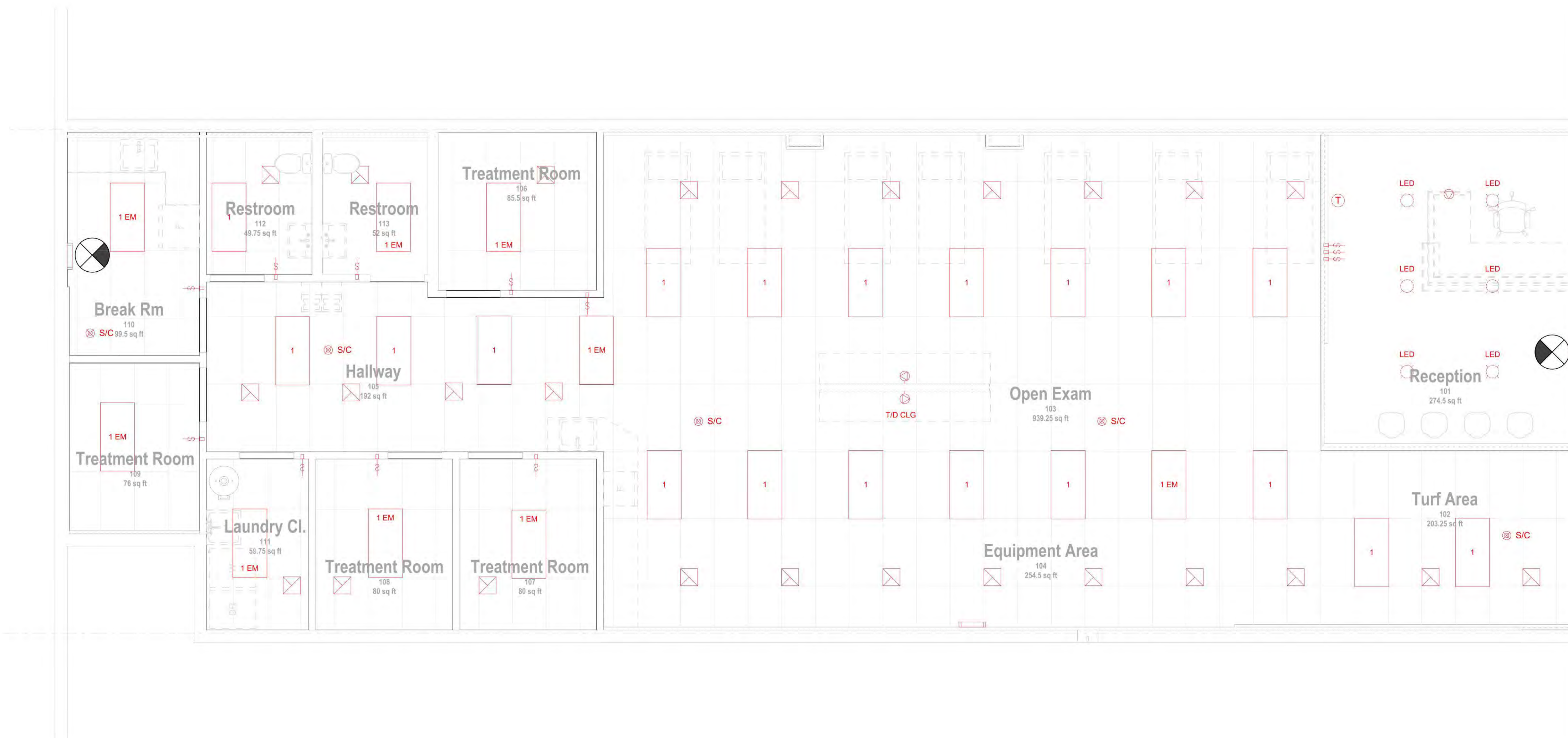
Note  
Drawing May Be Printed at Reduced Scale  
This is a violation of the State Education Law Section 7202(2) for any person to alter an item in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.

Client Metro Physical & Aquatic Therapy  
1024 Willis Avenue Albertson, NY 11507

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED**  
For  
ZONING  
Anthony Basile  
12/16/2024

CBP24-000273



1 Reflected Ceiling Plan  
SCALE: 1/4" = 1'-0"

- Electrical, Lighting & HVAC Notes:**
- All light types and locations to be verified by Owner.
  - HVAC layout and specifications by others.
  - Provide typical lighting and switches per code.
  - Consult with Owner for specialty outlets, equipment outlets and switches.
  - Emergency lighting to provide a minimum of 1 foot candle @ walking surface (1008.2.1 NYS Fire Code).
  - Acoustic tile and lay-in panel ceiling suspension system and installation to be strictly in accordance with the provisions of the 2020 Building Code of New York State; 2020 Existing Building Code of New York State..

LEGEND Electrical		
Symbol	Description	Note
[Symbol]	12"x12" square louver face ceiling diffuser	Relocated
[Symbol]	24"x48" LED flat panel, 120-277V selectable watts & CCT 30 watts (3630 lumens/ 337 FC)	New
[Symbol]	24"x48" LED flat panel, 120-277V selectable watts & CCT w/ emergency light battery backup 30 watts (3630 lumens/ 337 FC)	New
[Symbol]	5" recessed downlight	New
[Symbol]	Data for TVs above ceiling	New
[Symbol]	Duplex receptacle - 18" mounting height	New
[Symbol]	Duplex receptacle - 42" mounting height, ground fault interrupter	New
[Symbol]	Electrical switch	New
[Symbol]	Emergency exit sign	New
[Symbol]	Floor receptacle. Coordination location with owner	New
[Symbol]	Power for TV's above ceiling	New
[Symbol]	Smoke and carbon monoxide detector	New
[Symbol]	Telephone / Data	New
[Symbol]	Thermostat	New

Mark	Issue Date	Description	Revisions

DOB Stamp & Signature

B-Scan Sticker



Signature & Seal NYIC DOB ID# A10271  
1024 Willis Avenue Albertson, NY 11507  
Metro Physical Therapy - Albertson, NY

Project Name

Reflected Ceiling Plan

Drawing Title  
Drawn By: A.S. Project Number: 2406  
Checked By: A.G. Date: Scale



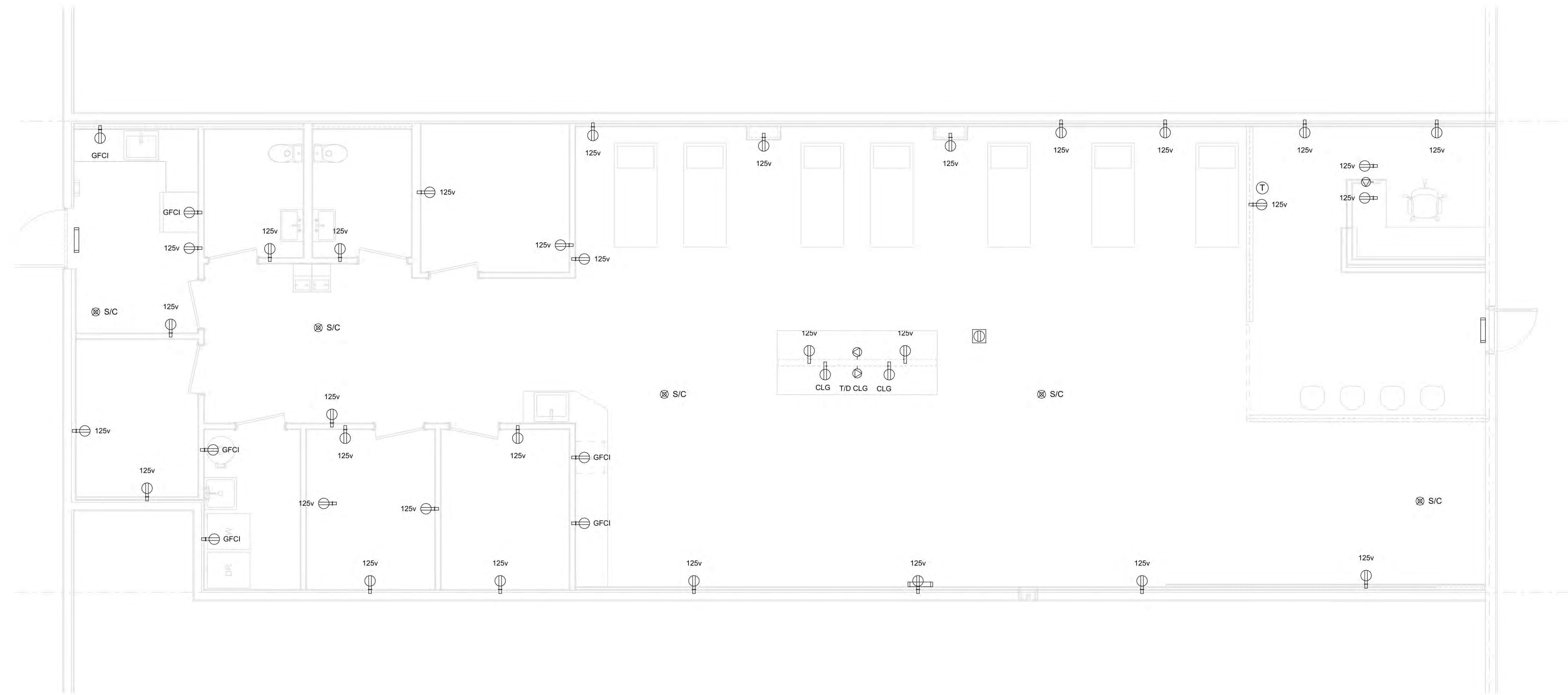
Note: Drawing May Be Printed at Reduced Scale  
 It is a violation of the State Education Law Section 720(2) for any person to alter an item in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.

Client: Metro Physical & Aquatic Therapy  
 1024 Willis Avenue Albertson, NY 11507

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED**  
**FOR**  
**ZONING**  
 Anthony Basile  
 12/16/2024

CBP24-000273



1 Electrical Power Plan  
 SCALE: 1/4" = 1'-0"

Mark	Issue Date	Description	Revisions

Mark Issue Date Description Revisions

DOB Stamp & Signature

B-Scan Sticker



Signature & Seal NYC DOB DBR A10371  
 1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY

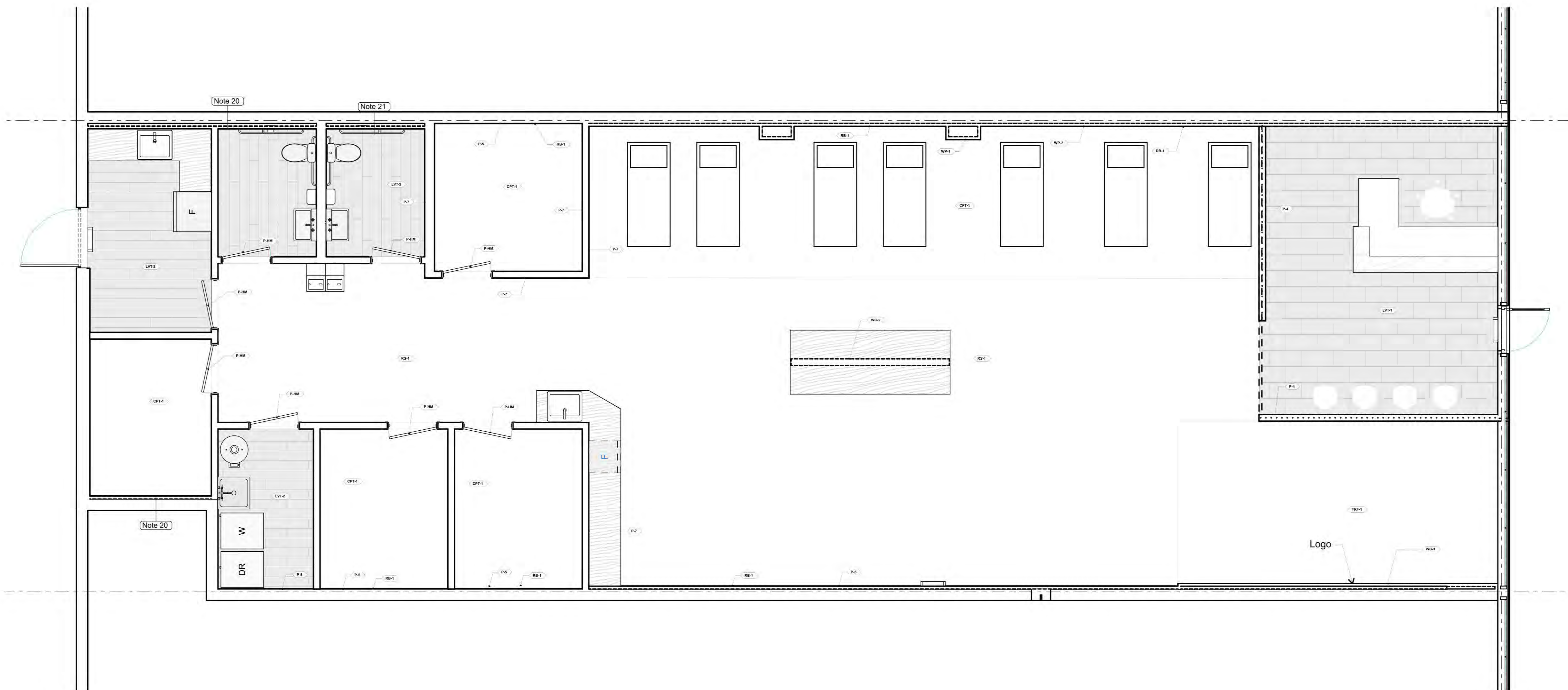
Project Name

Electrical Power Plan

Drawing Title	Project Number
Drawn By: A.S.	2406
Checked By: AG	Scale
Date	Scale

A802. 10 of 11

Drawing Number Page #



**1** Finish Plan  
SCALE: 1/4" = 1'-0"

**Finish Notes:**

1. All finishes shall have Class '1' or Class 'A' Fire Rating.
2. Provide Schluter reducer strip at all transitions between flooring and porcelain tile.
3. Before ordering any finishes specified on the Finish Material Schedule, the Contractor is to provide formal submittals for approval by the Architect.
4. All building standard gypsum partitions and metal door frames shall be painted by the Contractor with building standard latex paint, as indicated in the Finish Schedule. All painted areas shall receive one coat of primer and two finish coats.
5. All existing uneven partitions shall be sanded surfaces, plaster patched or spackled to ensure an even surface.
6. All walls and ceiling shall be properly prepared, spackled, sanded, etc. to provide a perfectly smooth finish and surface (as indicated on the Finish Plan(s)). At corners where wall covering meets paint, wrap wall covering, spackle smooth and paint to avoid open edge.
7. The Contractor shall, upon completion, remove all paint from where it has spilled, splashed, or splattered on surfaces, including light fixtures, diffusers and registers, slab fillings, etc. He shall remove all electrical switch and receptacle plate, surface hardware, etc. before painting, protecting and replacing same when painting has been completed.
8. The Contractor shall flash patch all cracks, holes, or other imperfections (projections shall be removed and patched) to provide a leveled smooth floor surface.
9. All workmanship shall be of the best quality and when the work is completed, it shall be free from buckles, bubbles, open joints or other imperfections. Seams shall be kept in accurate alignment along both coordinates. Tile having chipped off or rounded corners will be rejected and, if laid, shall be removed and replaced with acceptable tile.
10. Base shall not be installed until wall covering has been applied and painting completed.
11. Carpet, base, and all saddles shall be provided by the Contractor.
12. Upon completion, all work shall be cleaned by the Contractor, removing adhesive and surface stains. Scraps, cartons and containers shall be removed from the building and properly disposed of.
13. The Contractor shall provide and maintain adequate protection for all flooring work for the duration of the Contract, and remove all protection when directed by the Architect.
14. At all "add" finishes, edges to be finished with appropriate Monarch metal edge.
15. Any discrepancies or questions shall be formally submitted as RFIs via email for action to be taken.
16. Interior wall and ceiling finish materials to be Class 'A' or 'B' throughout in rooms not exceeding four occupants. Class 'A' or 'B' may be used up to 48" in corridors.
17. All flooring materials to comply with ICC/ANSI A117.1 Latest Edition for coefficient of friction, which requires a minimum of .06 at level surfaces and .80 at ramps or sloped surfaces.
18. Install all materials as per manufacturer recommendations.
19. Submit samples for approval for all floor transitions, edge guards, reducers, transition profiles as appropriate for each transition.
20. Apply waterproofing membrane (Laticrete Hydro Barrier or approved other) to the floor surface prior to installing LVT or tile in "wet" areas such as spaces that have sinks, water heaters, washers, etc. At "wet" demising walls separating tenant spaces, waterproofing shall be continued up onto the wall to prevent water intrusion from under the demising wall itself. Use water resistant type gypsum board at such walls. Where finish is indicated as ceramic tile use cementitious board (Durock or approved other). Refer to detail 2/A101.
21. Install 42" high FRP panels where indicated at "wet" demising walls. Refer to detail 3/A101.

Finish Surfaces					
MasterFormat - 2016 Edition	Keynote #	Material	Manufacturer	Color	Description
<b>06 22 00 Millwork</b>					
	PL-2	Plastic Laminate	Wilsonart	Calcutta Marble 4925-38	Reception desk accent
	PL-4	Plastic Laminate	Wilsonart	North Sea D90K-18	Reception desk work surface
	WP-1	Self adhesive wood panel		Natural	Contractor to prep wall with Zinser
<b>08 11 00 Metal Doors and Frames</b>					
	P-HM	Latex Paint	Benjamin Moore	HC-166 Kenall Charcoal	Hollow metal trim and painted doors
<b>09 21 16 Gypsum Board Assemblies</b>					
	P-4	Wallcovering - Type II	Momentum Textiles & Wall Covering	Wet Suit	
	P-5	Latex Paint	Benjamin Moore	725 Seaside Resort	
	P-7	Latex Paint	Benjamin Moore	CC-20 Decorator's White	
	WC-2	Wallcovering - Type II	Momentum Textiles & Wall Covering	Wet Suit	
	WG-1	Custom Wallcovering	Custom Wallcovering	Custom Wallcovering	Contractor to prep wall with Zinser Primer 123
	WP-1	Self adhesive wood panel		Natural	Contractor to prep wall with Zinser Primer 123
<b>09 62 00 Specialty Flooring</b>					
	TRF-1	Turf	Sporturf AT755	Green	Glue down
<b>09 65 13.13 Resilient Base</b>					
	RB-1	Resilient Rubber Base	Flexco	093 Graphite	Install throughout unless otherwise noted
<b>09 65 43 Linoleum Flooring</b>					
	LVT-1	Luxury Vinyl Tile: 12"x24"	Mannington		Brick lay
	LVT-2	Luxury Vinyl Tile: 7.25"x48"	Mannington - Spacia		Stagger on the 1/3
<b>09 68 00 Carpeting</b>					
	CPT-1	Modular Carpeting 18"x36" Plank	Mannington	Tom Paper: Carbon 15223	Install: Brick Ashlar
	RS-1	Rubber Sheet	Regupol America	Regupol Aktive-AK201106 Blue Streak 3/8"	

Note: **Drawing May Be Printed at Reduced Scale**  
 It is a violation of the State Education Law Section 7206(2) for any person to alter an arch in any way unless such person is acting under the direction of a Licensed Professional Engineer, and the Engineer stamps such changes.

Client: **Metro Physical & Aquatic Therapy**  
 1024 Willis Avenue Albertson, NY 11507

No errors, omissions, or oversight on the part of the Plan Examiner shall release the design professional, applicant, and/or owner of the responsibility to comply with all the requirements of the NYS Building Code, Zoning Laws of the Town of North Hempstead, and all other applicable codes and standards of jurisdictions having authority over the work.

**DISAPPROVED For ZONING**  
 Anthony Basile  
 12/16/2024

**CBP24-000273**

Mark	Issue Date	Description	Revisions



1024 Willis Avenue Albertson, NY 11507  
 Metro Physical Therapy - Albertson, NY

Project Name: **Finish Plan and Schedule**

Drawn By: A.S. Project Number: 2408  
 Checked By: AG Date: 11/15/24







# #21683

# TESLA



**DISAPPROVED**  
Michael Maracic  
10/25/2024

**TESLA**  
3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000

**Dewberry**  
Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710

## NORTH NEW HYDE PARK, NY - HILLSIDE AVE

TRT ID: 424060  
SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY 11040

STATE OF NEW YORK  
DAVID E. REVETTE  
LICENSED PROFESSIONAL ENGINEER  
101758-01  
DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

SITE INFORMATION	APPLICABLE CODES	PROJECT DESCRIPTION	ZONING INFORMATION	DRAWING INDEX
------------------	------------------	---------------------	--------------------	---------------

**PROPOSED TESLA EV SITE ADDRESS:**  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY 11040

**PROPERTY OWNER:**  
NHP CROSSINGS, LLC  
CONTACT: KARIM MOZAWALLA  
PHONE: (516) 859-4344  
EMAIL: kmozawalla@hotmail.com

**PARCEL ID:**  
PARCEL ID: 8.-21114-625.B  
& 8.-21114-625.D

**POWER COMPANY:**  
PSE&G LI  
CONTACT: PAT TURNER  
PHONE: (516) 949-8626  
EMAIL: PATRICK.TURNER@PSEG.COM  
WORK ORDER: 900000183553

**COUNTY:**  
NASSAU COUNTY

**LATITUDE\*:**  
40° 52' 30.00" N

**LONGITUDE\*:**  
73° 01' 30.00" W  
\*BASED ON GOOGLE EARTH

**CONTACT ENGINEER:**  
DAVID REVETTE, P.E.  
DEWBERRY ENGINEERS INC.  
(973) 576-9639  
drevette@dewberry.com

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
NEW YORK UNIFORM BUILDING & ENERGY CODES, CONSISTENT WITH THE FOLLOWING CODES:

2020 INTERNATIONAL BUILDING CODE (IBC).  
2020 INTERNATIONAL EXISTING BUILDING CODE (IEBC).  
2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).  
2017 NATIONAL ELECTRIC CODE (NEC).

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

- INSTALL (1) PAD MOUNTED UTILITY TRANSFORMER
- INSTALL (1) 2500A 'EV-2' MCB SWITCHBOARD
- INSTALL (5) TESLA SUPERCHARGER CABINETS
- INSTALL (20) TESLA CHARGE POSTS

JURISDICTION: TOWN OF NORTH HEMPSTEAD  
SECTION: B  
BLOCK: 211-14  
LOT: 625 D & 625 B  
LAND USE: COMMERCIAL  
ZONING: B-B - BUSINESS B  
LOT AREA: 1 ACRE

SHT. NO.	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES I
GN-2	GENERAL NOTES II
C-1	SITE PLAN
C-2	EXISTING CONDITIONS PLAN
C-3	EQUIPMENT/PARKING PLAN
C-4	GRADING PLAN
C-5	CONSTRUCTION DETAILS I
C-6	CONSTRUCTION DETAILS II
C-7	CONSTRUCTION DETAILS III
C-8	CONSTRUCTION DETAILS IV
C-9	CONSTRUCTION DETAILS V
C-10	CONSTRUCTION DETAILS VI
E-1	ELECTRICAL ONE-LINE DIAGRAM
E-2	ELECTRICAL & UTILITY DETAILS I
E-3	ELECTRICAL & UTILITY DETAILS II
G-1	GROUNDING SCHEMATIC & DETAILS

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716



REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

**SITE NAME:**  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

**SITE ADDRESS:**  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

**CONTRACTOR NOTE**

CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.

**BEFORE SCALING**

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE TESLA REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

**CALL BEFORE YOU DIG**

**New York 811**

UNDERGROUND SERVICE ALERT  
UTILITY NOTIFICATION CENTER  
811 OR 1-800-272-4480

3 WORKING DAYS UTILITY NOTIFICATION  
PRIOR TO CONSTRUCTION

**SHEET TITLE**  
TITLE SHEET

**SHEET NUMBER**  
T-1

**GENERAL NOTES:**

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
GENERAL CONTRACTOR(S) OR SUB-CONTRACTOR(S) – CIVIL CONTRACTOR AND/OR ELECTRICIAN CONTRACTOR  
PROJECT OWNER/CONSTRUCTION MANAGER – TESLA  
PROJECT HOST – LEGAL PROPERTY OWNER  
ENGINEER – DEWBERRY ENGINEERS INC.
- PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF PROJECT OWNER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. THE GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE THE INSTALLATION AS INDICATED ON THE DRAWINGS FOR A FULLY FUNCTIONAL CHARGING STATION AND COMPLETE PROJECT.
- THE SUB-CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON DRAWINGS, THE GENERAL CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE PROJECT ENGINEER. ONLY WRITTEN APPROVALS SHALL BE DEEMED TO CONFIRM ANY SUCH CHANGES AS BEING APPROVED.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT UNIQUE JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW ROUTING OF CONDUIT, POWER AND GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING PLAN DRAWING. THE GENERAL CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONSTRUCTION MANAGER AND PROJECT HOST.
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE PROJECT HOST. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF GENERAL CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY.
- APPLICABLE BUILDING CODES:  
THE GENERAL CONTRACTORS WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.  
THE GENERAL CONTRACTOR WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:  
AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION
- FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.
- THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S).
- CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND GENERAL CONTRACTOR(S) AND/OR SUB-CONTRACTOR(S) TO THE SITE AND/OR BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- THE GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE PROJECT HOST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OR 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
- ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE PROJECT OWNER AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- GENERAL CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES AND ALL SPECIFIED CLOSE-OUT DOCUMENTATION TO THE PROJECT OWNER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- THE GENERAL CONTRACTOR SHALL LEAVE THE WORK AREA AND SURROUNDING PREMISES IN A CLEAN CONDITION.
- THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
- NO TRASH CORRAL/SOLID WASTE STORAGE AREA IS TO BE INSTALLED AS PART OF PROJECT.

**SITE WORK NOTES:**

**PART 1 – GENERAL**

- REFERENCES:  
A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION—CURRENT EDITION).  
B. AASHTO (AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS)  
C. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).  
D. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
- INSPECTION AND TESTING:  
A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LAB. THIS WORK IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.  
B. ALL WORK SHALL BE INSPECTED AND VERIFIED FOR CONFORMANCE AND RELEASED BY THE ENGINEER WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE GENERAL CONTRACTOR(S) RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.
- SITE MAINTENANCE AND PROTECTION:  
A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.  
B. AVOID DAMAGE AND TAKE PROTECTIVE MEASURES TO THE SITE AND TO EXISTING FACILITIES, IMPROVEMENTS, STRUCTURES, PAVEMENTS, CURBS, AND LANDSCAPING DESIGNATED TO REMAIN. ANY DAMAGED PART SHALL BE REPAIRED AT SUB-CONTRACTOR(S) EXPENSE TO THE SATISFACTION OF THE PROJECT HOST.  
C. KEEP SITE FREE OF ALL PONDING OR STANDING WATER.  
D. PROVIDE EROSION CONTROL MEASURES, IF REQUIRED, SHALL BE IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.  
E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.  
F. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUB-CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE GENERAL CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.  
G. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE PROJECT OWNER AND/OR LOCAL UTILITIES.  
H. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE PROJECT HOST OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE PROJECT HOST AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.  
I. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE PROJECT HOST AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.  
J. SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.  
K. THE GENERAL CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS, RUBBISH, DEBRIS, STUMPS, STICKS, AND STONES.  
L. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH DEBRIS FROM THE SITE ON A DAILY BASIS.  
M. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT TREES, VEGETATION, AND ROOT SYSTEMS DURING CONSTRUCTION.  
N. CONTRACTOR TO COORDINATE POST CONSTRUCTION LANDSCAPING FINISHES WITH OWNER AND TESLA.

**PART 2 – PRODUCTS**

**2.1 GRANULAR BACKFILL: SHALL MEET THE FOLLOWING GRADATION:**

SIEVE SIZE	TOTAL PERCENT PASSING
1-1/2 INCH	100
1 INCH	75 TO 100
3/4 INCH	80 TO 100
3/8 INCH	35 TO 75
NO. 4	30 TO 60
NO. 30	7 TO 30
NO. 200	3 TO 15

**2.2 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).**

**2.3 ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS SHALL BE SELECT STRUCTURAL FILL MEETING THE GRADATION AND SOUNDNESS REQUIREMENTS IN ACCORDANCE WITH THE FOLLOWING:**

SIEVE SIZE	TOTAL PERCENT PASSING
4 INCH	100
NO. 40	0 TO 70
NO. 200	0 TO 40

**2.4 MATERIALS SHALL BE SUBSTANTIALLY FREE OF SHALE OR OTHER SOFT, POOR DURABILITY PARTICLES. IF TESTING IS ELECTED BY PROJECT OWNER, MATERIAL WITH A MAGNESIUM SULFATE SOUNDNESS LOSS EXCEEDING 30% WILL BE REJECTED.**

**2.5 COARSE AGGREGATE FOR SUBBASE COURSE SHALL CONFORM TO ASTM D2940.**

**2.6 UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE ENGINEER. TYPICALLY THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.**

**PART 3 – EXECUTION**

- GENERAL:  
A. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF A RAIN EVENT, NO SEDIMENT WILL LEAVE THE WORK SITE.  
B. BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.  
C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.  
D. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.  
E. REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR UNDESIRABLE MATERIALS.

- EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH GRANULAR FILL.
  - REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
  - PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE ENGINEER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.
  - SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
  - DURING EXCAVATION, THE SUB-CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.
  - WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
- 3.2 BACKFILL:**
- AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH SPECIFIED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.
  - PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
  - NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW, OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
  - BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 12-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12-INCHES IN LOOSE DEPTH AND COMPACTED.
  - THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.
  - WHENEVER THE DENSITY TESTING INDICATES THAT THE SUB-CONTRACTOR(S) HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE SUB-CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.
  - THE SUB-CONTRACTOR SHALL OBTAIN GRAB SAMPLES OF SUFFICIENT QUANTITY TO PROVIDE TO LAB FOR PURPOSE OF DETERMINING MAX DRY DENSITY. ALL LOOSE AND/OR ORGANIC MATERIAL SHALL BE REMOVED PRIOR TO PREPARATION OF THE AREA FOR PLACEMENT OF STRUCTURAL BACKFILL. OVERALL PLAN AREA OF WORK SHALL EXTEND 3'-0" MINIMUM BEYOND THE FINAL DIMENSIONS.
  - SCARIFY THE EXISTING SOILS TO A DEPTH OF 6" AND RE-COMPACT USING A VIBRATING PLATE OR TAMPER, ANY SOFT AREAS SHALL BE OVEREXCAVATED 12" AND BACKFILLED WITH MATERIALS AND COMPACTION REQUIREMENTS SHOWN ON THE DRAWINGS.
  - PLACEMENT AND COMPACTION OF STRUCTURAL BACKFILL AND SUBBASE SHALL BE IN 12" LIFTS. EXCAVATE FOR THE FOOTING EDGE AS SHOWN ON THE DRAWINGS.
- 3.3 TRENCHING EXCAVATION:**
- UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
  - EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.
  - WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR MATERIAL.
- 3.4 TRENCHING BACKFILL:**
- PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
  - NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF BACKFILLING.
  - CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
  - PLACE GRANULAR BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS AND HALNCHES.
  - PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
  - ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 12-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.
  - COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS ESTABLISHED BY THE STANDARD PROCTOR TEST, ASTM D 698.
  - PER LOCAL REGULATORY AUTHORITY AND AS APPLICABLE, ALL TRENCHES IN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
- 3.5 FINISH GRADING:**
- PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL MATCH SURROUNDING TOPOGRAPHY AND STRUCTURES.
  - UTILIZE GRANULAR FILL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
  - REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL OR BETTER CONDITION.
  - AREAS OF THE PROJECT HOST'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR PARKING/DRIVING AREAS SHALL BE GRADED TO A UNIFORM SLOPE AND STABILIZED TO PREVENT EROSION.
- 3.6 ASPHALT PAVING ROAD:**
- AASHTO
  - STATE SPECIFIC ASPHALT SPECIFICATIONS FOR HIGHWAYS
  - THE SUB-CONTRACTOR IS RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING, UNLESS OTHERWISE SPECIFIED.

**DISAPPROVED**  
Michael Maracic  
EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE ENGINEER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.



DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

**SITE NAME:**  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

**SITE ADDRESS:**  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
**GENERAL NOTES I**

SHEET NUMBER  
**GN-1**

**ELECTRICAL NOTES:**

- THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS. ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, SUB-CONTRACTOR SHALL NOTIFY THE PROJECT HOST AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE PROJECT HOST HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
- THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE HIMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE SUB-CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE THE SUBCONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
  - A. UL – UNDERWRITERS LABORATORIES
  - B. NEC – NATIONAL ELECTRICAL CODE
  - C. NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
  - D. OSHA – OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
  - E. SBC – STANDARD BUILDING CODE
  - F. NFPA – NATIONAL FIRE PROTECTION ASSOCIATION
- DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH ENGINEER ANY SIZES AND LOCATIONS WHEN NEEDED.
- EXISTING SERVICES: THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE PROJECT HOST.
- THE GENERAL CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. THE GENERAL CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING EQUIPMENT.
- THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL, UNLESS OTHERWISE SPECIFIED BY CONSTRUCTION MANAGER OR BY PROJECT DEVELOPER.
- THE GENERAL CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE PROJECT HOST'S CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
- CONDUCTORS: THE CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER OR ALUMINUM WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS.
- ALL (THWN-2) WIRING INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. SUB-CONTRACTOR IS TO PROVIDE ALL ELECTRICAL EQUIPMENT UNLESS OTHERWISE DIRECTED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL SUB-CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY THE CONSTRUCTION MANGER.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
- ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
- MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
- ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE CONTRACTOR(S) RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE CONSTRUCTION MANAGER UPON FINAL ACCEPTANCE.
- THE SUBCONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES.
- DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
- ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NOALOX" BY IDEAL INDUSTRIAL INC. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED ALUMINUM & COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED – NO SUBSTITUTIONS.
- ALL EXTERIOR AND INTERIOR ABOVE GROUND CONDUIT SHALL BE RIGID GALVANIZED STEEL UNLESS SPECIFIED OTHERWISE. RACEWAYS: ALL CONDUITS SHALL BE SCHEDULE 40 EMT MEETING OR EXCEEDING NEMA TC2 – 1990 UNLESS SPECIFIED OTHERWISE. THE SUB-CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS – 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 3 FT. RADIUS. EMT CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH "BRITZ ZINC" OR "GOLD GALV".

- SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
- CONNECTORS FOR POWER CONDUCTORS: SUB-CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
- THE SUB-CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC".
- WHEN DIRECTIONAL BORING IS REQUIRED, SUB-CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
- ALL BOLTS SHALL BE STAINLESS STEEL.
- ALL MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED BY THE SUBCONTRACTOR SHOULD BE NEW AND UNUSED.
- PER NEC 625.22 – THE USER INTERFACE (CHARGE POST) IS CONTROLLED BY THE ELECTRICAL EQUIPMENT (SUPERCHARGER CABINET) AND THE FOLLOWING PRECAUTIONS HAVE BEEN TAKEN TO ENSURE THE SAFETY OF CUSTOMERS AND THOSE AROUND THE EQUIPMENT. BEFORE ANY VOLTAGE OR CURRENT IS APPLIED TO THE CHARGE POST, THE CABINET MUST COMMUNICATE WITH THE TESLA VEHICLE. THERE IS A "HANDSHAKE" BETWEEN THE CAR AND THE CABINET CONFIRMING THAT THE VEHICLE IS ACTUALLY A TESLA AND THAT THE VEHICLE CAN HANDLE THE SUPERCHARGING. VOLTAGE IS THEN APPLIED TO THE POWER SOCKETS IN THE CHARGE POST AND ONCE THE VOLTAGE READING FROM THE CAR IS VERIFIED AS THE SAME IN THE CHARGING CABINET, THEN CURRENT BEGINS TO FLOW. IF AT ANY POINT IN THIS PROCESS A FAULT IS DETECTED, THE CHARGING WILL STOP IMMEDIATELY, WITHIN A MATTER OF MILLISECONDS. DURING THE NORMAL CHARGING CYCLE, IF ANY FAULT OR IRREGULARITY IS DETECTED, THE CHARGING WILL AGAIN STOP WITHIN MILLISECONDS OF DETECTION. BEYOND THIS LOGIC PROTECTION, THERE IS PHYSICAL PROTECTION FROM OVER-CURRENT OR OVER-VOLTAGE WITHIN EACH OF THE CHARGERS. BEYOND THAT, FAST ACTING FUSES ALSO PROTECT THE VEHICLE OUTPUTS FROM OUTPUTTING TOO HIGH OF A CURRENT.

**REINFORCED CONCRETE NOTES:**

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS (UNLESS OTHERWISE NOTED). ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
- MAXIMUM AGGREGATE SIZE SHALL BE 3/4".
- THE FOLLOWING MATERIALS SHALL BE USED:
 

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH "DETAILING MANUAL-2004 PUBLICATION SP-66" AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI-318-08.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B"; ALL HOOKS SHALL BE STANDARD, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 

CONCRETE CAST AGAINST EARTH:	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	#6 AND LARGER 2 IN. #5 AND SMALLER & WWF 1-1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:	SLAB AND WALL 3/4 IN. BEAMS AND COLUMNS 1-1/2 IN.
- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE ANCHOR, SHALL BE PER MANUFACTURERS WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- DO NOT WELD OR TACKWELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- LOCATE ADDITIONAL EXPANSION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.
- PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.

**TRAFFIC MANAGEMENT NOTES:**

- ALL TEMPORARY CONTROL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND ALL REVISIONS, UNLESS SUPERCEDED BY THESE PLANS.
- ALL SIGN LEGENDS, BORDERS, AND MOUNTING SHALL BE IN ACCORDANCE WITH THE MUTCD.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- TEMPORARY CONSTRUCTION SIGNING, BARRICADES, AND ALL OTHER NECESSARY WORK ZONE TRAFFIC CONTROL DEVICES SHALL BE REMOVED FROM THE HIGHWAY OR COVERED WHEN THEY ARE NOT REQUIRED FOR CONTROL OF TRAFFIC.
- SIGNS AND SIGN SUPPORTS LOCATED ON OR NEAR THE TRAVELED WAY, CHANNELIZING DEVICES, BARRIERS, AND CRASH ATTENUATORS MUST PASS THE CRITERIA SET FORTH IN NCHRP REPORT 350, "RECOMMENDED PROCEDURES FOR THE SAFETY PERFORMANCE EVALUATION OF HIGHWAY FEATURES" AND/OR "MANUAL FOR ASSESSING SAFETY HARDWARE" (MASH).
- CONTRACTORS SHALL NOTIFY THE OWNER AND ALL TENANTS OF THIS PROPERTY AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT, AND SIMILAR OPERATIONS.
- THE FIRST FIVE PLASTIC DRUMS OF A TAPER SHALL BE MOUNTED WITH TYPE A LIGHTS.
- MAXIMUM SPACING OF TRAFFIC DEVICES IN A TAPER (DRUMS OR CONES) IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- MINIMUM LANE WIDTH IS TO BE 11 FEET (3.3m) UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH TO BE MEASURED FROM THE EDGE OF DRUMS OR MEDIAN BARRIER.
- EXISTING PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES THROUGH A COMBINATION OF PEDESTRIAN DETOURS OR PROTECTED SAFE ROUTES. ALL PEDESTRIAN ROUTES SHALL MEET APPLICABLE ACCESSIBILITY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC THROUGHOUT CONSTRUCTION AT THIS LOCATION. THE CONTRACTOR SHALL INSTALL TEMPORARY TRAFFIC SIGNS, DRUMS, CONES, OR OTHER TRAFFIC CONTROL DEVICES TO DIRECT VEHICLES AND PEDESTRIANS AROUND THE WORK ZONE.

**HORIZONTAL DIRECT DRILLING NOTES:**

- THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING AND INSTALLING UNDERGROUND UTILITIES USING THE DIRECTIONAL BORING (HORIZONTAL DIRECTIONAL DRILLING, HDD) METHOD OF INSTALLATION, ALSO COMMONLY REFERRED TO AS GUIDED HORIZONTAL BORING. THIS WORK SHALL INCLUDE ALL SERVICES, EQUIPMENT, MATERIALS, AND LABOR FOR THE COMPLETE AND PROPER INSTALLATION, TESTING, RESTORATION OF UNDERGROUND UTILITIES AND ENVIRONMENTAL PROTECTION AND RESTORATION.
- WORK PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MUST SUBMIT TO THE ENGINEER A GENERAL WORK PLAN OUTLINING THE PROCEDURE AND SCHEDULE TO BE USED TO EXECUTE THE PROJECT. PLAN SHOULD DOCUMENT THE THOUGHTFUL PLANNING REQUIRED TO SUCCESSFULLY COMPLETE THE PROJECT.
- ENVIRONMENTAL PROTECTION: CONTRACTOR SHALL PLACE SILT FENCE BETWEEN ALL BORING OPERATIONS AND ANY DRAINAGE, WETLAND, WATERWAY OR OTHER AREA DESIGNATED FOR SUCH PROTECTION BY CONTRACT DOCUMENTS, STATE, FEDERAL AND LOCAL REGULATIONS. ADDITIONAL ENVIRONMENTAL PROTECTION NECESSARY TO CONTAIN ANY HYDRAULIC OR BORING FLUID SPILLS SHALL BE PUT IN PLACE, INCLUDING BERMS, LINERS, TURBIDITY CURTAINS AND OTHER MEASURES. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE ENVIRONMENTAL REGULATIONS. FUEL OR OIL MAY NOT BE STORED IN BULK CONTAINERS WITHIN 200' OF ANY WATER-BODY OR WET-LAND.
- UTILITY LOCATES: CONTRACTOR SHALL NOTIFY ALL COMPANIES WITH UNDERGROUND UTILITIES IN THE WORK AREA VIA THE STATE OR LOCAL "ONE-CALL" TO OBTAIN UTILITY LOCATES. ONCE THE UTILITIES HAVE BEEN LOCATED CONTRACTOR SHALL PHYSICALLY IDENTIFY THE EXACT LOCATION OF THE UTILITIES BY VACUUM OR HAND EXCAVATION, WHEN POSSIBLE, IN ORDER TO DETERMINE THE ACTUAL LOCATION AND PATH OF ANY UNDERGROUND UTILITIES WHICH MIGHT BE WITHIN 20 FEET OF THE BORE PATH. CONTRACTOR SHALL NOT COMMENCE BORING OPERATIONS UNTIL THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE WORK AREA HAVE BEEN VERIFIED.
- SAFETY: CONTRACTOR SHALL ADHERE TO ALL APPLICABLE STATE, FEDERAL AND LOCAL SAFETY REGULATIONS AND ALL OPERATIONS SHALL BE CONDUCTED IN A SAFE MANNER. SAFETY MEETINGS SHALL BE CONDUCTED AT LEAST WEEKLY WITH A WRITTEN RECORD OF ATTENDANCE AND TOPIC SUBMITTED TO ENGINEER.
- SITE RESTORATION: FOLLOWING BORING OPERATIONS, CONTRACTOR WILL DE-MOBILIZE EQUIPMENT AND RESTORE THE WORK-SITE TO ORIGINAL CONDITION. ALL EXCAVATIONS WILL BE BACKFILLED AND COMPACTED TO 95% OF ORIGINAL DENSITY. LANDSCAPING WILL BE RESTORED TO ORIGINAL.
- RECORD KEEPING: CONTRACTOR SHALL MAINTAIN A DAILY PROJECT LOG OF BORING OPERATIONS AND A GUIDANCE SYSTEM LOG WITH A COPY GIVEN TO ENGINEER AT COMPLETION OF PROJECT. AS-BUILT DRAWINGS SHALL BE CERTIFIED AS TO ACCURACY BY CONTRACTOR.

**DISAPPROVED**  
 Michael Maracic  
 10/25/2024



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

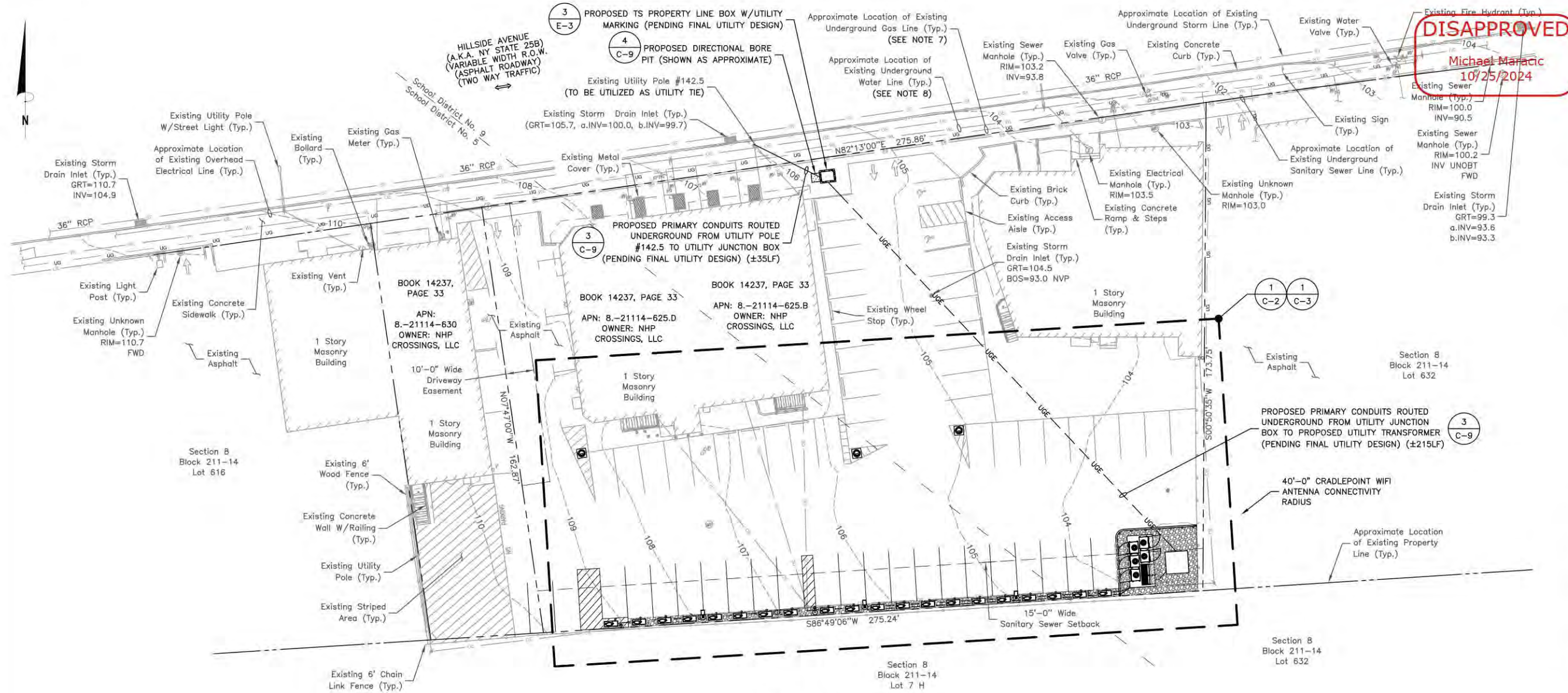
SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
**NORTH NEW HYDE PARK, NY  
 - HILLSIDE AVE  
 (TRT ID: 424060)**

SITE ADDRESS:  
**2048 HILLSIDE AVE  
 NORTH NEW HYDE PARK, NY  
 11040**

SHEET TITLE  
**GENERAL NOTES II**

SHEET NUMBER  
**GN-2**



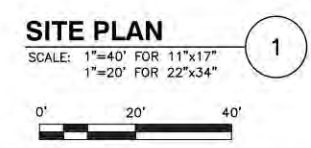
**DISAPPROVED**  
 Michael Maratic  
 10/25/2024

3500 DEER CREEK ROAD  
 PALO ALTO, CA 94304  
 (650) 681-5000

Dewberry Engineers Inc.  
 600 PARSIPPANY ROAD  
 SUITE 301  
 PARSIPPANY, NJ 07054  
 PHONE: 973.739.9400  
 FAX: 973.739.9710

DAVID E. REVETTE, P.E.  
 NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716



NOTE: ALL EV STALLS SHALL NOT BE DEDICATED TO ELECTRIC VEHICLES AND CAN BE ACCESSED BY ANY VEHICLE

**PARKING TABLE (ARTICLE XII-70-103)**

DESCRIPTION	QUANTITY
REQUIRED PARKING STALLS (APPROX.):*	119
EXISTING PARKING STALLS (EXISTING NON-CONFORMING):	62
PROPOSED PARKING STALLS:	62
NET STALL LOSS:	0

\*REQUIRED PARKING STALLS CALCULATIONS PER TOWN OF HEMPSTEAD OFFSTREET PARKING REQUIREMENTS ARTICLE XII-70-103:

-RETAIL/PERSONAL SERVICE SHOP/ALL OTHER BUSINESS: 1 STALL PER 300 SF IN EXCESS OF 1,000 SF:

- MANGO SALON FLOOR AREA: 1,330 SF / 300 SF = 5 STALLS
- DAVI'S BARBER SHOP/SALON FLOOR AREA: 950 SF / 300 SF = 4 STALLS
- CRAFT BEER CONVENIENCE FLOOR AREA: 925 SF / 300 SF = 4 STALLS
- WARREN CLEANING SERVICES FLOOR AREA: 950 SF / 300 SF = 4 STALLS

-RESTAURANTS/BAR & GRILL: 1 STALL PER 80 SF OF FLOOR AREA AND 1 STALL PER 3 LF OF A BAR OR COUNTER WHERE FOOD AND/OR DRINK ARE SERVED

- NANKING FLOOR AREA: 4998 SF / 80 SF + 15 LF / 3LF = 68 STALLS
- EDDIES PIZZA FLOOR AREA: 1960 SF / 80 SF + 27 LF / 3LF = 34 STALLS

-TOTAL PARKING STALLS REQUIRED = 119

**LEGEND**

- |     |   |   |                        |
|-----|---|---|------------------------|
| --- | EXISTING CONTOUR                          | ⊗ | IRRIGATION VALVE       |
| --- | OVERHEAD WIRES                            | ⊙ | SANITARY/SEWER MANHOLE |
| --- | APPROX. LOC. UNDERGROUND NATURAL GAS LINE | ⊚ | DRAINAGE/STORM MANHOLE |
| --- | APPROX. LOC. UNDERGROUND ELECTRIC LINE    | ⊜ | TELEPHONE MANHOLE      |
| --- | APPROX. LOC. UNDERGROUND TELEPHONE LINE   | ⊞ | CATCH BASINS           |
| --- | APPROX. LOC. UNDERGROUND WATER LINE       | ⊠ | POST                   |
| --- | APPROX. LOC. UNDERGROUND STORM DRAIN      | ⊡ | ROOF DRAIN             |
| --- | APPROX. LOC. UNDERGROUND SEWER LINE       | ⊣ | UTILITY POLE           |
| --- | DEPRESSED CURB                            | ⊥ | PAINTED ARROWS         |
| ⊙   | HYDRANT                                   | ⊞ | METAL COVERS           |
| ⊗   | WATER VALVE                               | ⊠ | SIGN                   |
| ⊙   | GAS METER                                 | ⊡ | AREA LIGHT             |
| ⊙   | ELECTRIC METER                            | ⊣ | DECIDUOUS TREE         |
|     |   | ⊞ | UNKNOWN TERMINUS       |

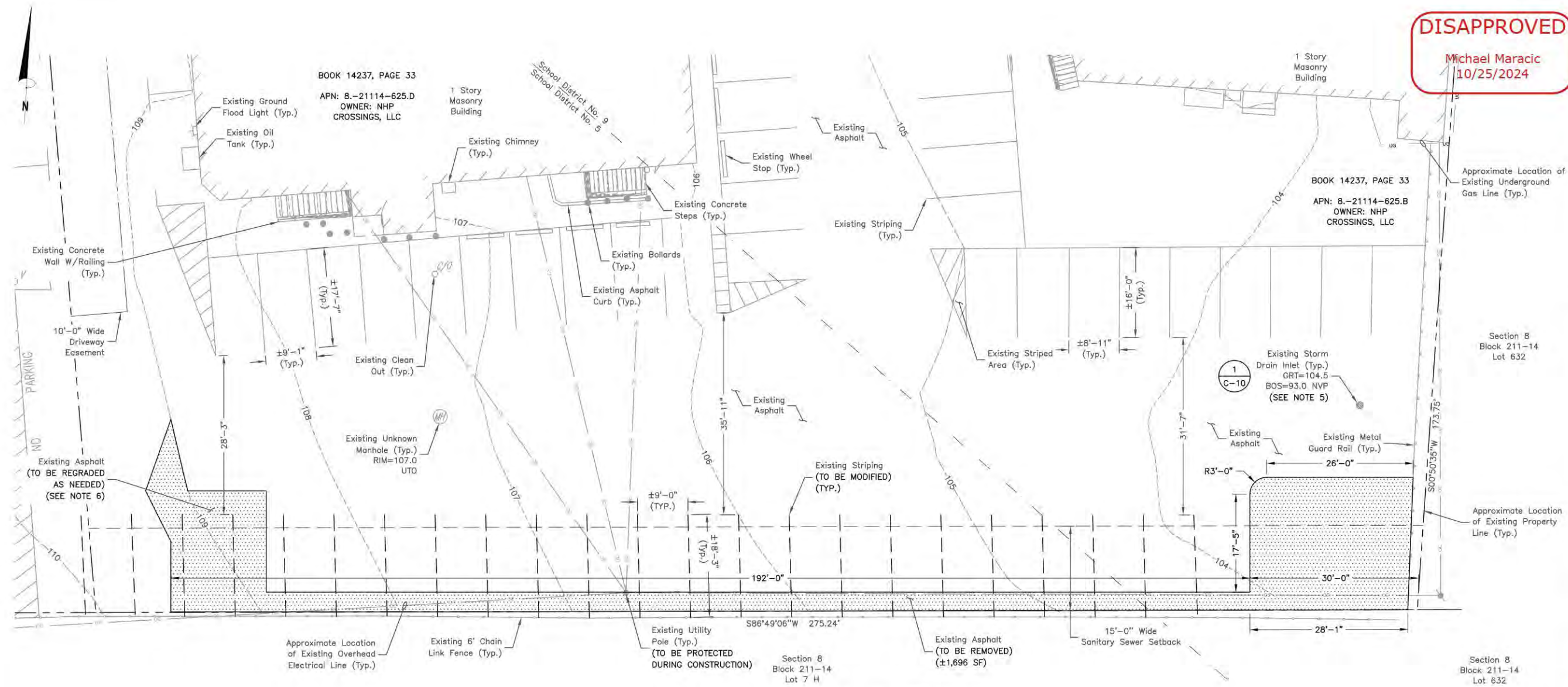
- NOTES:**
- SITE PLAN BASED ON ENGINEERING DESIGN SURVEY: A PORTION OF THE PROPERTY DESCRIBED IN BOOK 14237, PAGE 33, SECTION 8, BLOCK 211-14, LOT 625 B & 625 D, 2056 HILLSIDE AVE, TOWN OF NORTH HEMPSTEAD, COUNTY OF NASSAU, STATE OF NEW YORK, BY CONTROL POINT ASSOCIATES, INC. PC DATED 12/04/23.
  - UTILITY CONNECTION TO BE MADE UNDER PSE&G LI UTILITIES STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, PSE&G LI WORK ORDER 900000183553.
  - EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
  - EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
  - EXISTING STORM DRAIN INLETS TO BE PROTECTED WITH TEMPORARY GRAVEL BAGS DURING CONSTRUCTION.
  - CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS. SEE SHEET C-4 FOR GRADING DESIGN.
  - CONTRACTOR TO LOCATE NATURAL GAS PIPING PRIOR TO CONSTRUCTION. ALL PROPOSED ELECTRICAL CONDUITS & ELECTRICAL EQUIPMENT TO BE KEPT A MINIMUM OF 24" FROM GAS LINE.
  - CONTRACTOR TO CONFIRM DEPTH OF EXISTING STORM DRAIN & WATER LINE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF DEPTH BELOW SURFACE IS LESS THAN 36".

SITE NAME:  
 NORTH NEW HYDE PARK, NY  
 - HILLSIDE AVE  
 (TRT ID: 424060)

SITE ADDRESS:  
 2048 HILLSIDE AVE  
 NORTH NEW HYDE PARK, NY  
 11040

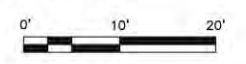
SHEET TITLE  
 SITE PLAN

SHEET NUMBER  
 C-1



**DISAPPROVED**  
 Michael Maracic  
 10/25/2024

**EXISTING CONDITIONS PLAN** 1  
 SCALE: 1"=20' FOR 11"x17"  
 1"=10' FOR 22"x34"



**NOTES:**

- SITE PLAN BASED ON ENGINEERING DESIGN SURVEY: A PORTION OF THE PROPERTY DESCRIBED IN BOOK 14237, PAGE 33, SECTION 8, BLOCK 211-14, LOT 625 B & 625 D, 2056 HILLSIDE AVE, TOWN OF NORTH HEMPSTEAD, COUNTY OF NASSAU, STATE OF NEW YORK, BY CONTROL POINT ASSOCIATES, INC. PC DATED 12/04/23.
- UTILITY CONNECTION TO BE MADE UNDER PSE&G LI UTILITIES STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, PSE&G LI WORK ORDER 900000183553.
- EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
- EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
- EXISTING STORM DRAIN INLETS TO BE PROTECTED WITH TEMPORARY GRAVEL BAGS DURING CONSTRUCTION.
- CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS. SEE SHEET C-4 FOR GRADING DESIGN.
- CONTRACTOR TO LOCATE NATURAL GAS PIPING PRIOR TO CONSTRUCTION. ALL PROPOSED ELECTRICAL CONDUITS & ELECTRICAL EQUIPMENT TO BE KEPT A MINIMUM OF 24" FROM GAS LINE.
- CONTRACTOR TO CONFIRM DEPTH OF EXISTING STORM DRAIN & WATER LINE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF DEPTH BELOW SURFACE IS LESS THAN 36".

**TESLA**

3500 DEER CREEK ROAD  
 PALO ALTO, CA 94304  
 (650) 681-5000

**Dewberry**

Dewberry Engineers Inc.  
 600 PARSIPPANY ROAD  
 SUITE 301  
 PARSIPPANY, NJ 07054  
 PHONE: 973.739.9400  
 FAX: 973.739.9710

STATE OF NEW YORK  
 DAVID E. REVETTE  
 LICENSED PROFESSIONAL ENGINEER  
 101758-01

DAVID E. REVETTE, P.E.  
 NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

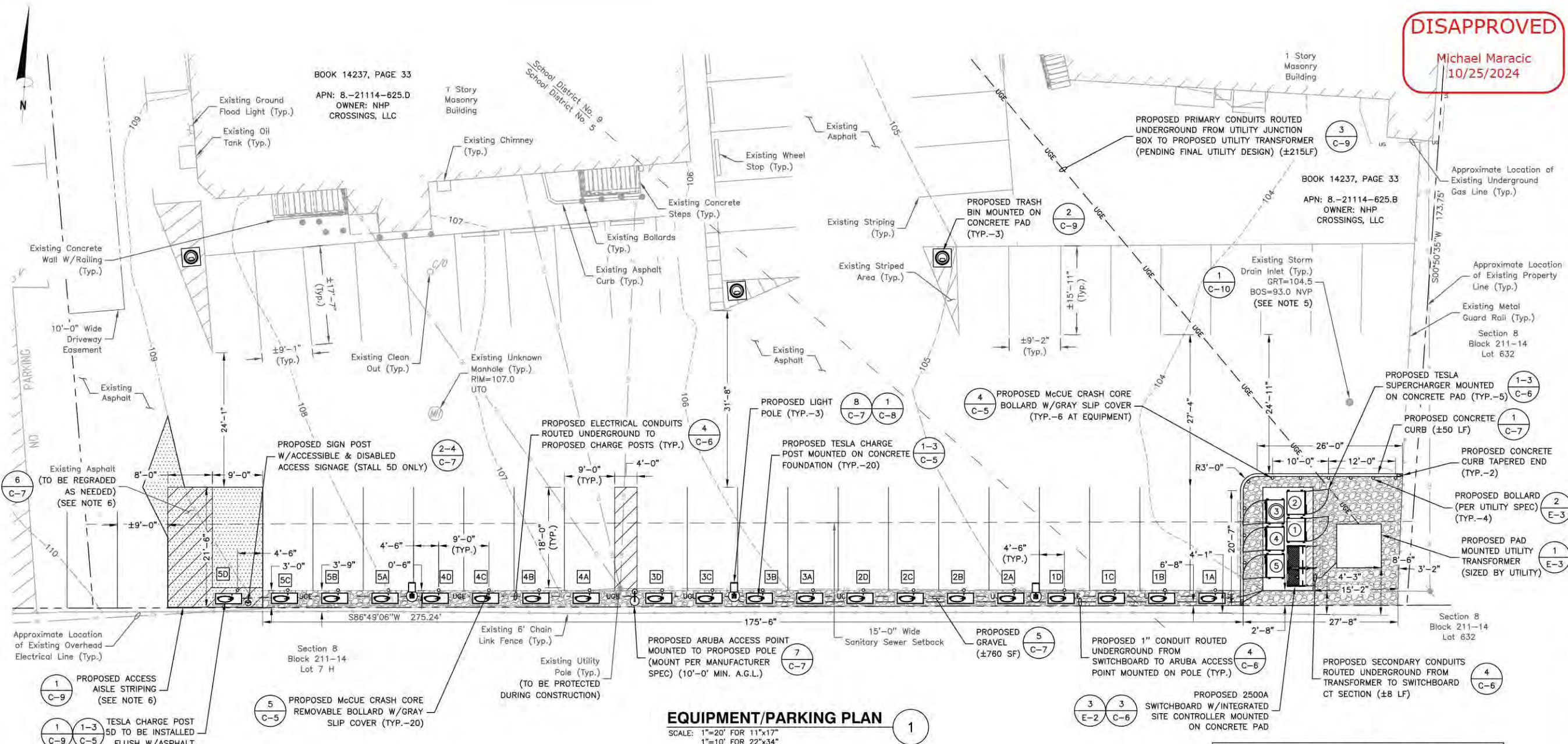
**SITE NAME:**  
 NORTH NEW HYDE PARK, NY  
 - HILLSIDE AVE  
 (TRT ID: 424060)

**SITE ADDRESS:**  
 2048 HILLSIDE AVE  
 NORTH NEW HYDE PARK, NY  
 11040

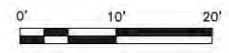
**SHEET TITLE**  
 EXISTING  
 CONDITIONS PLAN

**SHEET NUMBER**  
 C-2

**DISAPPROVED**  
Michael Maracic  
10/25/2024



**EQUIPMENT/PARKING PLAN**  
SCALE: 1"=20' FOR 11"x17"  
1"=10' FOR 22"x34"



NOTE: ALL EV STALLS SHALL NOT BE DEDICATED TO ELECTRIC VEHICLES AND CAN BE ACCESSED BY ANY VEHICLE

**NOTES:**

- SITE PLAN BASED ON ENGINEERING DESIGN SURVEY: A PORTION OF THE PROPERTY DESCRIBED IN BOOK 14237, PAGE 33, SECTION 8, BLOCK 211-14, LOT 625 B & 625 D, 2056 HILLSIDE AVE, TOWN OF NORTH HEMPSTEAD, COUNTY OF NASSAU, STATE OF NEW YORK, BY CONTROL POINT ASSOCIATES, INC. PC DATED 12/04/23.
- UTILITY CONNECTION TO BE MADE UNDER PSE&G LI UTILITIES STANDARDS, CONFIRM FINAL DESIGN PRIOR TO CONSTRUCTION, PSE&G LI WORK ORDER 900000183553.
- EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
- EXISTING CUSTOMER OWNED ELECTRICAL CONDUIT TO BE RELOCATED AS NEEDED DURING CONSTRUCTION.
- EXISTING STORM DRAIN INLETS TO BE PROTECTED WITH TEMPORARY GRAVEL BAGS DURING CONSTRUCTION.
- CONTRACTOR TO CONFIRM ADA/ACCESSIBLE STRIPING & ASSOCIATED STALLS HAVE <2% GRADE IN ALL DIRECTIONS. SEE SHEET C-4 FOR GRADING DESIGN.
- CONTRACTOR TO LOCATE NATURAL GAS PIPING PRIOR TO CONSTRUCTION. ALL PROPOSED ELECTRICAL CONDUITS & ELECTRICAL EQUIPMENT TO BE KEPT A MINIMUM OF 24" FROM GAS LINE.
- CONTRACTOR TO CONFIRM DEPTH OF EXISTING STORM DRAIN & WATER LINE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF DEPTH BELOW SURFACE IS LESS THAN 36".

**CHARGING POST CIRCUIT SCHEDULE**

SUPERCHARGER	CHARGE POST	DEDICATED/ENABLED	SUPERCHARGER	CHARGE POST	DEDICATED/ENABLED
①	1A	ENABLED	④	2A	ENABLED
	1B	ENABLED		2B	ENABLED
	1C	ENABLED		2C	ENABLED
	1D	ENABLED		2D	ENABLED
②	2A	ENABLED	⑤	3A	ENABLED
	2B	ENABLED		3B	ENABLED
	2C	ENABLED		3C	ENABLED
	2D	ENABLED		3D	ENABLED
③ 'STAR-CENTER'	3A	ENABLED			
	3B	ENABLED			
	3C	ENABLED			
	3D	ENABLED			

**LEGEND**

①	TESLA 'STAR POINT' SUPERCHARGER
③	TESLA 'STAR CENTER' SUPERCHARGER
1A	TESLA CHARGE POST
T	V4 CABLE TERMINUS

**PROPOSED STALL SCHEDULE**

DESCRIPTION	QUANTITY
PROPOSED TESLA STALLS	20

**TOTAL STALL SCHEDULE**

DESCRIPTION	QUANTITY
EXISTING STALL COUNT (EXISTING NON-CONFORMING)	62
PROPOSED STALL COUNT	62
NET STALL LOSS	0

**TESLA**  
3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000

**Dewberry**  
Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710

STATE OF NEW YORK  
DAVID E. REVETTE  
LICENSED PROFESSIONAL ENGINEER  
101758-01  
DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY: MKW  
CHECKED BY: JTB  
APPROVED BY: DER  
PROJECT #: 50123704  
JOB #: 50167716

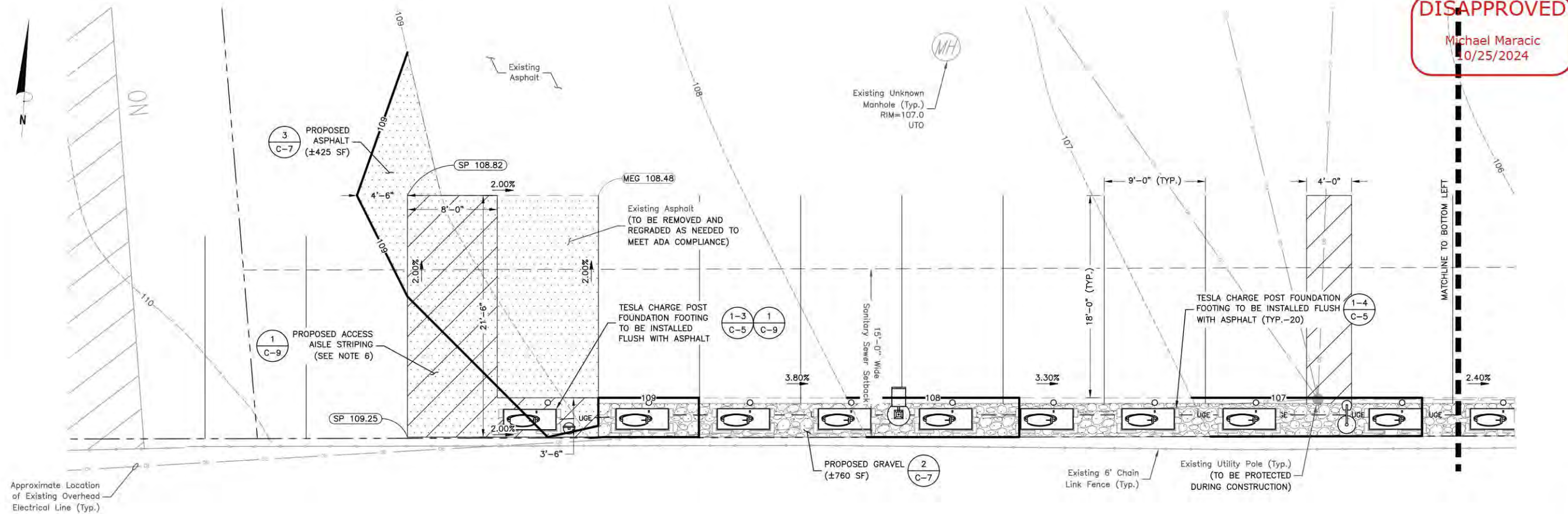
**SUBMITTALS**

REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

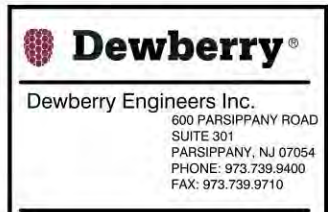
SITE NAME:  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)  
SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
**EQUIPMENT  
/PARKING PLAN**

SHEET NUMBER  
**C-3**



**DISAPPROVED**  
 Michael Maracic  
 10/25/2024



DRAWN BY: MKW  
 CHECKED BY: JTB  
 APPROVED BY: DER  
 PROJECT #: 50123704  
 JOB #: 50167716

**SUBMITTALS**

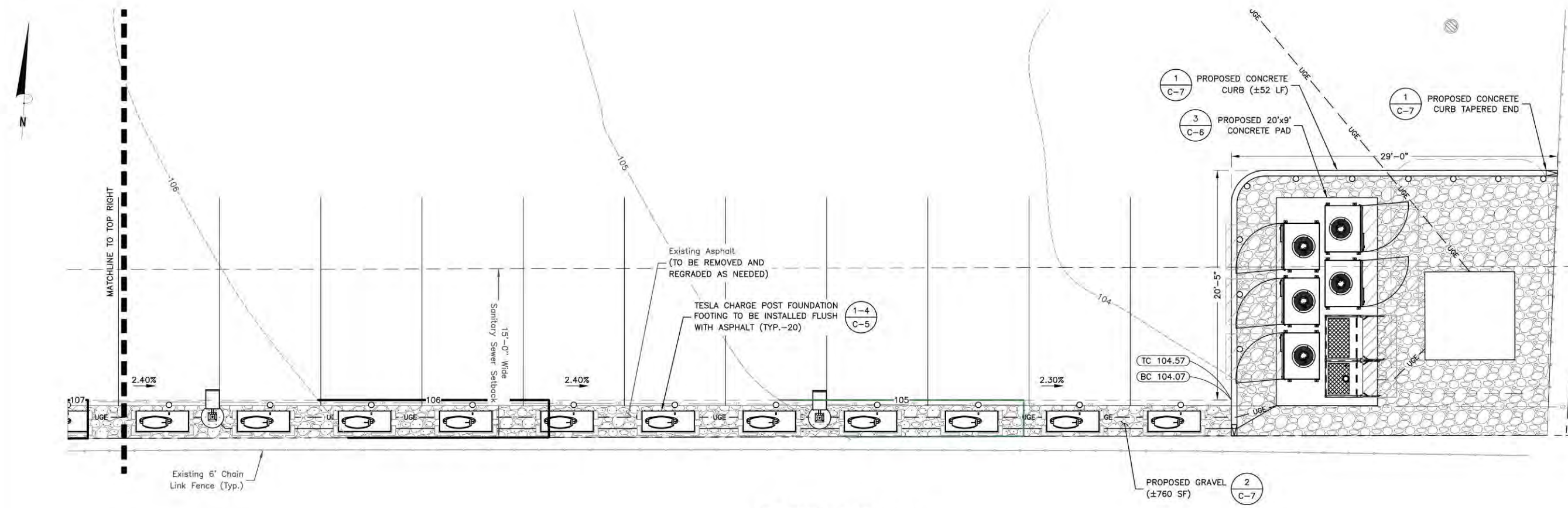
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

**SITE NAME:**  
 NORTH NEW HYDE PARK, NY  
 - HILLSIDE AVE  
 (TRT ID: 424060)

**SITE ADDRESS:**  
 2048 HILLSIDE AVE  
 NORTH NEW HYDE PARK, NY  
 11040

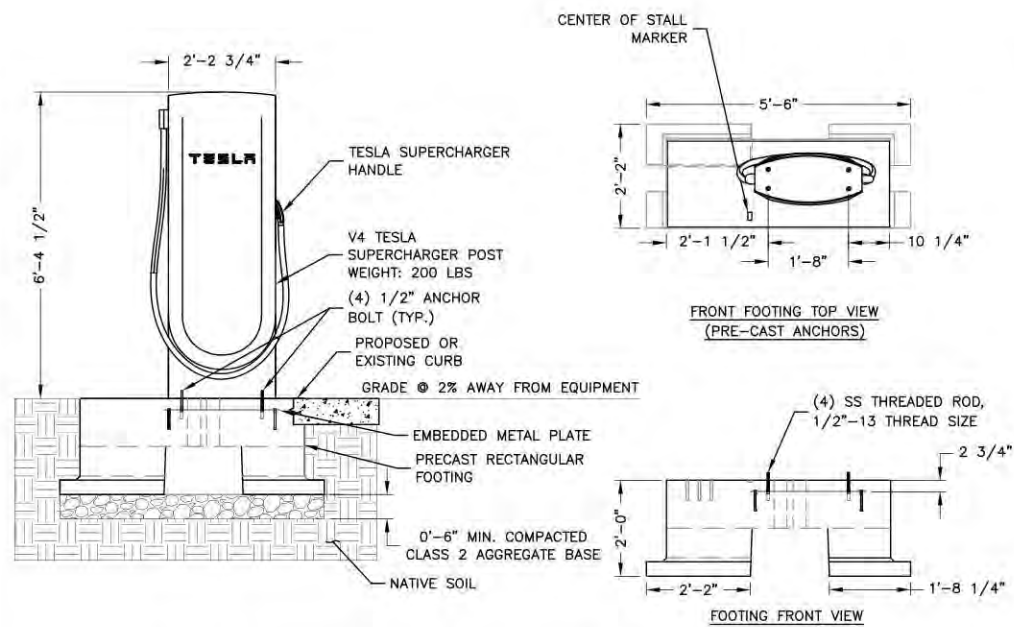
**SHEET TITLE**  
 GRADING PLAN

**SHEET NUMBER**  
 C-4



**GRADING PLAN**  
 SCALE: 1"=10' FOR 11"x17"  
 1"=5' FOR 22"x34"  
 0' 5' 10'





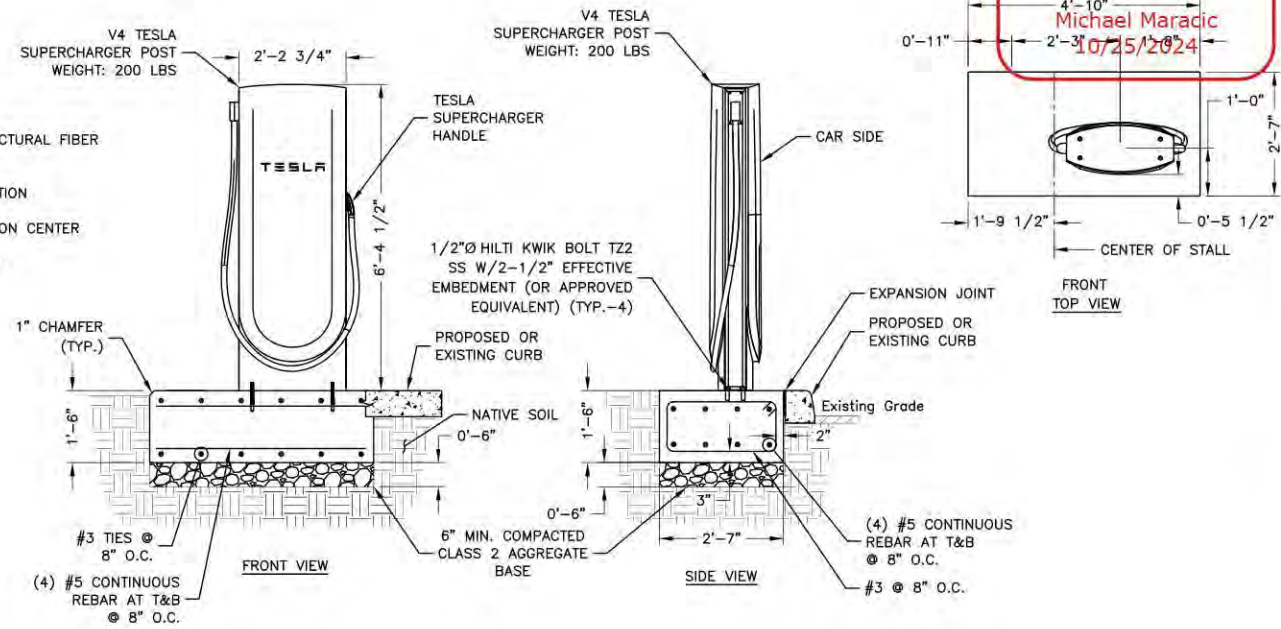
**TESLA SUPERCHARGER PRECAST FOUNDATION DETAIL**

SCALE: N.T.S.

1

**NOTES:**

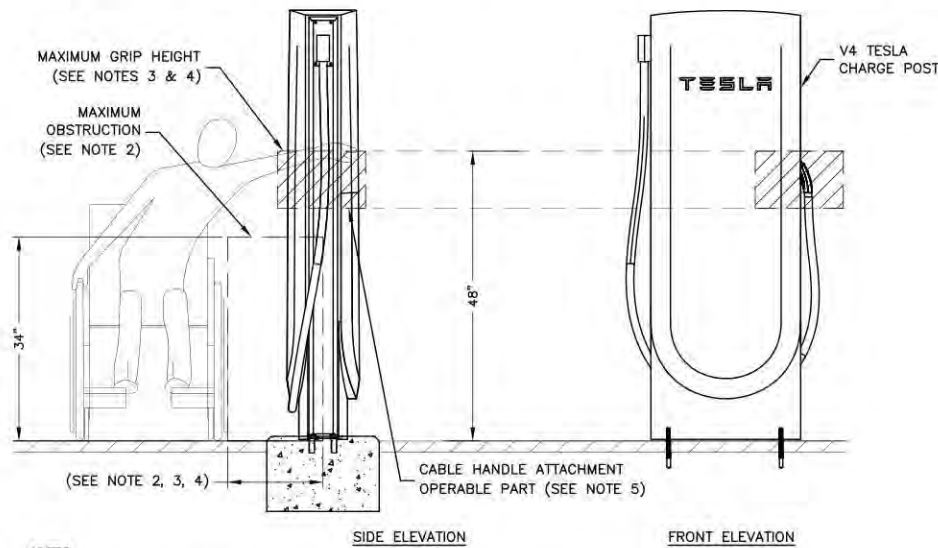
1. PRECAST FOOTING REINFORCED WITH STRUCTURAL FIBER  
VOLUME: 0.483 CU YDS  
WEIGHT: 1,990 LBS  
SEE CUTSHEETS FOR ADDITIONAL INFORMATION
2. S501.1333 SUPERCHARGER POST CENTER ON CENTER  
PRECAST FOOTING DETAIL RA  
WIND RATING (WITHOUT SIGN) = 134 MPH  
WIND RATING (WITH SIGN) = 120 MPH



**V4 SUPERCHARGER POST CAST-IN-PLACE FOUNDATION DETAIL**

SCALE: N.T.S.

2



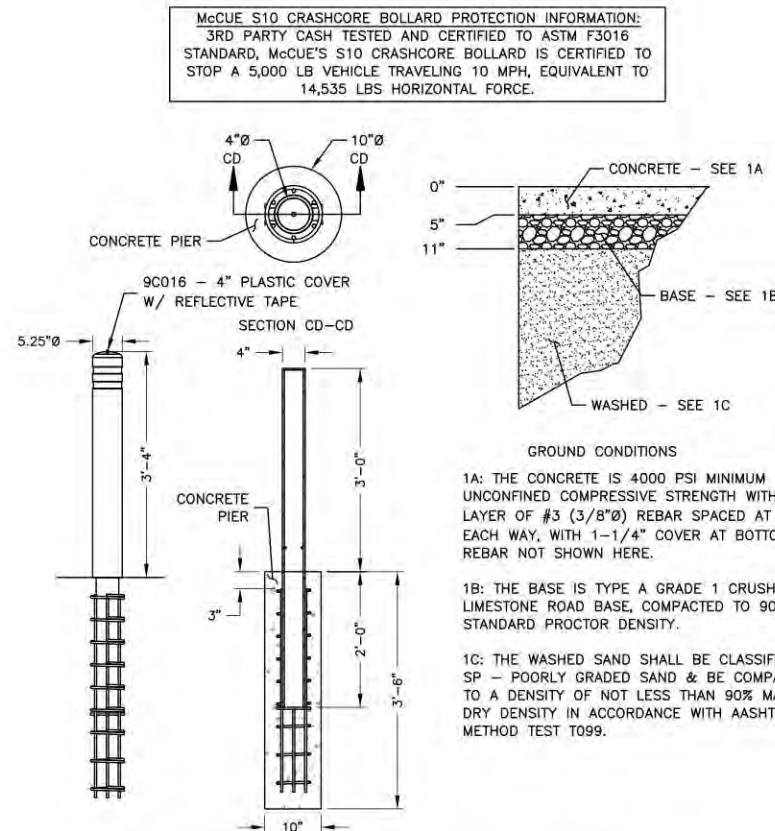
**NOTES:**

1. DETAIL IS IN REFERENCE TO 2010 ADA STANDARDS OF ACCESSIBLE DESIGN.
2. PER 2010 ADA STANDARDS OF ACCESSIBLE DESIGN SECTION 308.3.1 & 308.3.2, MAXIMUM OBSTRUCTION TO BE NO LARGER THAN 24 INCHES IN WIDTH AND 34 INCHES IN HEIGHT.
3. PER 2010 ADA STANDARDS OF ACCESSIBLE DESIGN SECTION 308.3.1 & 308.3.2, THE HIGH SIDE REACH SHALL NOT EXCEED 48 INCHES MAXIMUM FOR A REACH DEPTH OF 10 INCHES MAXIMUM.
4. PER 2010 ADA STANDARDS OF ACCESSIBLE DESIGN SECTION 308.3.1 & 308.3.2, WHERE THE REACH DEPTH EXCEEDS 10 INCHES, THE HIGH SIDE REACH SHALL NOT EXCEED 46 INCHES MAXIMUM FOR A REACH DEPTH OF 24 INCHES MAXIMUM.
5. OPERABLE PART OF CABLE HANDLE COMPLIES WITH REACH RANGES PER 2010 ADA STANDARDS OF ACCESSIBLE DESIGN SECTION 309.
6. PER 2010 ADA STANDARDS OF ACCESSIBLE DESIGN SECTION 308.3.2, EXCEPTIONS 2, OPERABLE PARTS OF CABLE HANDLE SHALL BE PERMITTED TO BE 54 INCHES MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE CABLE HANDLES ARE INSTALLED ON EXISTING CURBS.
7. CONTRACTOR TO CONFIRM FIELD MODIFICATION FOR PROPER HAND GRIP HEIGHT W/TESLA PRIOR TO CONSTRUCTION.

**GRAB HEIGHT DETAIL**

SCALE: N.T.S.

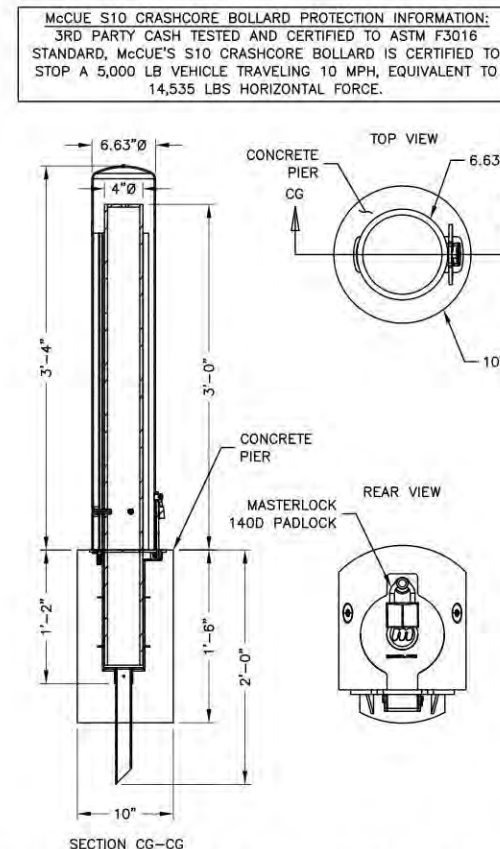
3



**McCUE CRASH CORE BOLLARD DETAIL**

SCALE: N.T.S.

4



**McCUE CRASH CORE REMOVABLE BOLLARD DETAIL**

SCALE: N.T.S.

5



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

**SUBMITTALS**

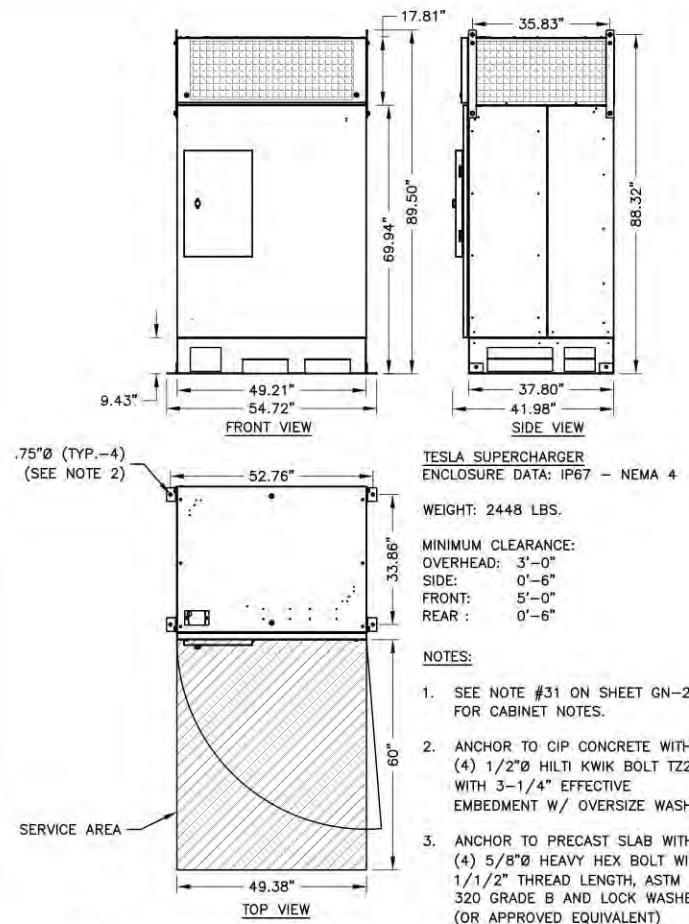
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

**SITE NAME:**  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

**SITE ADDRESS:**  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

**SHEET TITLE**  
CONSTRUCTION  
DETAILS I

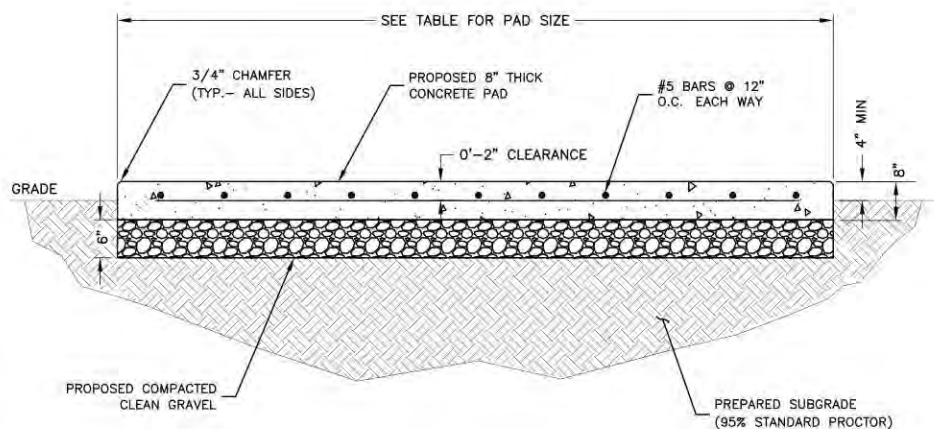
**SHEET NUMBER**  
C-5



**TESLA SUPERCHARGER CABINET DETAIL**  
ENCLOSURE DATA: IP67 - NEMA 4  
WEIGHT: 2448 LBS.  
MINIMUM CLEARANCE:  
OVERHEAD: 3'-0"  
SIDE: 0'-6"  
FRONT: 5'-0"  
REAR: 0'-6"

**NOTES:**  
1. SEE NOTE #31 ON SHEET GN-2 FOR CABINET NOTES.  
2. ANCHOR TO CIP CONCRETE WITH (4) 1/2" HILTI KWIK BOLT T22 WITH 3-1/4" EFFECTIVE EMBEDMENT W/ OVERSIZE WASHER.  
3. ANCHOR TO PRECAST SLAB WITH (4) 5/8" HEAVY HEX BOLT WITH 1-1/2" THREAD LENGTH, ASTM 320 GRADE B AND LOCK WASHER (OR APPROVED EQUIVALENT)

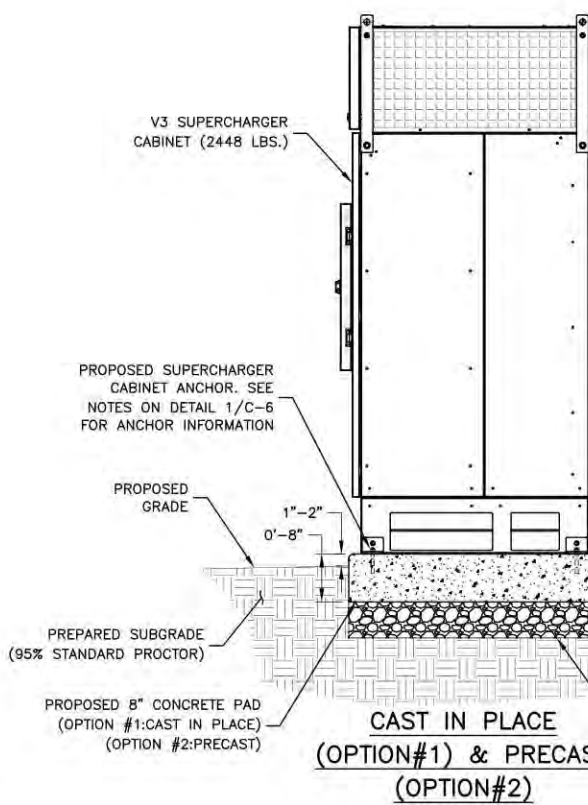
**TESLA SUPERCHARGER CABINET DETAIL** 1  
SCALE: N.T.S.



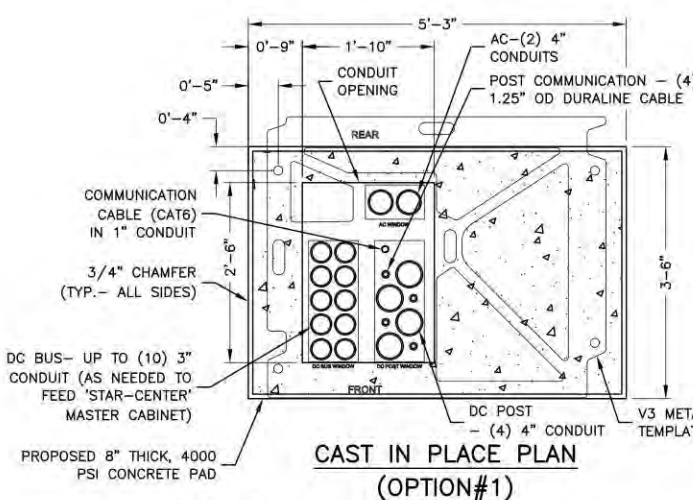
CONCRETE PAD DIMENSIONS					
PAD TYPE	CONCRETE	L	W	t (THICKNESS)	AREA
EQUIPMENT	4000 PSI	18'-6"	9'-0"	8"	166.5 S.F.

- NOTES:**
- SEE CONCRETE NOTES ON SHEET GN-2.
  - INSTALL FORMS AS NECESSARY.
  - COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
  - INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.
  - CONTRACTOR TO PROVIDE A MIN OF 6" OF COMPACTED CRUSHED STONE FOR CAPILLARY BREAK AND CONSTRUCTION CONTROL UNDER ALL CONCRETE SLABS. CONTRACTOR SHALL IDENTIFY POOR DRAINING SOILS AND PROVIDE ADDITIONAL COMPACTED, WELL GRADED COURSE-GRAINED SOIL BACKFILL TO FROST DEPTH. CONTRACTOR TO NOTIFY TESLA CM AND ENGINEER.
  - SEE DETAIL 2/C-6 FOR SUPERCHARGER CABINET REINFORCEMENT LAYOUT.
  - SWITCHBOARD ANCHORS SHALL BE: 1/2" HILTI KWIK BOLD T22 SS W/ 2-1/2" EFFECTIVE (3" NOMINAL) EMBEDMENT (OR APPROVED EQUIVALENT) (TYP. B)

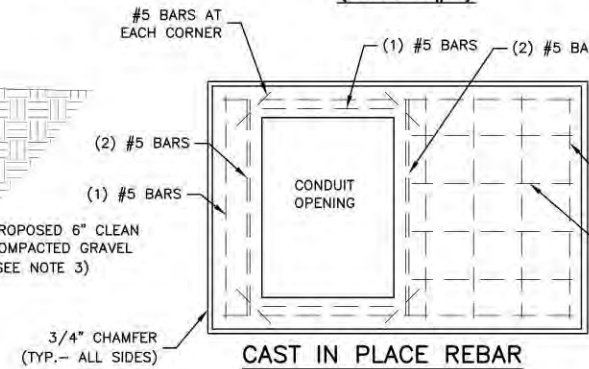
**CONCRETE PAD DETAIL** 3  
SCALE: N.T.S.



**CAST IN PLACE (OPTION#1) & PRECAST (OPTION#2)**

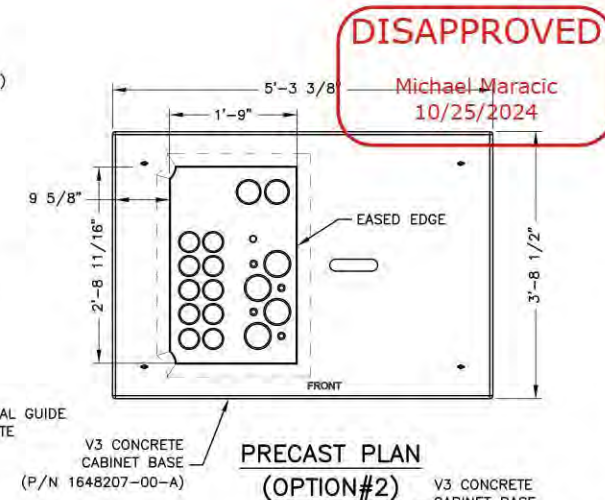


**CAST IN PLACE PLAN (OPTION#1)**

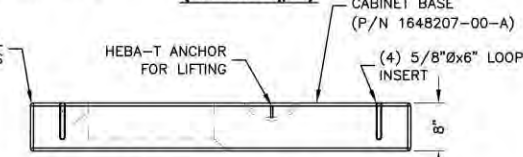


**CAST IN PLACE REBAR PLAN (OPTION#1)**

**V3 CABINET FOUNDATION PLAN** 2  
SCALE: 3/8"=1' FOR 11"x17"  
3/4"=1' FOR 22"x34"



**PRECAST PLAN (OPTION#2)**



**PRECAST SECTION (OPTION#2)**

- NOTES:**
- SEE CONCRETE NOTES ON SHEET GN-2.
  - DETAIL SHOWN AS TYPICAL FOR (1) V3 SUPERCHARGER CABINET. PAD TO BE INCREASED AS NEEDED FOR ADDITIONAL CABINETS OR ELECTRICAL EQUIPMENT.
  - CONTRACTOR TO PROVIDE A MIN OF 6" OF COMPACTED CRUSHED STONE FOR CAPILLARY BREAK AND CONSTRUCTION CONTROL UNDER ALL CONCRETE SLABS. CONTRACTOR SHALL IDENTIFY POOR DRAINING SOILS AND PROVIDE ADDITIONAL COMPACTED, WELL GRADED COURSE-GRAINED SOIL BACKFILL TO FROST DEPTH. CONTRACTOR TO NOTIFY TESLA CM AND ENGINEER.

**MINIMUM CENTER TO CENTER CONDUIT SPACING**

SWITCHBOARD TO CABINETS	7.5" O.C.
DC (BUSS)	7.5" O.C.

- NOTES:**
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
  - IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL. COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
  - CONCRETE ENCASE CONDUIT WHEN TRENCHING UNDER SITE ACCESS ROAD.
  - ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
  - MAINTAIN 12" SEPARATION MIN. BETWEEN AC OR DC CONDUCTORS AND COMMUNICATION CABLES.
  - MAINTAIN 2" SEPARATION MINIMUM BETWEEN OUTER WALLS OF CONDUITS.
  - CONFIRM ALL DEPTHS W/UTILITY & NEC PRIOR TO CONSTRUCTION.
  - DIRECT BURIAL SHALL BE EMBEDDED WITH A MINIMUM DEPTH OF FOUR INCHES OF SAND OR FINE COARSE MATERIAL BELOW CABLE, THREE INCH ON THE SIDES, ADDITIONAL FOUR-SIX COVERAGE.
  - TRENCH SHALL NOT HAVE ROCKS 3" OR SHARP OBJECTS GREATER IN DIAMETER NEAR OR AROUND DIRECT CABLE INSTALLATION.

**TYP. BURIED CONDUIT TRENCH DETAILS** 4  
SCALE: N.T.S.

**DISAPPROVED**  
Michael Maracic  
10/25/2024

3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000

Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710

DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

**DRAWN BY:** MKW  
**CHECKED BY:** JTB  
**APPROVED BY:** DER  
**PROJECT #:** 50123704  
**JOB #:** 50167716

**SUBMITTALS**

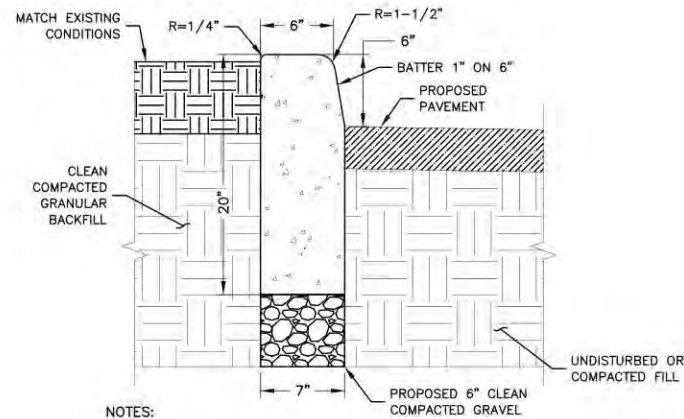
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

**SITE NAME:**  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

**SITE ADDRESS:**  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

**SHEET TITLE**  
CONSTRUCTION  
DETAILS II

**SHEET NUMBER**  
C-6



- NOTES:**
1. SAW CUT AREA TO BE REPAIRED/REPLACED. DISPOSE OF DEBRIS PROPERLY OFF SITE.
  2. INSTALL FORMS AS NECESSARY.
  3. COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
  4. CONCRETE TO BE 4000 PSI AIR ENTRAINED CONCRETE.
  5. INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

**CONCRETE CURB DETAIL**

SCALE: N.T.S.

1



**DISABLED ACCESS SIGN**

SCALE: N.T.S.

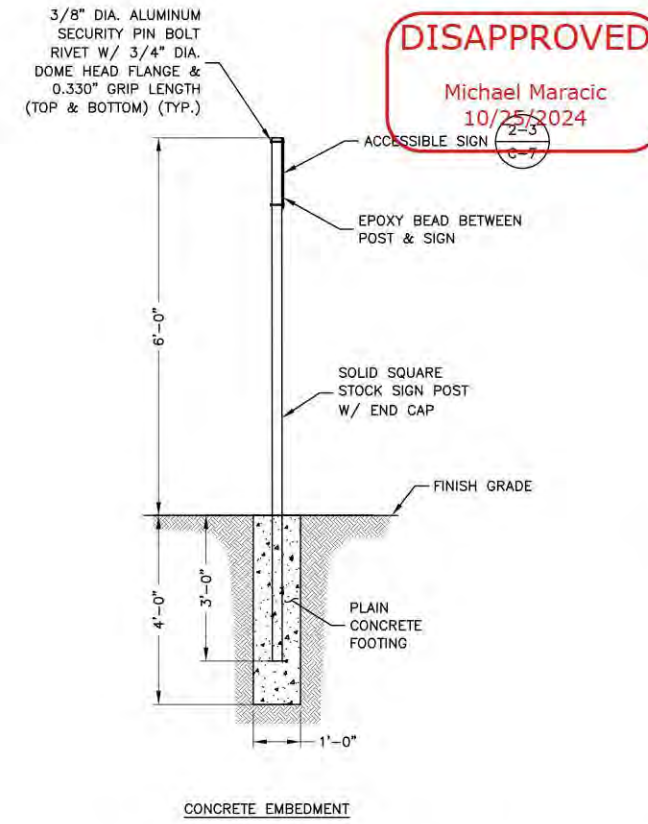
2



**ACCESSIBLE SIGNAGE DETAIL**

SCALE: N.T.S.

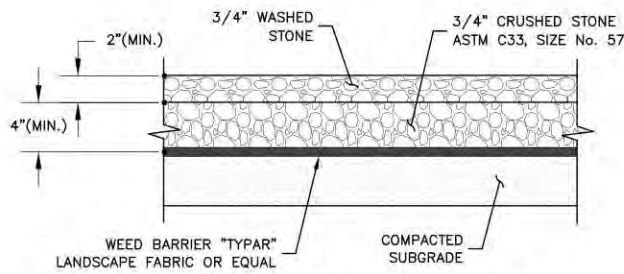
3



**SQUARE SIGN POST DETAIL**

SCALE: N.T.S.

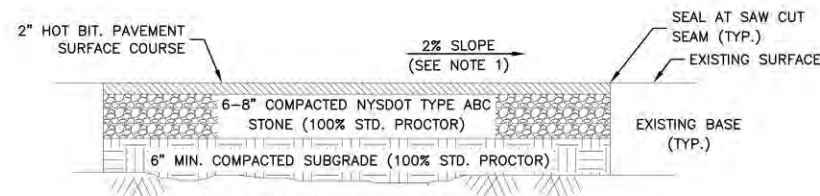
4



**GRAVEL AREA DETAIL**

SCALE: N.T.S.

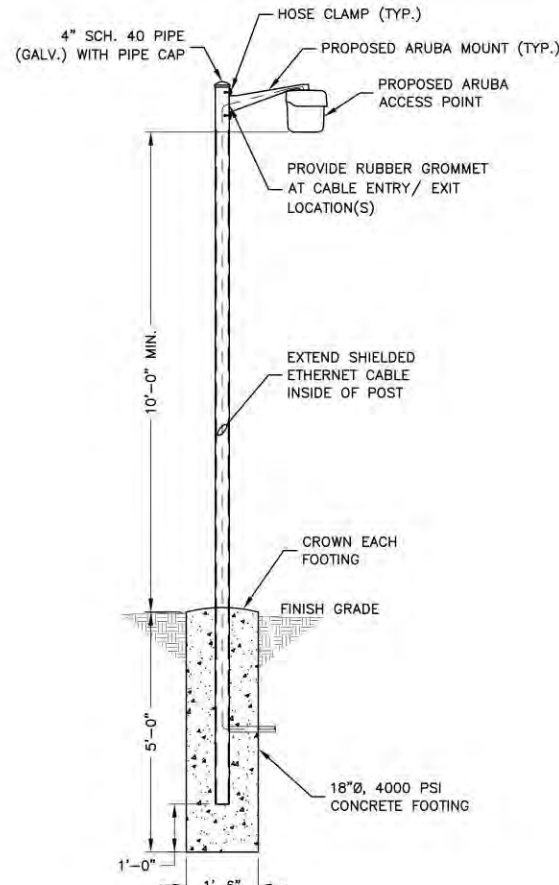
5



**ASPHALT PAVEMENT DETAIL**

SCALE: N.T.S.

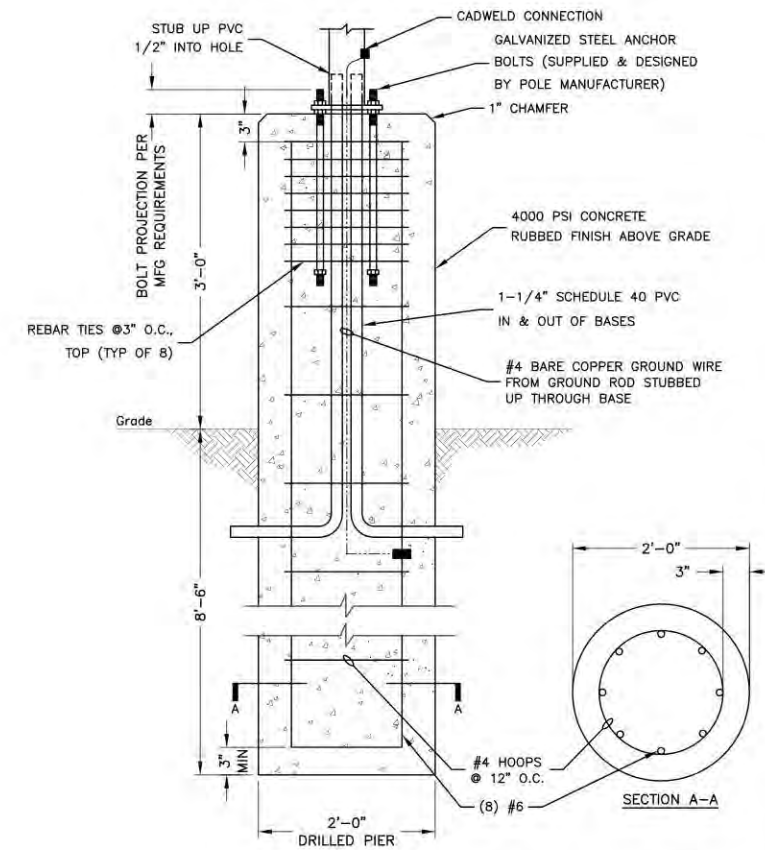
6



**ARUBA ACCESS POINT POLE MOUNTING DETAIL**

SCALE: N.T.S.

7



**PEDESTRIAN LIGHT POLE BASE DETAIL**

SCALE: N.T.S.

8



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY: MKW

CHECKED BY: JTB

APPROVED BY: DER

PROJECT #: 50123704

JOB #: 50167716

**SUBMITTALS**

REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
**CONSTRUCTION  
DETAILS III**

SHEET NUMBER  
**C-7**

**DISAPPROVED**  
Michael Maracic  
10/25/2024



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY: MKW  
CHECKED BY: JTB  
APPROVED BY: DER  
PROJECT #: 50123704  
JOB #: 50167716

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)  
SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
CONSTRUCTION  
DETAILS IV

SHEET NUMBER  
**C-8**

## XSP Series

XSP LG LED Street/Area Luminaire - Large

### Product Description

Designed from the ground up as a totally optimized LED street and area lighting system, the XSP Series delivers incredible efficiency without sacrificing application performance. Beyond substantial energy savings and reduced maintenance, Cree achieves greater optical control with our NanoOptic® Precision Delivery Grid™ optic when compared to traditional cobra head luminaires. The XSP Series is the better alternative for traditional street and area lighting with quick payback and improved performance.

**Applications:** Multi-lane freeways, express ways, major roads, parking lots, and general area spaces.

### Performance Summary

NanoOptic® Precision Delivery Grid™ optic
Assembled in the U.S.A. of U.S. and imported parts
<b>Initial Delivered Lumens:</b> Up to 23,800
<b>Efficacy:</b> Up to 139 LPW
<b>CRI:</b> Minimum 70 CRI
<b>CCT:</b> 2700K, 3000K, 4000K, 5000K, 5700K
<b>Limited Warranty:</b> 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish

\* See <http://lighting.cree.com/warranty> for warranty terms.

### Accessories


Field-Installed	
Backlight Control Shield XA-SP2BLS - Provides 1 mounting height cutoff - Polycarbonate construction - Refer to initial delivered lumens tables for lumen output	Bird Spikes XA-SP2BRD5PX

### Ordering Information

Example: XSP LG-D-HT-2LG-24L-27K7-UL-SV-N

XSP LG	D	HT	Optic	Lumen Package**	CCT/CRI	Voltage	Color Options	Utility Label/Receptacle	N	Options
XSP LG	D	HT	Asymmetric 2LG* Type II Long	18L 18,000 Lumens	27K7 2700K, 70 CRI	UL Universal 335-277V	BK Black	N Utility Label and NEMA* 7-Pin Photocell Receptacle	F Fuse	
			2ME* Type II Medium	24L 24,000 Lumens	30K7 3000K, 70 CRI	LH Universal 347-480V	BZ Bronze	G Small Four Bolt Mounting		
			3ME* Type II Medium	30K7 30,000 Lumens	40K7 4000K, 70 CRI		SV Silver	J Large Four Bolt Mounting		
			4ME* Type IV Medium	40K7 40,000 Lumens	50K7 5000K, 70 CRI		WH White			

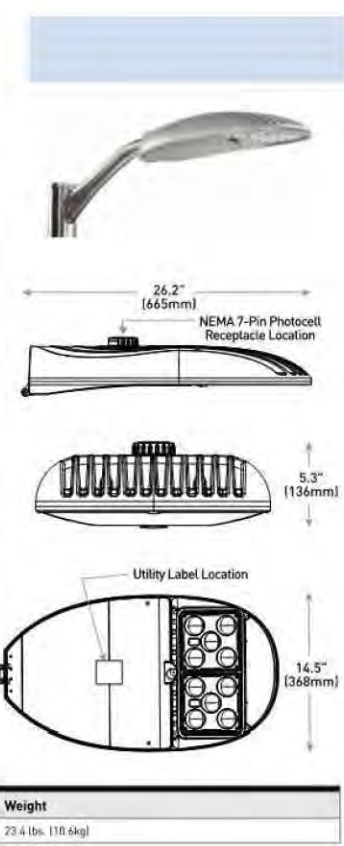
\* Available with Backlight Shield when ordered with field-installed accessories (see table above)  
\*\* Lumen Package codes denote approximate light output only. Actual lumen output levels may vary depending on CCT and optic selection. Refer to Initial Delivered Lumens tables for specific lumen values.



US: lighting.cree.com T (800) 236-6800 F (262) 504-5415

Rev. Date: V2 04/18/2019

Canada: www.cree.com/canada T (800) 473-1234 F (800) 890-7507



## LPI Series

Straight Square Steel Poles

### Product Description

Cree Lighting's LPI Series square straight steel poles are constructed of ASTM A 500 Grade B carbon steel structural tubing which provides a minimum yield strength of 46,000 psi. The one-piece construction with a full-length longitudinal resistance weld is uniformly square in cross section with flat sides, small corner radii and excellent torsional properties. The pole is welded to a formed carbon steel base plate (ASTM A-36 HRS) with a minimum yield strength of 36,000 psi. Pole base has slotted holes to accommodate installation. Poles are supplied with a paper mounting template, four partially galvanized (ASTM A153) L-shaped anchor bolts with a minimum yield strength of 55,000 psi, eight hex nuts and eight flat washers. A two-piece ABS plastic base cover that secures with four push pins provides a rust-proof and tamper resistant cover for the base plate and anchor bolts. A 3" x 5" (4-6" poles) or 1.63" x 3.5" (3" poles) hand hole is located 14" above the bottom of pole base. A 1/2" stainless-steel weld stud with grounding lug is located inside the pole, opposite the hand hole. Drilled poles include a painted plastic pole cap with a spring steel clip. The welded tenon top mounting configuration includes a 2.38" O.D. x 4" long tenon at the top of the pole. The open top mounting configuration is designed to accept internal mount tenons or brackets.

Cree Lighting poles are steel shot cleaned to remove any rust, mill scale, oxides, or other unwanted particles from the pole resulting in a surface preparation that exceeds the specifications published by the SSPC-SP10. Iron phosphate is then applied, creating an iron oxide base with a flat or amorphous metal phosphate topcoat. This coating significantly adds to the performance of the finished coating by improving bonding and minimizing the spread of oxidation if the coating is scratched, improving corrosion resistance. Polyester powder coating is applied to a 6-mil thickness.

### LIMITED WARRANTY!

- 7 years on pole and tenons/7 years on finish/1 year on GFI receptacle

\* See <http://www.cree.com/warranty> for warranty terms.

### Ordering Information

Fully assembled pole is composed of two components that must be ordered separately.  
Example: Anchor Bolts w/Template: LPI4ABT-0 + Pole: LPI4C251Z-0

Anchor Bolts/Templates
LPI2ABT-0 Anchor Bolts & Template for 3" Poles: 0.75" anchor bolts, 8.5" bolt circle (8-9" range)
LPI4ABT-0 Anchor Bolts & Template for 4" Poles: 0.75" anchor bolts, 8.5" bolt circle (8-9" range)
LPI5ABT-0 Anchor Bolts & Template for 5" Poles: 1" anchor bolts, 11" bolt circle (10-12" range)
LPI6ABT-0 Anchor Bolts & Template for 6" Poles: 1" anchor bolts, 11.5" bolt circle (11-12" range)

LPI Product	Face (INI)/Wall Thickness (GA)	Pole Height (FT)	Mounting Configuration	Fixture Mounting Drill Pattern**	Color Options	Options	Pole Only Designator
LPI	3C 3" 11 gauge (0.125") 4C 4" 11 gauge (0.125") 4S 4" 7 gauge (0.188") 5S 5" 7 gauge (0.188") 6S 6" 7 gauge (0.188")	3" Poles 10-10' 5" Poles 15-15', 22-22', 25-25', 30-30' 6" Poles 12-12', 13-13', 14-14', 15-15', 16-16', 18-18', 20-20', 22-22', 23-23', 25-25'	Drilled Poles 1 Drilled for Direct Mount (Single) 2 Drilled for Direct Mount (2618deg) 3 Drilled for Direct Mount (12870deg) 5 Drilled for Direct Mount (13870deg) 6 Drilled for Direct Mount (14870deg) Open Top Poles 1* Open top to accept internal mount tenons Welded Tenon Top Poles W Welded Tenon Top - 2.38" O.D. x 4.0" Long	BLANK Standard Cree Lighting Drill Pattern - For use with Cree Lighting and C-LITE™ area/road luminaires except THE EDGE™ High Output or OSQX THE EDGE™ High Output Drill Pattern - Drill Pattern for use only with THE EDGE High Output luminaires with EHO-UNV mount OSQX Drill Pattern - Drill Pattern for use only with OSQX luminaires	K Black S Silver W White Z Bronze	CSA CSA Certified for Canada GFI Standard GFI - Located 25" above the base of the pole on same side as hand hole. Consult factory for placement at other locations. - Available only with 4"-6" poles UL ULus Listed	-G GFI anchor bolts & templates separately

\* Order tenon separately. Refer to [www.cree.com/warranty](http://www.cree.com/warranty) for additional information.  
\*\* Refer to page 3 for fixture mounting patterns.



US: cree.com/lighting 1 (800) 236-6800  
Canada: cree.com/lighting-canada 1 (800) 473-1234

**CREE LIGHTING**

ORDER INFORMATION:  
CREE XSP LG-D-HT-3ME-18L-40K7-UL-BK-N  
XSP LARGE, HORZ TENON, TYPE 3ME, 18L, 4000K, 120/277, BLACK

ORDER INFORMATION:  
SINGLE FIXTURE:  
CREE LPI4C201K-0 20"x4"x4" STEEL POLE  
PREDRILLED FOR 1 FIXTURE (BLACK)

DUAL FIXTURE:  
CREE LPI4C202K-0 20"x4"x4" STEEL POLE  
PREDRILLED FOR 2 FIXTURES @ 180° (BLACK)


**LIGHT FIXTURE & POLE DETAIL**  
SCALE: N.T.S.

1

**DISAPPROVED**  
Michael Maracic  
10/25/2024



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

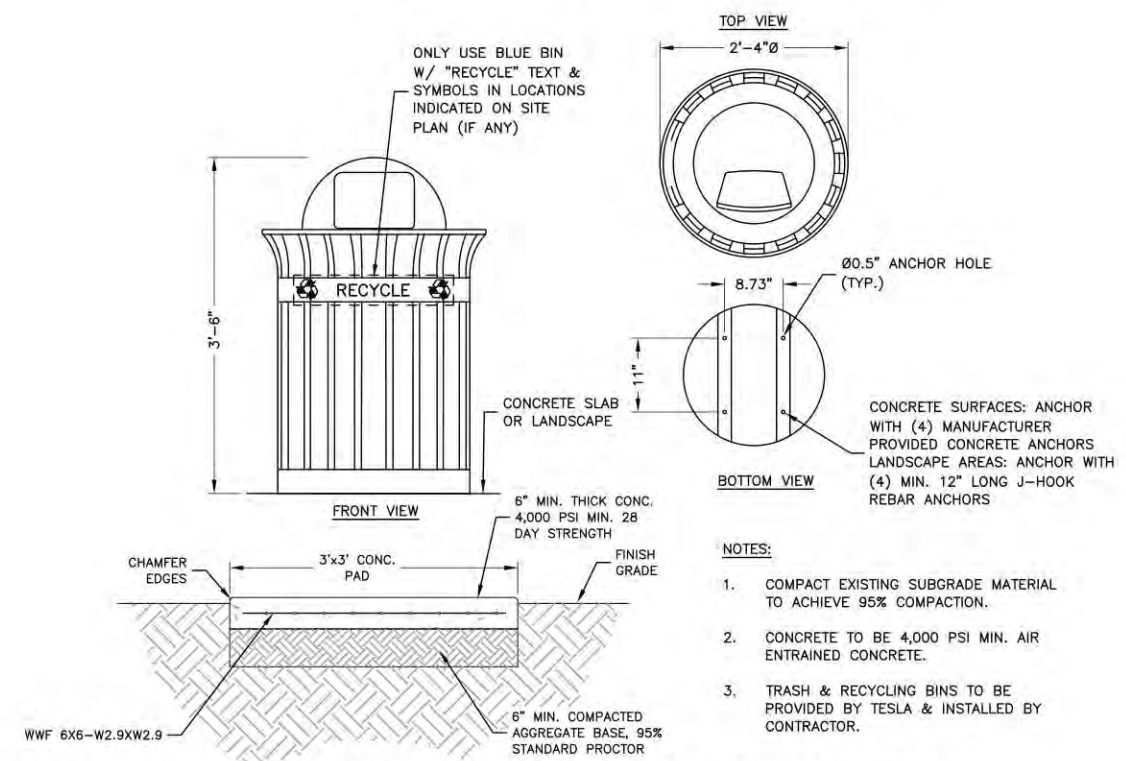
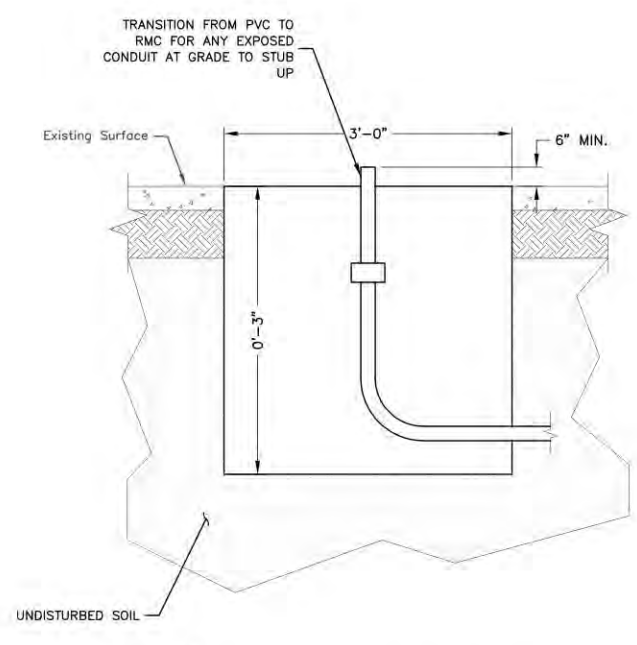
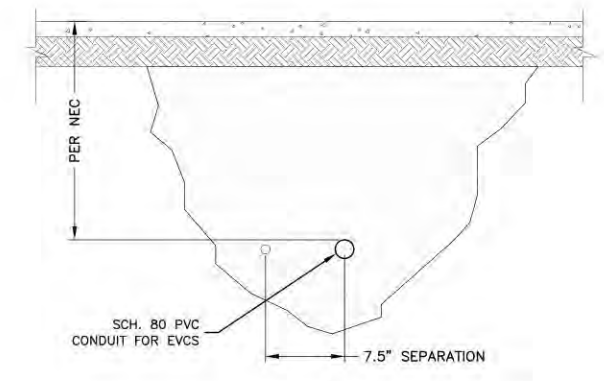
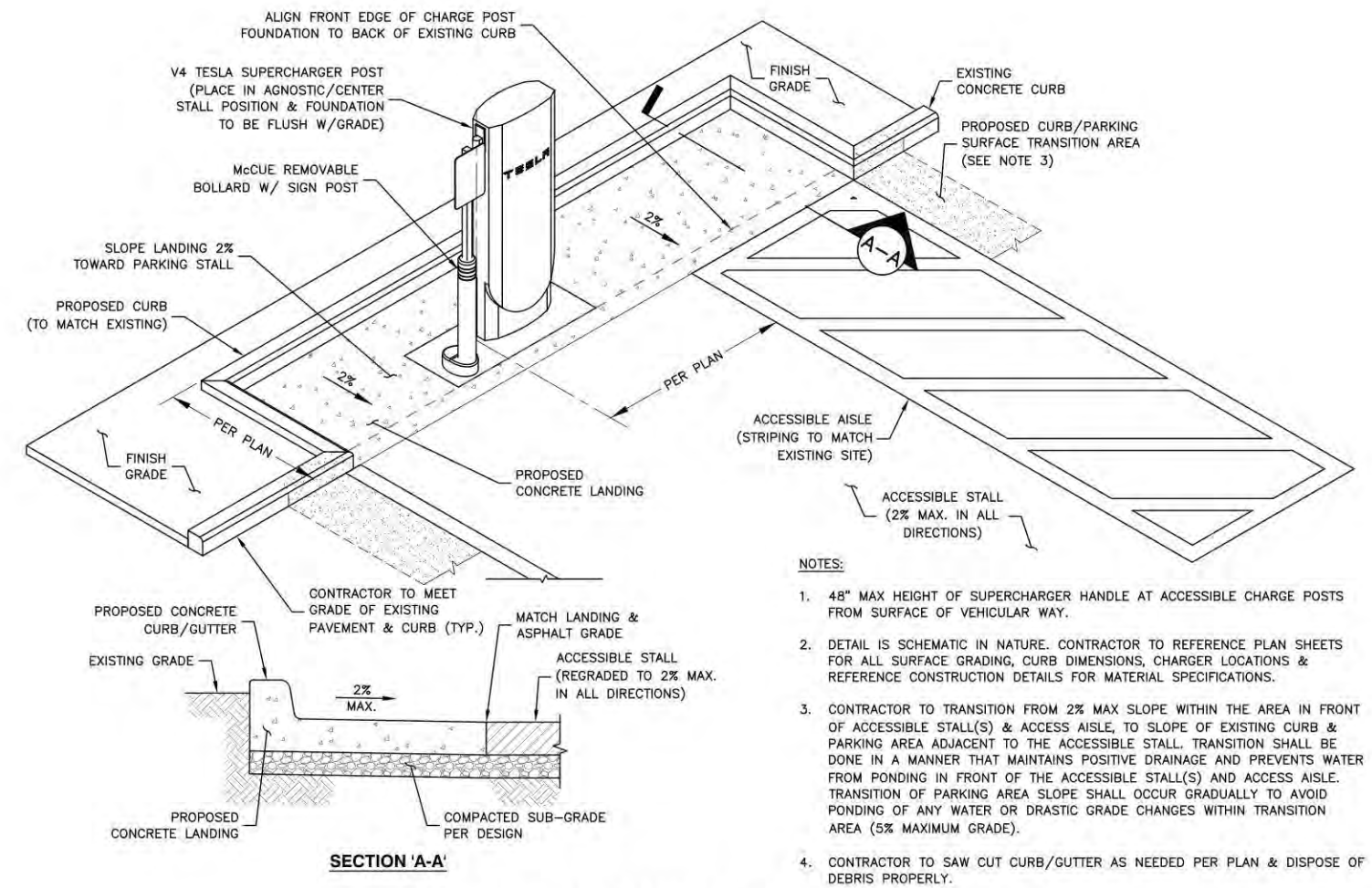
SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
**CONSTRUCTION  
DETAILS V**

SHEET NUMBER  
**C-9**



SHEET NUMBER  
**C-9**

**DISAPPROVED**  
Michael Maracic  
10/25/2024



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
CONSTRUCTION  
DETAILS VI

SHEET NUMBER  
C-10

**PLAN**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (GRAVEL BAG)

**CROSS SECTION**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (GRAVEL BAG)

**PLAN**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (SILT FENCE)

**CROSS SECTION**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (SILT FENCE)

**PLAN**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (SEDIMENT FILTER LOG)

**CROSS SECTION**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (SEDIMENT FILTER LOG)

**APPLICATION NOTES:**

- THE PRIMARY PURPOSE OF DRAINAGE STRUCTURE INLET PROTECTION IS TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM BY TRAPPING WATER, THEREBY ALLOWING SEDIMENT TO FALL OUT OF SUSPENSION.
- GRAVEL BAGS ARE FILLED WITH CLEAN STONE, RATHER THAN SAND, TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM IF BAGS ARE DAMAGED DURING USE.
- THE TOP OF THE INLET PROTECTION SHALL BE SET TO ALLOW OVERFLOW INTO THE INLET AND NOT BYPASS TO UNPROTECTED REACTIONS.
- DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (SILT FENCE) SHALL NOT BE USED ALONG THE ACTIVE TRAVEL LANE OR SHOULDER.
- DRAINAGE STRUCTURE INLET PROTECTION SHALL NOT BE USED WITHOUT UPSLOPE EROSION CONTROL.
- MAXIMUM DRAINAGE AREA TO THE PRACTICE SHALL NOT EXCEED ONE ACRE.

**GENERAL NOTES:**

- APPROVED SILT FENCE GEOTEXTILES 737-01 ARE LISTED ON THE DEPARTMENT'S APPROVED LIST. SILT FENCE GEOTEXTILE SHALL BE A SINGLE CONTINUOUS PIECE TO ELIMINATE JOINTS. OVERLAP GEOTEXTILE ENDS TO THE NEXT POST.
- SPACE POSTS EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3'. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT. POSTS SHALL BE DRIVEN CLOSE TO THE INLET TO MINIMUM OF 18" INTO GROUND (SILT FENCE) OR A MINIMUM OF 12" (SEDIMENT FILTER LOG).
- SILT FENCE GEOTEXTILE SHALL BE EMBEDDED 12" AND BACKFILLED. GEOTEXTILE SHALL BE SECURELY FASTENED TO POSTS AND FRAME.
- GRAVEL BAGS SHALL BE INDIVIDUALLY TIED, DOUBLE BAGGED AND INVERSELY INSERTED. GRAVEL BAGS SHALL LAP THE JOINTS BETWEEN THE BAGS IN THE LAYER BELOW. GRAVEL BAGS SHALL BE PLACED AS CLOSE AS POSSIBLE TO THE GRATE TO MINIMIZE EXPOSED SOIL BETWEEN THE INLET AND THE PRACTICE.
- SEDIMENT FILTER LOGS SHALL BE SECURED TO THE SOIL SURFACE WITH WOODEN POSTS SPACED A MAXIMUM OF 2' APART. WHEN USED ON A GRADED SURFACE, THE LOG'S ENDS SHALL BE FASTENED WITH PLASTIC TIES OR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- MEASURES SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT AND REPAIRED AS NECESSARY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE MEASURE HEIGHT (STORAGE CAPACITY). SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIALS.

**NEW YORK STATE DEPARTMENT OF TRANSPORTATION**  
U.S. CUSTOMARY STANDARD SHEET  
DRAINAGE STRUCTURE INLET PROTECTION (SHEET 1 OF 2)  
APPROVED JANUARY 26, 2017 ISSUED UNDER EB 17-00  
P/E RICHARD WILDER, P.E. DEPUTY CHIEF ENGINEER 209-03  
DRAWN BY: MKW DATE: 10/18/24

**PLAN**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (GEOTEXTILE APRON)

**CROSS SECTION**  
DRAINAGE STRUCTURE INLET PROTECTION - TEMPORARY (GEOTEXTILE APRON)

**PLAN**  
DRAINAGE STRUCTURE INLET PROTECTION (CONCRETE BLOCK)

**SECTION A-A**  
DRAINAGE STRUCTURE INLET PROTECTION (CONCRETE BLOCK)

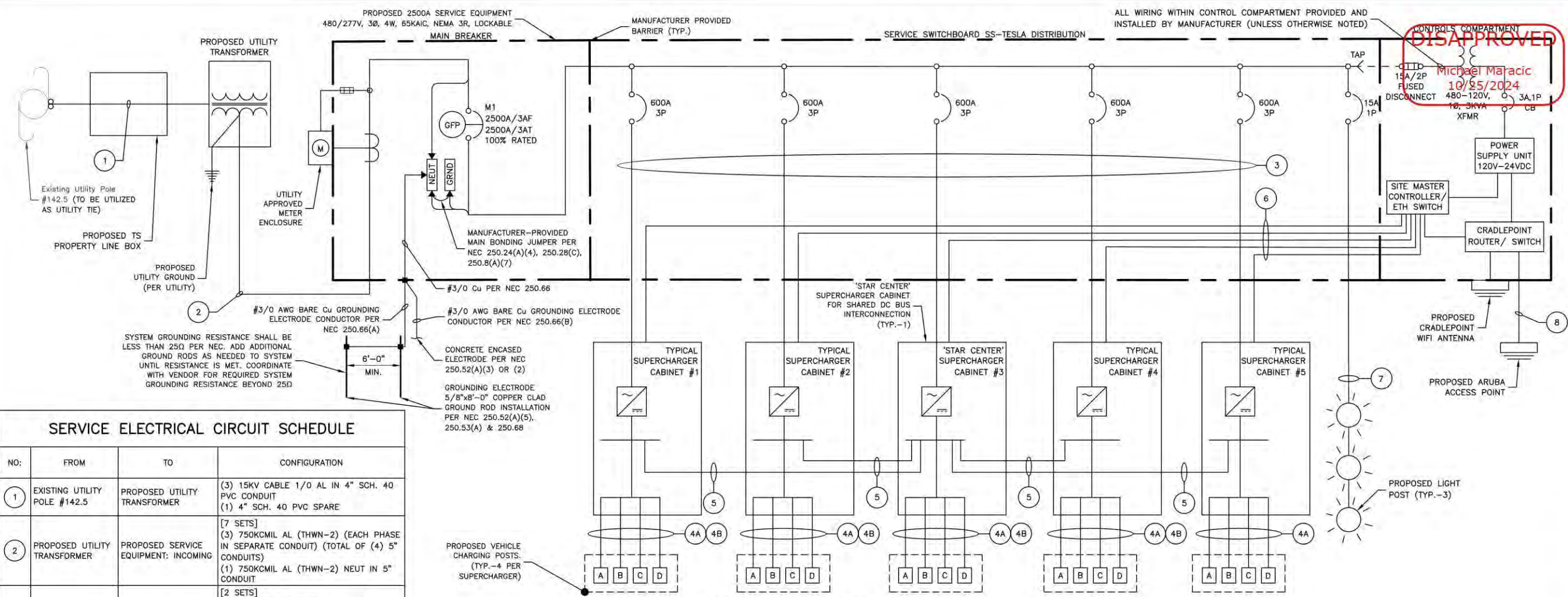
**APPLICATION NOTES:**

- THE PRIMARY PURPOSE OF DRAINAGE STRUCTURE INLET PROTECTION IS TO PREVENT SEDIMENT FROM ENTERING A DRAINAGE SYSTEM BY TRAPPING WATER, THEREBY ALLOWING SEDIMENT TO FALL OUT OF SUSPENSION.
- THE TOP OF THE INLET PROTECTION SHALL BE SET TO ALLOW OVERFLOW INTO THE INLET AND NOT BYPASS.
- THESE PRACTICES SHALL NOT BE USED WITHOUT UPSLOPE EROSION CONTROL.
- CONCRETE BLOCK INLET PROTECTION SHALL NOT BE USED WITHIN THE ACTIVE RIGHT OF WAY.
- CONCRETE BLOCK INLET PROTECTION OR AN APPROVED EQUAL IS APPLICABLE WHEN HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. THIS PRACTICE SHOULD NOT BE PLACED OUTSIDE THE ROADWAY'S CLEAR ZONE.
- PRACTICE SHALL BE INSTALLED AS CLOSE AS PRACTICAL TO THE OUTSIDE DIMENSIONS OF THE OULET.

**GENERAL NOTES:**

- SECURE THE ENDS OF THE APRON FOR THE PREFABRICATED DRAINAGE STRUCTURE INLET PROTECTION WITH STAPLES AS DETAILED IN THE PLAN VIEW OR AS RECOMMENDED BY THE MANUFACTURER'S LITERATURE.
- INSPECT THE MEASURES AFTER EVERY RAINFALL EVENT AND MAKE REPAIRS AS NECESSARY.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF THE HEIGHT OF THE PRACTICE. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
- WEEP HOLES SHALL BE PROTECTED BY GEOTEXTILE AND STONE.
- UPON STABILIZATION OF CONTRIBUTING AREA, WEEP HOLES SHALL BE SEALED AND GEOTEXTILE REMOVED.
- MAINTENANCE SHALL INCLUDE REPAIR AND RE-BUILDING INLET PROTECTION AS NEEDED TO ENSURE THAT IT FUNCTIONS AS ORIGINALLY INTENDED.
- INLET PROTECTION - EXCAVATED, SHALL BE INSTALLED AT DRAINAGE LOW POINTS AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER. DRAINAGE AREA TO THE MEASURE SHALL BE LIMITED TO NO MORE THAN ONE ACRE.
- COARSE AGGREGATE FILTER FOR THE CONCRETE BLOCK INLET PROTECTION SHALL MEET THE GRADATION REQUIREMENTS OF THE SIZE DESIGNATION #1 OR #2 OF TABLE 703-04.

**NEW YORK STATE DEPARTMENT OF TRANSPORTATION**  
U.S. CUSTOMARY STANDARD SHEET  
DRAINAGE STRUCTURE INLET PROTECTION (SHEET 2 OF 2)  
APPROVED JANUARY 26, 2017 ISSUED UNDER EB 17-00  
P/E RICHARD WILDER, P.E. DEPUTY CHIEF ENGINEER 209-03  
DRAWN BY: MKW DATE: 10/18/24



**DISAPPROVED**  
 Michael Maracic  
 10/05/2024  
 10, 3KVA XFRM  
 480-120V, 3A, 1P  
 15A/2P FUSED DISCONNECT

### SERVICE ELECTRICAL CIRCUIT SCHEDULE

NO:	FROM	TO	CONFIGURATION
1	EXISTING UTILITY POLE #142.5	PROPOSED UTILITY TRANSFORMER	(3) 15KV CABLE 1/0 AL IN 4" SCH. 40 PVC CONDUIT (1) 4" SCH. 40 PVC SPARE
2	PROPOSED UTILITY TRANSFORMER	PROPOSED SERVICE EQUIPMENT: INCOMING	[7 SETS] (3) 750KCMIL AL (THWN-2) (EACH PHASE IN SEPARATE CONDUIT) (TOTAL OF (4) 5" CONDUITS) (1) 750KCMIL AL (THWN-2) NEUT IN 5" CONDUIT
3	PROPOSED SERVICE BREAKERS (600A) 80% RATED	PROPOSED TESLA SUPERCHARGER (TYP.-5)	[2 SETS] (3) 500MCM AL (THWN-2) (1) 500MCM AL (THWN-2) NEUT (1) #1 CU EGC OR 2/0 AL EGC* IN 4" PVC /HDPE CONDUIT** (1) 1-1/2" SPARE CONDUIT FOR LVDC/COMMS (OPTIONAL)
4A	PROPOSED TESLA SUPERCHARGER CABINET (TYP.-5)	PROPOSED V3 TESLA CHARGE POST (TYP.-20)***	[1 SET PER CHARGE POST] (4) 350MCM AL (XHHW-2) (1000V RATED) & (1) 2/0 AL EGC*, & SHIELDED COMM CABLE (1000V RATED) (PER TESLA) IN 4" PVC/HDPE CONDUIT**
4B	PROPOSED TESLA SUPERCHARGER CABINET (TYP.-5)	PROPOSED V4 TESLA CHARGE POST (TYP.-20)***	[1 SET PER CHARGE POST] (4) 600MCM AL (XHHW-2) (1000V), (1) #2/0 AWG CU GROUND, AND (1) 1000V RATED LV+COMM CABLE***** IN 4" PVC/HDPE CONDUIT** OR (4) 600MCM AL (1000V) & (1) #2/0 AWG CU EGC VIA SHAWFLEX XHHW-2 DIRECT BURIAL DC CHARGER CABLE****. (1) 1000V RATED SIGNAL CABLE BUNDLE (TESLA SPEC) IN 1.25" DURALINE CONDUIT**
5	DC BUS BETWEEN PROPOSED SUPERCHARGERS	DC BUS BETWEEN PROPOSED SUPERCHARGERS	[2 SETS] (2) 600MCM AL (XHHW-2), (1) #1/0 CU GROUND & (1) #3/0 AWG AL DC MID 1000V RATED IN 3" PVC/HDPE CONDUIT**
6	SITE CONTROLLER	SUPERCHARGER (TYP.)	SHIELDED 600V RATED CAT6+ COMM CABLE ROUTED W/PROPOSED AC FEEDERS IN 4" PVC/HDPE** CONDUIT (SEE FEEDER SCHEDULE #2)
7	PROPOSED BREAKER (15A/1P)	LIGHT POST (TYP.-3)	(2) #12 & (1) #12IG IN 1" CONDUIT
8	PROPOSED CRADLEPOINT ROUTER	PROPOSED ARUBA ACCESS POINT	(1) CAT6 COMM CABLE IN 1" PVC/HDPE CONDUIT **

\* MODIFIED PER NEC 250.64(A)(2)  
 \*\* PER UL LISTED HDPE CONDUIT PERMITTED. CONTRACTOR TO CONFIRM W/ TESLA CM  
 \*\*\* CONTRACTOR TO INSTALL APPLICABLE WIRING CONFIGURATION DEPENDING ON CHARGE POST TYPE TO BE INSTALLED ON SITE  
 \*\*\*\* 1000V V4 COMM WIRE TO BE ROUTED IN 4" CONDUIT. 1.25" DURALINE CAN BE INSTALLED FOR LONG RUNS (200+ FT)

**SYSTEM ONE-LINE DIAGRAM**  
 SCALE: N.T.S.

### UTILITY FAULT CURRENT

TRANSFORMER: 2500KVA  
 SECONDARY VOLTAGE: 277/480V  
 SECONDARY FAULT CURRENT: TBD

\* FAULT CURRENT INFORMATION PROVIDED BY PSE&G-LI XX/XX/XX.

### UTILITY S.O.W. RESPONSIBILITIES

SCOPE OF WORK	BY UTILITY	BY CONTRACTOR
INSTALL PRIMARY CONNECTIONS AT TRANSFORMER		X
PROVIDE & INSTALL PRIMARY CONDUITS		X
PROVIDE & INSTALL PRIMARY CONDUCTORS W/ 42' COILED SLACK AT EACH END FOR UTILITY CONNECTIONS		X
PROVIDE & INSTALL UTILITY TRANSFORMER	X	
PROVIDE & INSTALL ALL SECONDARY CONDUITS & TRENCHING		X
PROVIDE & INSTALL ALL SECONDARY WIRING		X
PROVIDE PRIMARY SURGE ARRESTOR ELBOWS & ASSOCIATED CONNECTORS	X	
WIRE/INSTALL PRIMARY SURGE ARRESTOR ELBOWS		X
PROVIDE & INSTALL METERING FACILITIES PER PSEG-LI SPEC		X
PROVIDE & INSTALL UTILITY METER & WIRE CURRENT TRANSFORMER	X	
PROVIDE & INSTALL BOLLARD PROTECTION PER PSEG-LI SPEC		X

\*SCOPE OF WORK BASED ON PRIMARY SPEC LETTER PROVIDED BY PSEG-LI DATED XX/XX/XX. CONTRACTOR TO CONFIRM LATEST SPEC LETTER WITH TESLA CM & UTILITY CONTACT PRIOR TO CONSTRUCTION.

### BREAKER SETTINGS

MAIN SERVICE SWITCHBOARD - 2500A MCB - ZPOWER			
DESIGNATION	FRAME AMPS	PHASE	GROUND
	2500A	65	65
FRAME	MANUFACTURER	EATON	EATON
	TYPE/MODEL	SBS-625	SBS-625
	SENSOR AMPS	2500	2500
	PLUG AMPS	2500	2500
TRIP UNIT	DESCRIPTION	LSI, 2500AF, 200-2000AP	GF, 800-6000AF
	TYPE/MODEL	MAGNUM SB, DT 520	MAGNUM SB, DT 520
	LONG DELAY PICKUP (Ir)	1 (2500A)	
	LONG DELAY TIME (tr)	24 S	
	SHORT DELAY PICKUP (Isd)	2.5 (6250A)	
TRIP UNIT SETTINGS (2500A TRIP)	SHORT DELAY TIME (I2t)	0.1 S	
	INSTANTANEOUS PICKUP (Ii)	6 (15,000A)	
	GROUND FAULT PICKUP (Igf)		0.45 (1125A)
	GROUND FAULT DELAY TIME (Igt)		0.5 S

SUPERCHARGER CABINET BREAKER - 600A		
TRIP UNIT	TYPE/MODEL	PD-3 THERMAL MAG TRIP UNIT (600A TRIP)
TRIP UNIT SETTINGS	INSTANTANEOUS (Ii)	5 (2500A)

**SWITCHBOARD BREAKER SETTINGS**

- NOTES:**
- CONDUCTOR LENGTHS ARE ESTIMATES ONLY. FINAL CONDUCTOR ROUTING PATH AND LENGTHS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FILED BASED ON PHYSICAL MEASUREMENTS. CONTRACTOR TO ORDER CONDUCTORS BASED ON FIELD MEASUREMENTS (MUST BE APPROVED BY TESLA INSTALLATION MANAGER).
  - ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) AND UTILITY COMPANY STANDARDS.
  - NEUTRAL MUST BE INCLUDED FOR PROPER OPERATION OF TESLA SUPERCHARGERS.
  - ALL CONDUCTORS TO RECEIVE ANTI-OXIDATIVE COATING DURING INSTALLATION.
  - ALL EQUIPMENT SHALL BE HOUSED IN LOCKABLE, NEMA 3R ENCLOSURE.
  - USE OF DURALINE FOR SUPERCHARGER TO CHARGE POST DC CONDUITS IS AN APPROVED ASSEMBLY.
  - DC RUN LENGTH MAXIMUM IS 330' INCLUDING BURIED DEPTH. ANY DC RUN LENGTHS OVER THE MAXIMUM SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF TESLA.
  - UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRE CONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATION.
  - UTILITY CONDUITS, CONNECTORS, TRANSFORMER PAD & TRANSFORMER FOUNDATION TO BE INSTALLED PER UTILITY SPECIFICATION. CONFIRM LATEST SPECIFICATIONS PRIOR TO CONSTRUCTION.
  - EXISTING UNDERGROUND UTILITIES LOCATED WITHIN AREA OF PROPOSED TRENCH & EQUIPMENT SITE AREA. HAND DIG AND RELOCATE AS REQUIRED.
  - CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC SAFETY MEASURES THROUGHOUT DURATION OF CONSTRUCTION. COORDINATE ANY ACCESS ROAD CLOSURES W/OWNER.
  - CONTRACTOR TO GROUND SYSTEM TO CONCRETE-ENCASED GROUNDING ELECTRODE PER NEC 250.50. GROUNDING RESISTANCE SHALL BE LESS THAN 25Ω PER NEC. CONTRACTOR TO ADD GROUND RODS TO SYSTEM UNTIL PROPER RESISTANCE IS MET.
  - THE DC BUS SHALL BE CONFIGURED IN A RADIAL FASHION WHERE ALL CONDUCTORS ROUTE FROM EACH 'TYPICAL' SUPERCHARGER CABINET, TO THE ONE, 'STAR-CENTER' SUPERCHARGER CABINET.



DRAWN BY: MKW  
 CHECKED BY: JTB  
 APPROVED BY: DER  
 PROJECT #: 50123704  
 JOB #: 50167716

### SUBMITTALS

REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
 NORTH NEW HYDE PARK, NY  
 - HILLSIDE AVE  
 (TRT ID: 424060)

SITE ADDRESS:  
 2048 HILLSIDE AVE  
 NORTH NEW HYDE PARK, NY  
 11040

SHEET TITLE  
**ELECTRICAL  
 ONE-LINE DIAGRAM**

SHEET NUMBER  
**E-1**

AC SUPERCHARGER LENGTHS		
SUPERCHARGER	LINEAR LENGTH BREAKER PANEL TO SUPERCHARGER	ESTIMATED LENGTH*
1	5'	30'
LENGTH OF AC AL WIRE PER CONDUIT**:		120'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE ***:		240'
2	10'	35'
LENGTH OF AC AL WIRE PER CONDUIT**:		140'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE****:		280'
3	7'	32'
LENGTH OF AC AL WIRE PER CONDUIT**:		128'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE****:		256'
4	4'	29'
LENGTH OF AC AL WIRE PER CONDUIT**:		116'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE****:		232'
5	5'	30'
LENGTH OF AC AL WIRE PER CONDUIT**:		120'
TOTAL NUMBER OF CONDUITS:		2
LENGTH OF AC AL WIRE****:		240'
TOTAL LENGTH OF AC AL WIRE*****:		1248'
TOTAL LENGTH OF EGC*****:		312

NOTES:  
 1. SEE SHEET E-1 FOR WIRE CONFIGURATION.  
 \* AC CONDUCTORS: 25 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.  
 \*\* ESTIMATED LENGTH OF AI WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SUPERCHARGER  
 \*\*\* LENGTH = LENGTH OF AC AL WIRE PER CONDUIT X # OF CONDUITS  
 \*\*\*\* TOTAL LENGTH = SUM OF AC LENGTHS  
 \*\*\*\*\* TOTAL LENGTH OF EGC = LENGTH X # SETS

DC CHARGING POST LENGTHS			
SUPERCHARGER	CHARGE POST	LINEAR LENGTH	ESTIMATED DC WIRE LENGTH*
1	1A	20'	42'
	1B	29'	51'
	1C	38'	60'
	1D	47'	69'
2	2A	52'	74'
	2B	61'	83'
	2C	70'	92'
	2D	79'	101'
3	3A	88'	110'
	3B	97'	119'
	3C	106'	128'
	3D	115'	137'
4	4A	124'	146'
	4B	133'	155'
	4C	142'	164'
	4D	151'	173'
5	5A	160'	182'
	5B	169'	191'
	5C	178'	200'
	5D	188'	210'
CONDUIT LENGTH:		2487'	
TOTAL CONDUCTOR LENGTH**:		9948'	
TOTAL LENGTH OF EGC & COMM CABLE:		2487'	

NOTES:  
 1. ANY DC RUN OVER 330' SHALL BE BROUGHT TO THE ATTENTION OF TESLA CM.  
 \* 22 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.  
 \*\* ESTIMATED LENGTH OF DC AL WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SUPERCHARGER

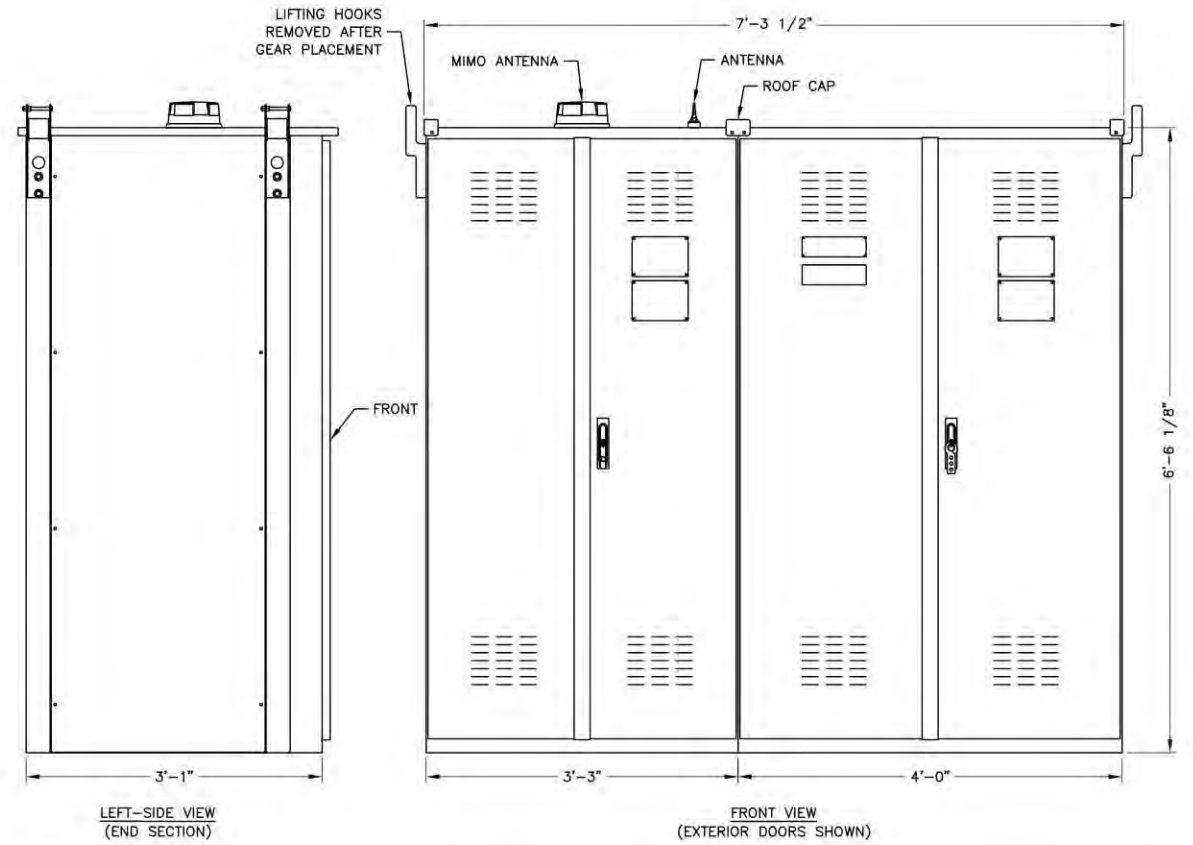
**CONDUCTOR LENGTH TABLES**  
 SCALE: N.T.S.

SECONDARY SERVICE LENGTHS		
	LINEAR LENGTH	ESTIMATED LENGTH*
TRANSFORMER TO SWITCHBOARD	8'	33'
TOTAL LENGTH OF AL WIRE**:		132'
NUMBER OF WIRE FILLED CONDUITS:		4
TOTAL LENGTH OF AC AL WIRE***:		528'

NOTES:  
 1. SEE SHEET E-1 FOR WIRE CONFIGURATION.  
 \* AC CONDUCTORS: 25 FT IS ADDED TO THE HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH & TRANSITIONS.  
 \*\* ESTIMATED LENGTH OF AI WIRE = SUM OF ESTIMATED LENGTH X 4 WIRES PER SET  
 \*\*\* LENGTH OF AL WIRE PER DISCONNECT = ESTIMATED TOTAL LENGTH OF AL WIRE X # WIRE SETS

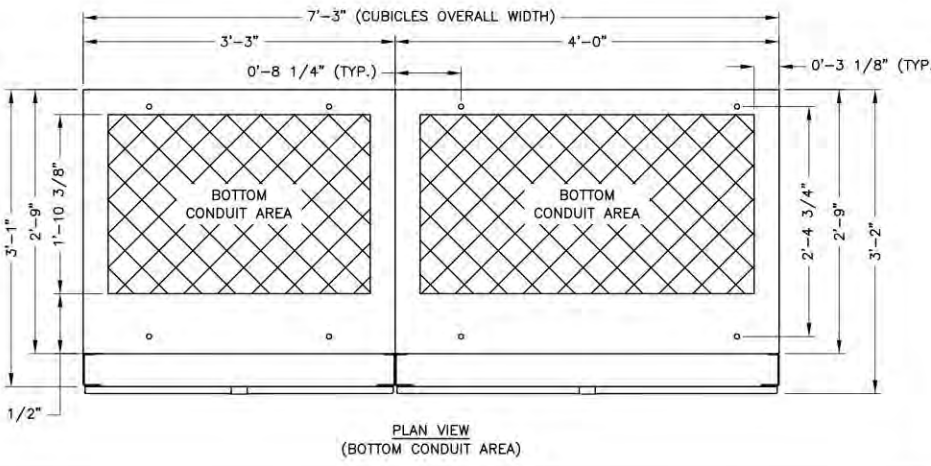
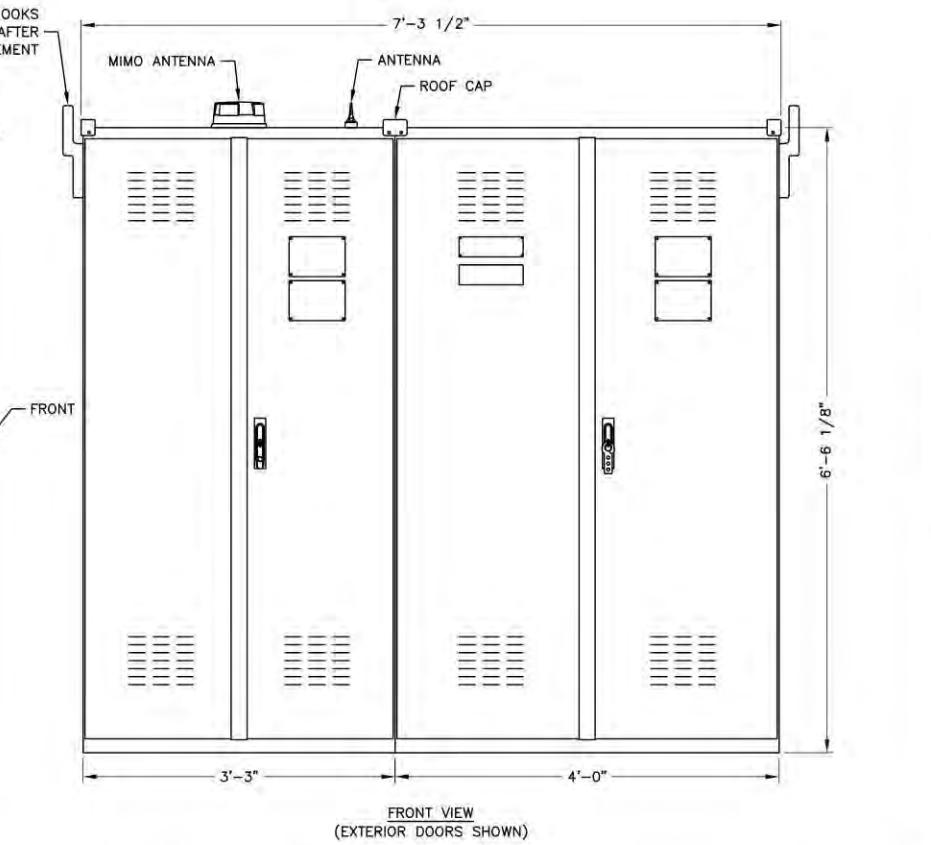
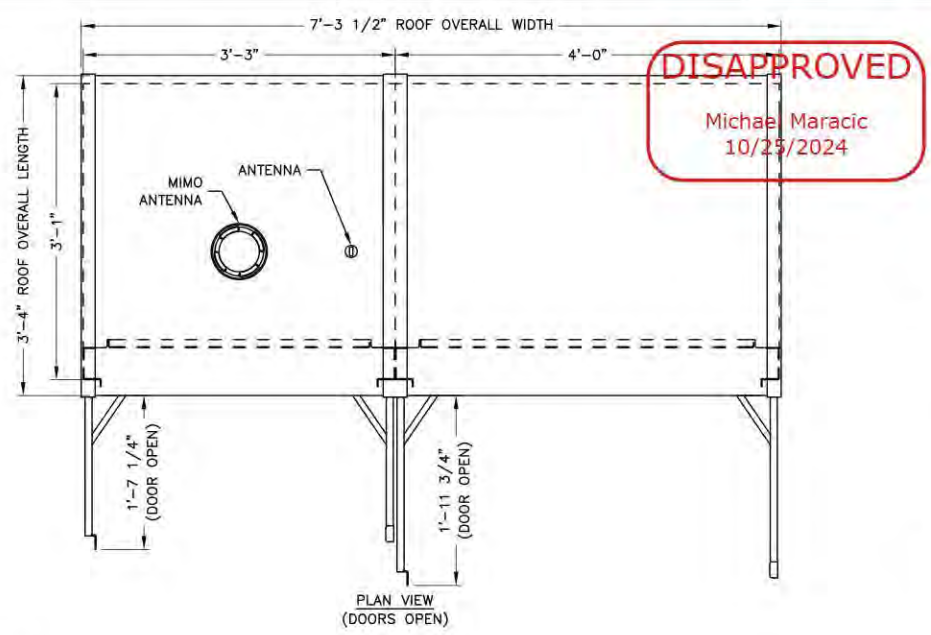
SERVICE SWITCHBOARD 'SS-TESLA' LOAD SCHEDULE											
CKT NO.	TRIP AMPS	DESCRIPTION	KVA			KVA			DESCRIPTION	TRIP AMPS	CKT NO.
			A	B	C	A	B	C			
1			129.00	-	-	129.00	-	-			2
3	600A	SUPERCHARGER #1	-	129.00	-	-	129.00	-	SUPERCHARGER #2	600A	4
5			-	-	129.00	-	-	129.00			6
7			129.00	-	-	129.00	-	-			8
9	600A	SUPERCHARGER #3	-	129.00	-	-	129.00	-	SUPERCHARGER #4	600A	10
11			-	-	129.00	-	-	129.00			12
13			129.00	-	-	-	-	-			14
15	600A	SUPERCHARGER #5	-	129.00	-	-	-	-		600A	16
17			-	-	129.00	-	-	-			18
19	-	-	-	-	-	-	-	-			20
21	-	-	-	-	-	-	-	-			22
TOTALS			PHASE			PHASE					
			A	B	C	A	B	C			
APPARENT POWER			645.0 KVA	645.0 KVA	645.0 KVA						
CURRENT			2327.4 A	2327.4 A	2327.4 A						

**SWITCHBOARD LOAD SCHEDULE**  
 SCALE: N.T.S.



NOTES:  
 1. CONTRACTOR SHALL CONFIRM FINAL SWITCHBOARD SPECIFICATIONS WITH UTILITY COMPANY PRIOR TO ORDERING.  
 2. CONTRACTOR SHALL COORDINATE ORIENTATION OF INCOMING CT SECTION AND DISTRIBUTION SECTION PRIOR TO ORDERING.  
 3. CONTRACTOR SHALL COORDINATE FINAL STUB-UP LOCATIONS THROUGH CONCRETE PAD WITH SPECIFICATIONS OF SWITCHBOARD THAT IS BEING ORDERED.

**2500A EV-2 SWITCHBOARD**  
 SCALE: 1/2"=1' FOR 11"x17"  
 1"=1' FOR 22"x34"



**DISAPPROVED**  
 Michael Maracic  
 10/23/2024

**TESLA**  
 3500 DEER CREEK ROAD  
 PALO ALTO, CA 94304  
 (650) 681-5000

**Dewberry**  
 Dewberry Engineers Inc.  
 600 PARSIPPANY ROAD  
 SUITE 301  
 PARSIPPANY, NJ 07054  
 PHONE: 973.739.9400  
 FAX: 973.739.9710

STATE OF NEW YORK  
 DAVID E. REVETTE  
 101758-01  
 LICENSED PROFESSIONAL ENGINEER  
 DAVID E. REVETTE, P.E.  
 NEW YORK LICENSE NO. 101758

DRAWN BY:	MKW
CHECKED BY:	JTB
APPROVED BY:	DER
PROJECT #:	50123704
JOB #:	50167716

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

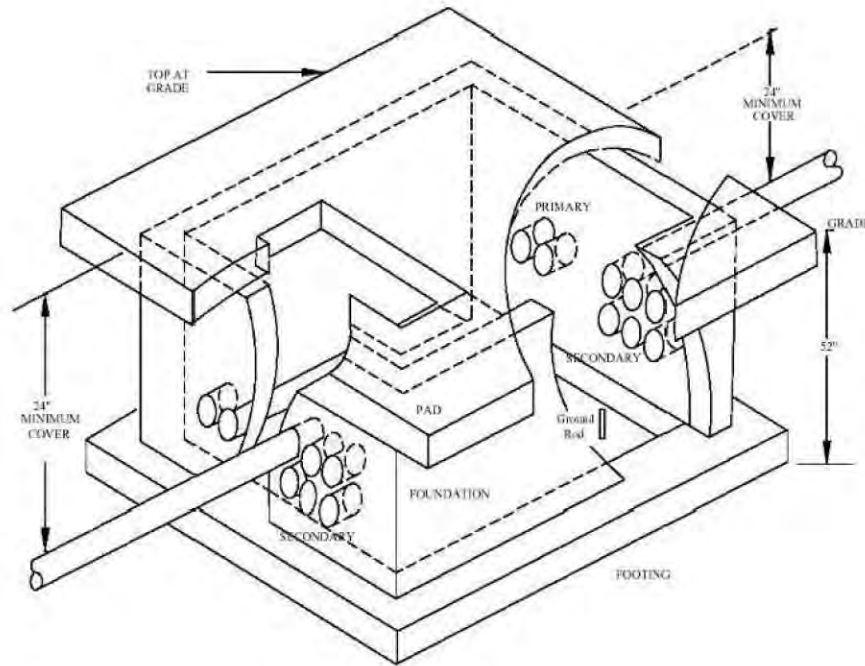
SITE NAME:  
 NORTH NEW HYDE PARK, NY  
 - HILLSIDE AVE  
 (TRT ID: 424060)  
 SITE ADDRESS:  
 2048 HILLSIDE AVE  
 NORTH NEW HYDE PARK, NY  
 11040

SHEET TITLE  
**ELECTRICAL & UTILITY DETAILS I**

SHEET NUMBER  
**E-2**



**THREE PHASE PADMOUNTED TRANSFORMER SPECIFICATIONS**



**NOT TO SCALE**

Illustration #1  
Isometric View of Footing, Foundation and Pad Top

Preparation of sub-grade for footing and foundation.

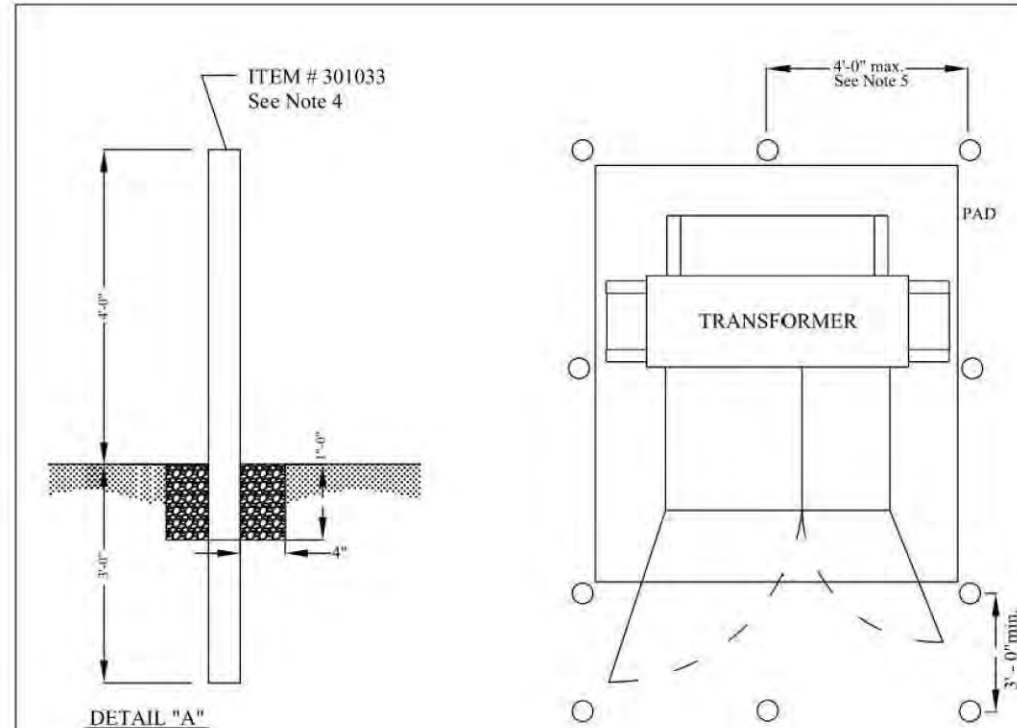
1. Remove 52" of soil to reach undisturbed earth.
2. Install precast footing and foundation.
3. Install conduits and grout entrances.
4. Install plugs or caps on all unused duct entrances.
5. Backfill outside foundation with clean fill, mechanically compacted every 12". **DO NOT** backfill inside the foundation.

**3 PHASE TRANSFORMER PAD DETAIL**

SCALE: N.T.S.

**TRANSFORMER PAD NOTES:**

1. DETAIL REFERENCED FROM PSEG-LI THREE PHASE PAD MOUNTED TRANSFORMER SPECIFICATIONS FOR CUSTOMERS & ELECTRICAL CONTRACTORS & ELECTRICAL CONTRACTORS DATED JULY 2014. CONTRACTOR TO VERIFY LATEST SPECIFICATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO REFERENCE LIST OF APPROVED PRECAST PAD MANUFACTURERS ACCORDING TO SPECIFICATION PT14-07-004 'CONCRETE PADS & FOUNDATIONS'.



**DETAIL "A"**

Reference Drawings

CS-5362 Dead Front Transformers

**NOTES:**

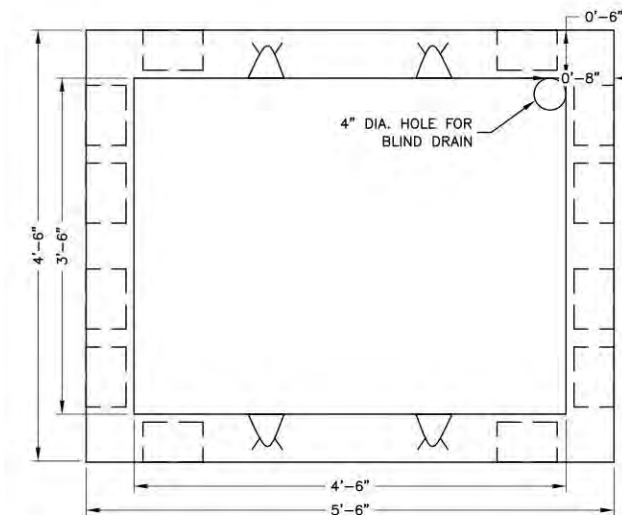
1. This standard provides recommended barrier protection for pad mounted equipment subject to vehicular traffic.
2. Posts may be omitted on side (s) not subject to vehicular traffic.
3. Barriers must not interfere with the operation of pad mount equipment by PSEG Long Island personnel.
4. A 3-1/2" heavy wall steel, concrete filled lally column purchased from local lumber yards is acceptable. Bearing plates must be removed. Set posts in concrete ( see detail "A" ).
5. Install additional posts on sides or back as required to maintain maximum 48" spacing.

	REVISION	TRANSFORMER INSTALLATION AND HOUSING CONSTRUCTION PAD AND ENCLOSURE HOUSED PROTECTION FOR PAD MOUNT TRANSFORMER SUBJECT TO VEHICULAR TRAFFIC <small>DO NOT REUSE PRINT BY ANY OTHER METHOD THAN AUTOCAD</small> PREPARED BY: PSEG LONG ISLAND T&D ENGINEERING	CONSTRUCTION STANDARD		
	7/04/14: CHANGED LIPA TO PSFG Long Island		DRAWN BY: AJH	NUMBER	SHEET No.
APPROVED BY: <i>[Signature]</i> DATE: 5/15/14			5369	1 of 1	7

PRINTED COPIES ARE UNCONTROLLED. OFFICIAL CONTROLLED COPIES AVAILABLE ON PSEGLI INFONET.

**UTILITY BOLLARD DETAIL**

SCALE: N.T.S.



**3 PHASE DISTRIBUTION BOX DETAIL**

SCALE: 1/2"=1' FOR 11"x17"  
1"=1' FOR 22"x34"



NOTE: DETAIL REFERENCED FROM CONSTRUCTION STANDARD TITLED "TYPE TS DISTRIBUTION BOX", ITEM ID 131008 BY PSE&G-LI. CONTRACTOR TO REFERENCE SPECIFICATION BEFORE INSTALLATION.

**DISAPPROVED**

Michael Maracic  
10/25/2024



3500 DEER CREEK ROAD  
PALO ALTO, CA 94304  
(650) 681-5000



Dewberry Engineers Inc.  
600 PARSIPPANY ROAD  
SUITE 301  
PARSIPPANY, NJ 07054  
PHONE: 973.739.9400  
FAX: 973.739.9710



DAVID E. REVETTE, P.E.  
NEW YORK LICENSE NO. 101758

DRAWN BY: MKW

CHECKED BY: JTB

APPROVED BY: DER

PROJECT #: 50123704

JOB #: 50167716

**SUBMITTALS**

REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

**SITE NAME:**

NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)

**SITE ADDRESS:**

2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

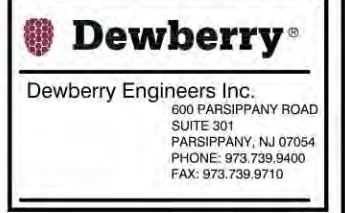
**SHEET TITLE**

**ELECTRICAL &  
UTILITY DETAILS II**

**SHEET NUMBER**

**E-3**

**DISAPPROVED**  
Michael Maracic  
10/25/2024



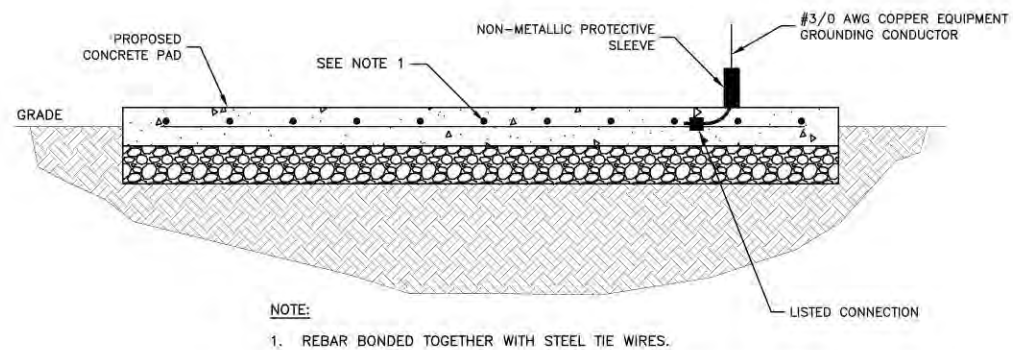
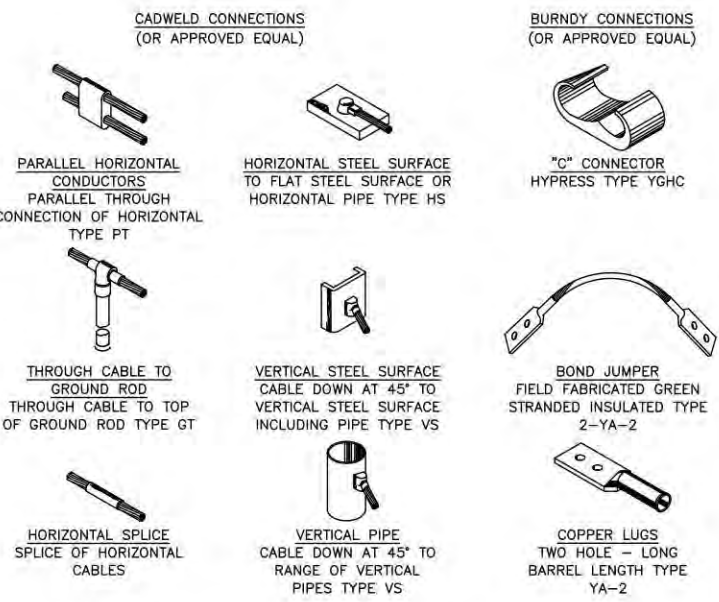
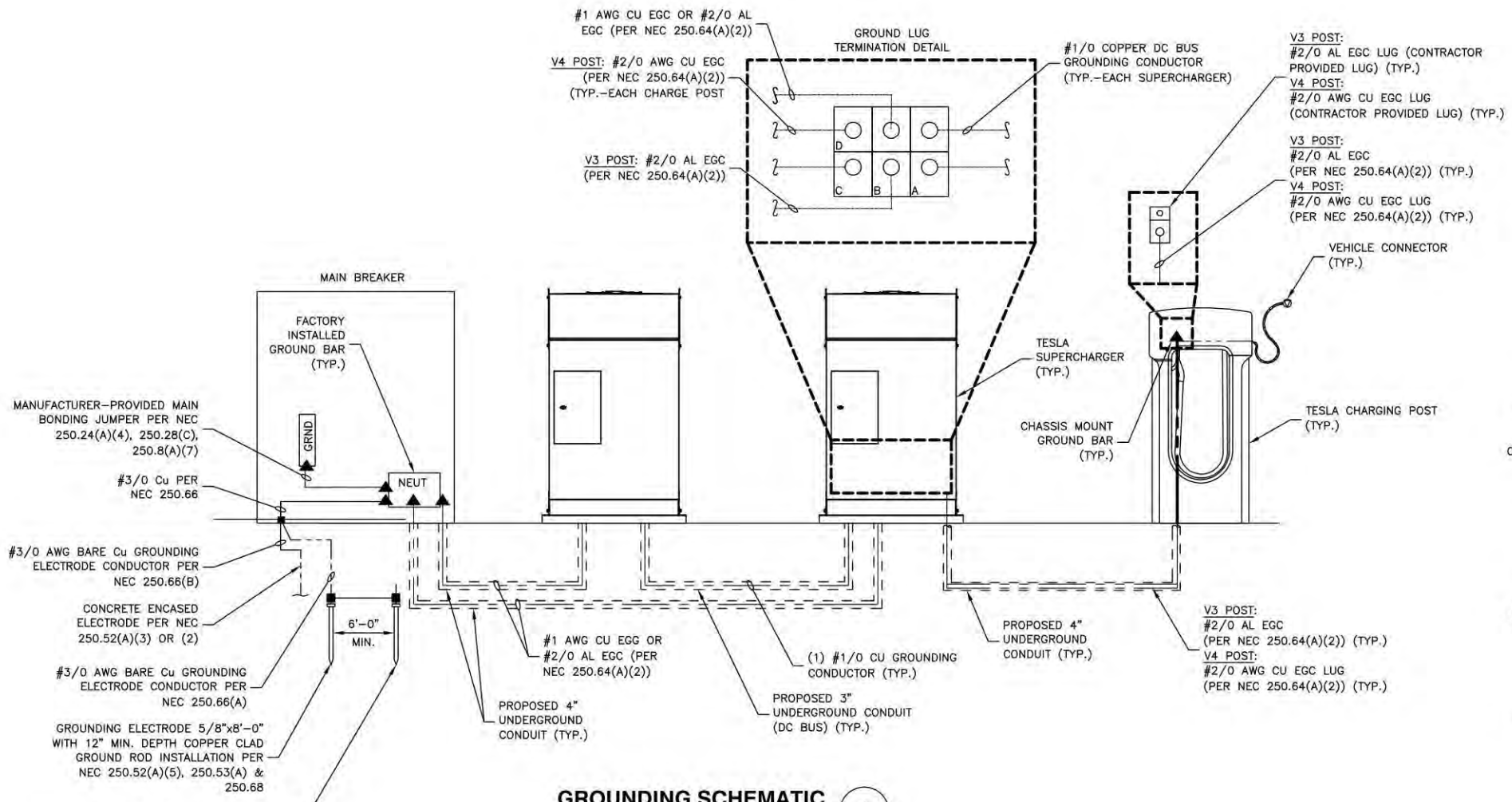
DRAWN BY: MKW  
CHECKED BY: JTB  
APPROVED BY: DER  
PROJECT #: 50123704  
JOB #: 50167716

SUBMITTALS		
REV.	DATE	DESCRIPTION
2	10/10/24	ISSUED FOR PERMITS
1	07/31/24	ISSUED FOR PERMITS
0	04/19/24	ISSUED FOR PERMITS
D	02/19/24	PER COMMENTS
C	02/02/24	PER COMMENTS
B	01/25/24	FINAL REVIEW
A	01/16/24	ISSUED FOR 90% REVIEW

SITE NAME:  
NORTH NEW HYDE PARK, NY  
- HILLSIDE AVE  
(TRT ID: 424060)  
SITE ADDRESS:  
2048 HILLSIDE AVE  
NORTH NEW HYDE PARK, NY  
11040

SHEET TITLE  
**GROUNDING SCHEMATIC & DETAILS**

SHEET NUMBER  
**G-1**



# PICKLE N PAR 3 LLC

## ALTERATIONS TO

# 1350 UNION TURNPIKE

### NEW HYDE PARK, NY 11040

#21684

**DISAPPROVED**  
 Michael Maracic  
 12/20/2024

**DIRECTORY BUILDING DEPARTMENT NOTES LOCATION MAP DRAWING LIST**

**CLIENT:**  
 PICKLE N PAR 3 LLC

**CONTACT:**  
 ANTHONY BIANCANELLO  
 TBB@americorp.biz

**ARCHITECTURE:**  
 SPECTOR COMPANIES  
 220 CROSSWAYS PARK WEST  
 WOODBURY, NY 11797

**CONTACT:**  
 CHRISTINA SMYRNI  
 SENIOR PROJECT MANAGER  
 516 365 4240

THIS PROJECT IS LOCATED AT THE LOWER LEVEL, MEZZANINE AND FIRST FLOOR LEVELS OF THE EXISTING VACANT ONE-STORY BUILDING AT 1350 UNION TURNPIKE, NEW HYDE PARK, N.Y. 11040 (SECTION 8 BLOCK 235 LOT 17, 18 & 58) - THIS APPLICATION IS FILED FOR INTERIOR ALTERATION OF EXISTING BOWLING ALLEY TO PICKLEBALL COURT AND GOLF SIMULATOR FACILITY AS INDICATED ON THE PLANS THAT FOLLOW

\*AN APPLICATION WILL BE FILED WITH THE BOARD OF ZONING APPEALS SEEKING A DETERMINATION THAT THE PROPOSED USE IS PERMITTED, AND/OR IN THE ALTERNATIVE, SEEKING A SPECIAL USE PERMIT AND/OR A VARIANCE FOR THE PROPOSED USE.\*

**APPLICABLE CODES**

- 2020 BUILDING CODE OF NEW YORK STATE
- 2020 EXISTING BUILDING CODE OF NEW YORK STATE
- 2020 FIRE CODE OF NEW YORK STATE
- 2020 PLUMBING CODE OF NEW YORK STATE
- 2020 MECHANICAL CODE OF NEW YORK STATE
- 2020 FUEL GAS CODE OF NEW YORK STATE
- 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

- THE CONDUCT OF ALL CONSTRUCTION AND DEMOLITION OPERATIONS SHALL BE GOVERNED BY THE PROVISIONS OF:
  - THE NYS EXISTING BUILDING CODE CHAPTER 15 - CONSTRUCTION SAFEGUARDS
  - THE NYS BUILDING CODE CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION
- ILLUMINATED EXIT SIGNS AND DIRECTIONAL SIGNS SHALL COMPLY WITH NYS BUILDING CODE SECTION 1013 EXIT SIGNS
- PORTABLE FIRE EXTINGUISHING APPLIANCES SHALL BE PROVIDED IN COMPLIANCE WITH THE NYS BUILDING CODE SECTION 3309 - FIRE EXTINGUISHERS
- NO WORK AT THE SITE IS TO COMMENCE UNTIL THE PLANS HAVE BEEN APPROVED BY THE DEPARTMENT OF BUILDINGS AND A PERMIT OBTAINED.

**USE AND OCCUPANCY CLASSIFICATION AS PER CODE SECTION 303:**  
 EXISTING: ASSEMBLY A-3 BOWLING ALLEY WITH ACCESSORY A-2 RESTAURANT  
 NEW: ASSEMBLY A-4 PICKLEBALL COURTS AND GOLF SIMULATORS

**EXISTING BUILDING** IS FULLY-SPRINKLERED AND ONE STORY HIGH

**FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS IN HOURS AS PER CODE TABLE 601:**  
 CONSTRUCTION TYPE IB  
 PRIMARY STRUCTURAL FRAME - 2 HOURS  
 EXTERIOR BEARING WALLS - 2 HOURS  
 INTERIOR BEARING WALLS - 2 HOURS  
 INTERIOR NON-BEARING WALLS AND PARTITIONS - 0 HOURS  
 FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS - 2 HOURS  
 ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS - 1 HOUR

**STAIR CAPACITY - CODE SECTION 1005.3.1 STAIRWAYS - EXCEPTION 1:**  
 STAIR CAPACITY IS TO BE BASED ON OCCUPANCY FACTOR OF 0.2 PER OCCUPANT BECAUSE THE BUILDING IS TO BE PROTECTED THROUGHOUT WITH AUTOMATIC SPRINKLER SYSTEM AS PER SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION COMMUNICATION SYSTEM AS PER SECTION 907.5.2.2.

**DOOR CAPACITY - CODE SECTION 1005.3.2 OTHER EGRESS COMPONENTS - EXCEPTION 3:**  
 EGRESS CAPACITY OF DOORS IS TO BE BASED ON OCCUPANCY FACTOR OF 0.15 PER OCCUPANT BECAUSE THE BUILDING IS TO BE PROTECTED THROUGHOUT WITH AUTOMATIC SPRINKLER SYSTEM AS PER SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION COMMUNICATION SYSTEM AS PER SECTION 907.5.2.2.

**RISER HEIGHT AND TREAD DEPTH - CODE SECTION 1011.5.2**  
 EXISTING STAIRWAY RISER HEIGHTS ARE 7.5" AND ARE THEREFORE MORE THAN THE MAXIMUM RISER HEIGHT OF 7" REQUIRED BY CODE SECTION 1011.5.2.  
 EXISTING STAIRWAY TREAD DEPTHS ARE 10.5" AND ARE THEREFORE LESS THAN THE MINIMUM TREAD DEPTH OF 11" REQUIRED BY CODE SECTION 1011.5.2.  
 AS PER EXCEPTION 4 OF CODE SECTION 1011.5.2 AND EXCEPTION 1 OF SECTION 503.1 OF THE EXISTING BUILDING CODE OF NEW YORK STATE AN EXISTING STAIRWAY SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION 1011 OF THE BCNYS WHERE THE EXISTING SPACE AND CONSTRUCTION DOES NOT ALLOW A REDUCTION IN PITCH OR SLOPE.

**EXIT ACCESS TRAVEL DISTANCE - CODE TABLE 1017.2:**  
 FOR OCCUPANCY CLASSIFICATION A - FULLY-SPRINKLERED  
 EXIT ACCESS TRAVEL DISTANCE = 250 FEET



GENERAL	
G-001	PROJECT INFORMATION SHEET
ARCHITECTURAL	
A5-001	ARCHITECTURAL SITE PLAN
A-100	LOWER LEVEL AND MEZZANINE PLANS
A-101	EXISTING RESTAURANT AREA CALCULATION PLANS

ISSUED FOR PERMIT 08-21-24	
ISSUED FOR PERMIT 08-24-24	
RESUBMISSION TO THE DOB FOR PERMIT 09-24-24	
RESUBMISSION TO THE DOB FOR PERMIT 12-12-24	
RESUBMISSION TO THE DOB FOR PERMIT 10-09-24	
ISSUED FOR PERMIT	10-09-24
ISSUED FOR PERMIT	08-30-24
ISSUED FOR PERMIT	08-21-24
No. Issued	Date

**SYMBOLS LIST**

(1)	KEYNOTE MARK
1	COLUMN GRID
A101	ROOM NUMBER
1 A-00	DETAIL NO. SHEET WHERE DETAIL IS SHOWN
1 A-00	EXTERIOR ELEVATION
1 A-00	PARTIAL EXTERIOR ELEVATION SHADED AREA INDICATES ELEV. USED
1 A-00	BUILDING SECTION/PART ELEVATION
1 A-00	SECTION DETAIL
1 A-00	SECTION/PLAN ENLARGEMENT

**ABBREVIATIONS**

(10)	INDICATES DOOR NUMBER SEE DOOR SCHEDULE
1 A-00	INDICATES INTERIOR FINISH SEE FINISH MATERIAL SCHEDULE
1	INDICATES GENERAL EQUIPMENT/APPLIANCES SEE GENERAL EQUIPMENT/APPLIANCES SCHEDULE
1	INDICATES PLUMBING FIXTURES SEE PLUMBING FIXTURE SCHEDULE
1	INDICATES ACCESSORIES SEE ACCESSORIES SCHEDULE
1	INDICATES MILLWORK

ALUM.	ALUMINUM ABOVE FINISH FLOOR	BD.	BOARD BUILDING
A.F.F.	ALTERNATE	BLO.	BOTTOM
APPROX.	APPROXIMATE ARCHITECTURAL		
DET.	DETAIL	EA.	EACH
DI.	DIAMETER	E.J.	EXPANSION JOINT
DM.	DIMENSION	EL.	ELEVATION
DN.	DOWN	ELEC.	ELECTRICAL
DR.	DOOR	ENCL.	ENCLOSURE
DWG.	DRAWING	EQ.	EQUAL
		E.T.R.	EXISTING TO REMAIN
		EXST.	EXISTING
		EXP.	EXPANSION
GA.	GAUGE	H.C.	HANDICAPPED
GALV.	GALVANIZED	HW.	HARDWARE
GL.	GLASS	H.M.	HOLLOW METAL
GYP. BD.	GYP. BOARD	H.P.	HIGH POINT
		HT.	HEIGHT
		H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING
JT.	JOINT	LAM.	LAMINATE
		LAV.	LAVATORY
		L.C.	LONG
		L.H.	LEFT HAND
		L.P.	LOW POINT
		L.T.	LIGHT
		L.T. WT.	LIGHT WEIGHT

C.J.	CONTROL JOINT	N.C.	NOT IN CONTRACT
CLC.	CEILING	NO.	NUMBER
CLOS.	CLOSET	N.T.S.	NOT TO SCALE
C.T.	CERAMIC TILE		
COL.	COLUMN		
C.M.U.	CONCRETE MASONRY UNIT		
CONC.	CONCRETE		
CONSTR.	CONSTRUCTION CONTINUOUS		
F.D.	FLOOR DRAIN	R.	RISER
F.E.	FREIGHT	RAD.	RADIUS
FDN.	FOUNDATION	R.D.	ROOF DRAIN
FIN.	FINISH	RE	REFERENCE
FL.	FLOOR	REFL.	REFLECTED
FLOOR.	FLOOR	REQ.	REQUIRED
FT.	FOOT OR FEET	REV.	REVISION
FTG.	FOOTING	R.H.	RIGHT HAND
		R.M.	ROOM
		R.O.	ROUGH OPENING
I.D.	INSIDE DIAMETER	U.L.	UNDERWRITER'S
IN.	INCLUDING	LABORATORY	LABORATORY
INFO.	INFORMATION	UNFN.	UNFINISHED
INSUL.	INSULATION	U.O.N.	UNLESS OTHERWISE NOTED
INV.	INVERT		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
MTD.	MOUNTED		
MTL.	METAL		
MULL.	MULLION		

O.A.	OVERALL OUTSIDE AIR INTAKE ON CENTER	P.E.	PASSENGER ELEVATOR
O.C.	OPENING ON CENTER	PL.	PLATE
OPNG.	OPENING	PL. LAM.	PLASTIC LAMINATE
OPP.	OPPOSITE	PLYWD.	PLYWOOD
ORIG.	ORIGINAL	PNL.	PANEL
O.H.	OVERHEAD	PR.	PAIR
		PTD.	PAINTED
		PTN.	PARTITION
SECT.	SECTION	T/	TOP OF
SHWR.	SHOWER	TEL.	TELEPHONE
SM.	SIMILAR	TERR.	TERRAZZO
SK.	SKETCH	TRANS.	TRANSFORMER
SPECS.	SPECIFICATIONS	TYP.	TYPICAL
SO.	SQUARE		
ST. STL.	STAINLESS STEEL		
STL.	STEEL		
V.B.	VINYL BASE	W/	WITH
VEST.	VESTIBULE	W.C.	WATER CLOSET
V.F.	VERIFY IN FIELD	W.D.	WINDOW
		W.F.	WIDE FLANGE
		W.O.	WINDOW OPENING
		W.P.	WORKING POINT
		W.W.F.	WELDED WIRE FABRIC

ISSUED FOR PERMIT 08-21-2024

Consultant

**Architect**

**SPECTOR COMPANIES** A SPECTOR GROUP 11, L.P. Entity  
 Long Island  
 220 Crossways Park West  
 Woodbury, NY 11797  
 516 365 4240  
 www.spectorcompanies.com

Project

**Pickle N Par Club**  
 ALTERATIONS TO  
 1350 UNION TURNPIKE  
 NEW HYDE PARK, NY 11040

Drawing Title

**PROJECT INFORMATION SHEET**

Drawn By: \_\_\_\_\_  
 Date: 08-21-2024  
 Scale: \_\_\_\_\_  
 Project No.: 24040A00  
 Filename: \_\_\_\_\_  
 These plans are an instrument of service and are the property of the architect. Infringements will be prosecuted.  
 Sheet No. \_\_\_\_\_

G-001

**GENERAL NOTE**

1. ALL DIMENSIONS AND THE LOCATION OF ALL EXISTING BUILDING ELEMENTS ON THIS DRAWING ARE NOT BASED ON AS-BUILT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD SURVEY AND MEASURE ALL EXISTING CONDITIONS AND BUILDING ELEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE FIELD FIT OF ALL NEW SYSTEMS.

No.	Revisions	Date
1	RESUBMISSION TO DOB FOR PERMIT	10-09-24
2	RESUBMISSION TO DOB FOR PERMIT	12-12-24
3	RESUBMISSION TO DOB FOR PERMIT	12-17-24
4	RESUBMISSION TO DOB FOR PERMIT	12-17-24
5	RESUBMISSION TO DOB FOR PERMIT	12-17-24
6	RESUBMISSION TO DOB FOR PERMIT	12-17-24
7	RESUBMISSION TO DOB FOR PERMIT	12-17-24
8	RESUBMISSION TO DOB FOR PERMIT	12-17-24
9	RESUBMISSION TO DOB FOR PERMIT	12-17-24
10	RESUBMISSION TO DOB FOR PERMIT	12-17-24
11	RESUBMISSION TO DOB FOR PERMIT	12-17-24
12	RESUBMISSION TO DOB FOR PERMIT	12-17-24
13	RESUBMISSION TO DOB FOR PERMIT	12-17-24
14	RESUBMISSION TO DOB FOR PERMIT	12-17-24
15	RESUBMISSION TO DOB FOR PERMIT	12-17-24
16	RESUBMISSION TO DOB FOR PERMIT	12-17-24
17	RESUBMISSION TO DOB FOR PERMIT	12-17-24
18	RESUBMISSION TO DOB FOR PERMIT	12-17-24
19	RESUBMISSION TO DOB FOR PERMIT	12-17-24
20	RESUBMISSION TO DOB FOR PERMIT	12-17-24
21	RESUBMISSION TO DOB FOR PERMIT	12-17-24
22	RESUBMISSION TO DOB FOR PERMIT	12-17-24
23	RESUBMISSION TO DOB FOR PERMIT	12-17-24
24	RESUBMISSION TO DOB FOR PERMIT	12-17-24
25	RESUBMISSION TO DOB FOR PERMIT	12-17-24
26	RESUBMISSION TO DOB FOR PERMIT	12-17-24
27	RESUBMISSION TO DOB FOR PERMIT	12-17-24
28	RESUBMISSION TO DOB FOR PERMIT	12-17-24
29	RESUBMISSION TO DOB FOR PERMIT	12-17-24
30	RESUBMISSION TO DOB FOR PERMIT	12-17-24
31	RESUBMISSION TO DOB FOR PERMIT	12-17-24
32	RESUBMISSION TO DOB FOR PERMIT	12-17-24
33	RESUBMISSION TO DOB FOR PERMIT	12-17-24
34	RESUBMISSION TO DOB FOR PERMIT	12-17-24
35	RESUBMISSION TO DOB FOR PERMIT	12-17-24
36	RESUBMISSION TO DOB FOR PERMIT	12-17-24
37	RESUBMISSION TO DOB FOR PERMIT	12-17-24
38	RESUBMISSION TO DOB FOR PERMIT	12-17-24
39	RESUBMISSION TO DOB FOR PERMIT	12-17-24
40	RESUBMISSION TO DOB FOR PERMIT	12-17-24
41	RESUBMISSION TO DOB FOR PERMIT	12-17-24
42	RESUBMISSION TO DOB FOR PERMIT	12-17-24
43	RESUBMISSION TO DOB FOR PERMIT	12-17-24
44	RESUBMISSION TO DOB FOR PERMIT	12-17-24
45	RESUBMISSION TO DOB FOR PERMIT	12-17-24
46	RESUBMISSION TO DOB FOR PERMIT	12-17-24
47	RESUBMISSION TO DOB FOR PERMIT	12-17-24
48	RESUBMISSION TO DOB FOR PERMIT	12-17-24
49	RESUBMISSION TO DOB FOR PERMIT	12-17-24
50	RESUBMISSION TO DOB FOR PERMIT	12-17-24
51	RESUBMISSION TO DOB FOR PERMIT	12-17-24
52	RESUBMISSION TO DOB FOR PERMIT	12-17-24
53	RESUBMISSION TO DOB FOR PERMIT	12-17-24
54	RESUBMISSION TO DOB FOR PERMIT	12-17-24
55	RESUBMISSION TO DOB FOR PERMIT	12-17-24
56	RESUBMISSION TO DOB FOR PERMIT	12-17-24
57	RESUBMISSION TO DOB FOR PERMIT	12-17-24
58	RESUBMISSION TO DOB FOR PERMIT	12-17-24
59	RESUBMISSION TO DOB FOR PERMIT	12-17-24
60	RESUBMISSION TO DOB FOR PERMIT	12-17-24
61	RESUBMISSION TO DOB FOR PERMIT	12-17-24
62	RESUBMISSION TO DOB FOR PERMIT	12-17-24
63	RESUBMISSION TO DOB FOR PERMIT	12-17-24
64	RESUBMISSION TO DOB FOR PERMIT	12-17-24
65	RESUBMISSION TO DOB FOR PERMIT	12-17-24
66	RESUBMISSION TO DOB FOR PERMIT	12-17-24
67	RESUBMISSION TO DOB FOR PERMIT	12-17-24
68	RESUBMISSION TO DOB FOR PERMIT	12-17-24
69	RESUBMISSION TO DOB FOR PERMIT	12-17-24
70	RESUBMISSION TO DOB FOR PERMIT	12-17-24
71	RESUBMISSION TO DOB FOR PERMIT	12-17-24
72	RESUBMISSION TO DOB FOR PERMIT	12-17-24
73	RESUBMISSION TO DOB FOR PERMIT	12-17-24
74	RESUBMISSION TO DOB FOR PERMIT	12-17-24
75	RESUBMISSION TO DOB FOR PERMIT	12-17-24
76	RESUBMISSION TO DOB FOR PERMIT	12-17-24
77	RESUBMISSION TO DOB FOR PERMIT	12-17-24
78	RESUBMISSION TO DOB FOR PERMIT	12-17-24
79	RESUBMISSION TO DOB FOR PERMIT	12-17-24
80	RESUBMISSION TO DOB FOR PERMIT	12-17-24
81	RESUBMISSION TO DOB FOR PERMIT	12-17-24
82	RESUBMISSION TO DOB FOR PERMIT	12-17-24
83	RESUBMISSION TO DOB FOR PERMIT	12-17-24
84	RESUBMISSION TO DOB FOR PERMIT	12-17-24
85	RESUBMISSION TO DOB FOR PERMIT	12-17-24
86	RESUBMISSION TO DOB FOR PERMIT	12-17-24
87	RESUBMISSION TO DOB FOR PERMIT	12-17-24
88	RESUBMISSION TO DOB FOR PERMIT	12-17-24
89	RESUBMISSION TO DOB FOR PERMIT	12-17-24
90	RESUBMISSION TO DOB FOR PERMIT	12-17-24
91	RESUBMISSION TO DOB FOR PERMIT	12-17-24
92	RESUBMISSION TO DOB FOR PERMIT	12-17-24
93	RESUBMISSION TO DOB FOR PERMIT	12-17-24
94	RESUBMISSION TO DOB FOR PERMIT	12-17-24
95	RESUBMISSION TO DOB FOR PERMIT	12-17-24
96	RESUBMISSION TO DOB FOR PERMIT	12-17-24
97	RESUBMISSION TO DOB FOR PERMIT	12-17-24
98	RESUBMISSION TO DOB FOR PERMIT	12-17-24
99	RESUBMISSION TO DOB FOR PERMIT	12-17-24
100	RESUBMISSION TO DOB FOR PERMIT	12-17-24

**PARKING CALCULATIONS**

BASED ON TOWN OF NORTH HEMPSTEAD TOWN CODE, ZONING ARTICLE XII. PARKING REQUIREMENTS AND STANDARDS SECTION 70-103 - A. (1) ALL DISTRICTS OFF-STREET PARKING REQUIREMENTS

USE	ONE PARKING SPACE FOR EACH
PLACE OF PUBLIC ASSEMBLY	4 SEATS PLUS 1 SPACE PER EMPLOYEE
GAME COURTS (TENNIS, SQUASH, HANDBALL, BADMINGTON)	1/8 OF EACH GAME COURT
MEDICAL, DENTAL AND SIMILAR OFFICES	150 SF OF FLOOR AREA IN EXCESS OF 1,000 SF
ALL OTHER OFFICES	200 SF OF FLOOR AREA IN EXCESS OF 1,000SF
RESTAURANT /BAR AND GRILL	80 SF OF FLOOR AREA, INCLUSIVE OF OUTDOOR SEATING AREAS, AND 1 SPACE PER 3 LF OF A BAR OR COUNTER SPACE
STORAGE	600SF

**PICKLE N PAR 3 LLC PARKING SPACES REQUIRED**

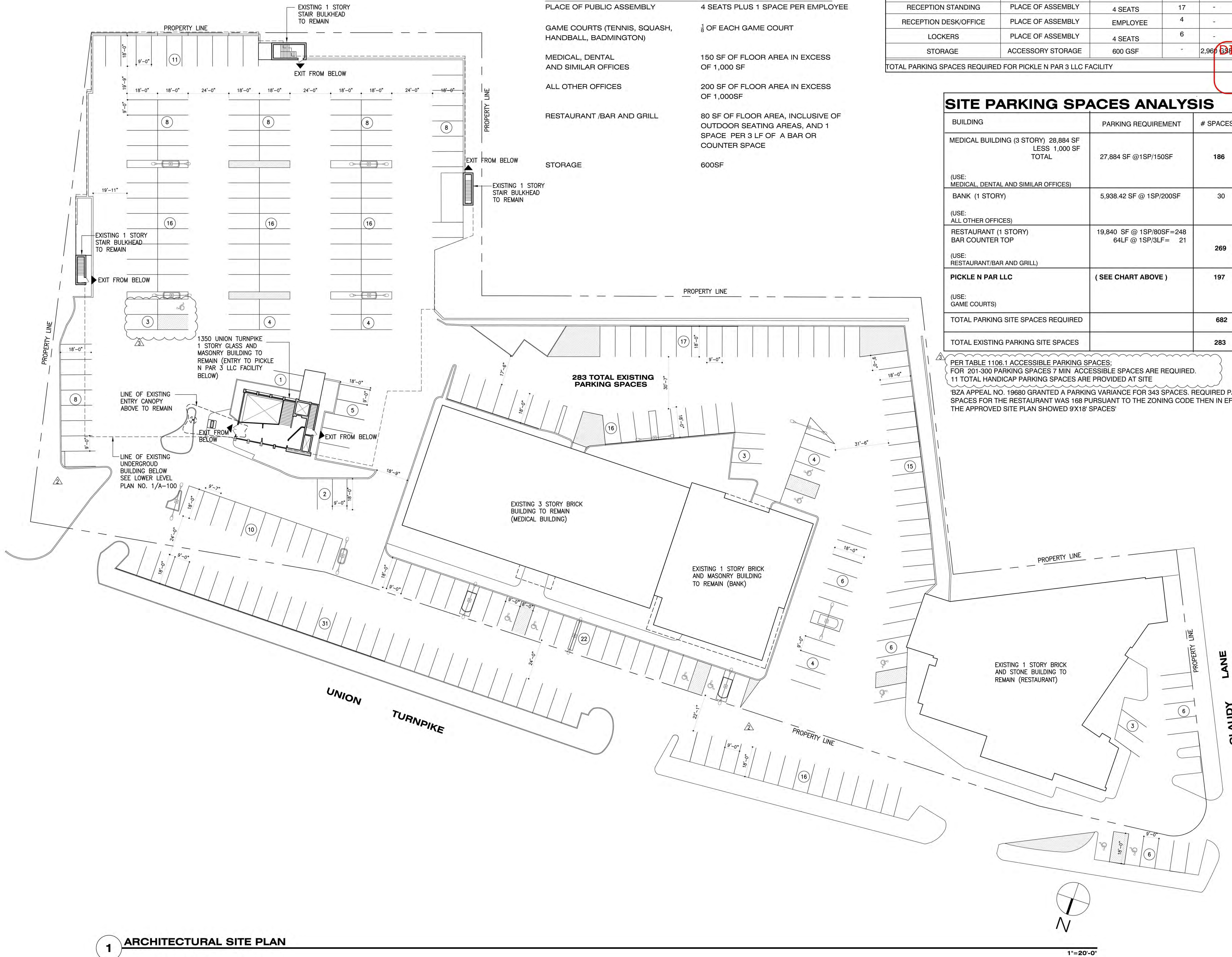
ROOM	USE	1 PARKING SPACES FOR EACH	PEOPLE	AREA	PARKING SPACES
PICKLEBALL COURTS NOS. 1-14	GAME COURTS	1/8 OF EACH COURT	-	-	112
GOLF SIMULATORS 1-3	PLACE OF ASSEMBLY	4 SEATS	89	-	23
LOUNGE	PLACE OF ASSEMBLY	4 SEATS	181	-	46
RECEPTION STANDING	PLACE OF ASSEMBLY	4 SEATS	17	-	5
RECEPTION DESK/OFFICE	PLACE OF ASSEMBLY	EMPLOYEE	4	-	4
LOCKERS	PLACE OF ASSEMBLY	4 SEATS	6	-	2
STORAGE	ACCESSORY STORAGE	600 GSF	-	2,960 GSF	631
TOTAL PARKING SPACES REQUIRED FOR PICKLE N PAR 3 LLC FACILITY					197

**APPROVED**  
Michael Maricic  
12/20/2024

**SITE PARKING SPACES ANALYSIS**

BUILDING	PARKING REQUIREMENT	# SPACES
MEDICAL BUILDING (3 STORY) 28,884 SF LESS 1,000 SF TOTAL	27,884 SF @ 1SP/150SF	186
(USE: MEDICAL, DENTAL AND SIMILAR OFFICES)		
BANK (1 STORY)	5,938.42 SF @ 1SP/200SF	30
(USE: ALL OTHER OFFICES)		
RESTAURANT (1 STORY) BAR COUNTER TOP	19,840 SF @ 1SP/80SF=248 64LF @ 1SP/3LF= 21	269
(USE: RESTAURANT/BAR AND GRILL)		
PICKLE N PAR LLC	(SEE CHART ABOVE)	197
(USE: GAME COURTS)		
TOTAL PARKING SITE SPACES REQUIRED		682
TOTAL EXISTING PARKING SITE SPACES		283

PER TABLE 1106.1 ACCESSIBLE PARKING SPACES: FOR 201-300 PARKING SPACES 7 MIN ACCESSIBLE SPACES ARE REQUIRED. 11 TOTAL HANDICAP PARKING SPACES ARE PROVIDED AT SITE  
BZA APPEAL NO. 19680 GRANTED A PARKING VARIANCE FOR 343 SPACES. REQUIRED PARKING SPACES FOR THE RESTAURANT WAS 168 PURSUANT TO THE ZONING CODE THEN IN EFFECT. THE APPROVED SITE PLAN SHOWED 9'X18' SPACES



**1 ARCHITECTURAL SITE PLAN**

Consultant



Architect  
**SPECTOR COMPANIES** A Spector Group 11, LLP Entity  
Long Island  
220 Crossways Park West  
Woodbury, NY 11797  
516 365 4240  
516 365 3824 Fax  
www.spectorcompanies.com



Drawing Title  
**ARCHITECTURAL SITE PLAN**

Drawn By: CLJ/JM  
Date: 08-21-2024  
Scale: 1"=20'-0"  
Project No.: 24040A00  
Filename:  
These plans are an instrument of service and are the property of the architect. Infringements will be prosecuted.  
Sheet No.

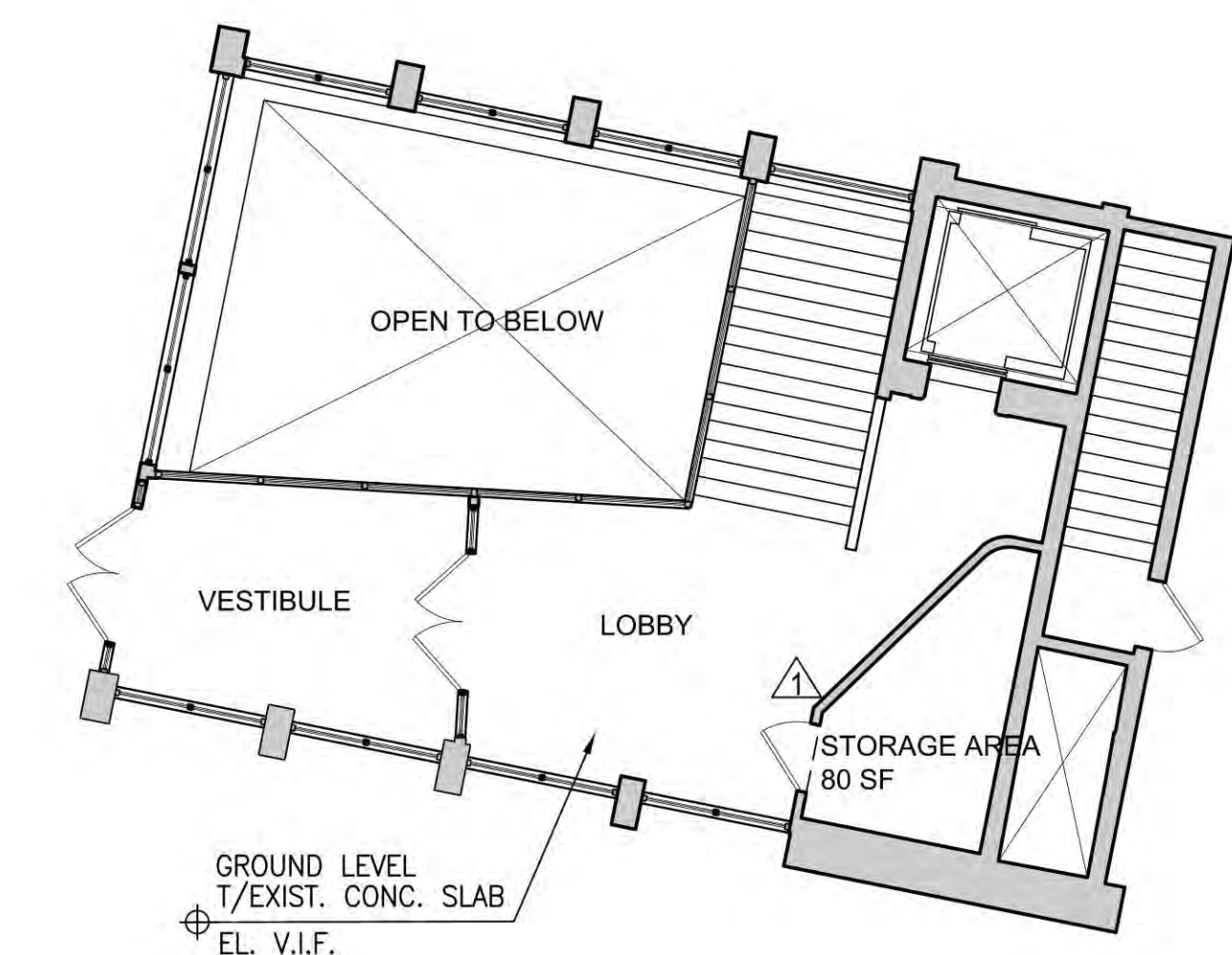


### OCCUPANT LOAD TABLE

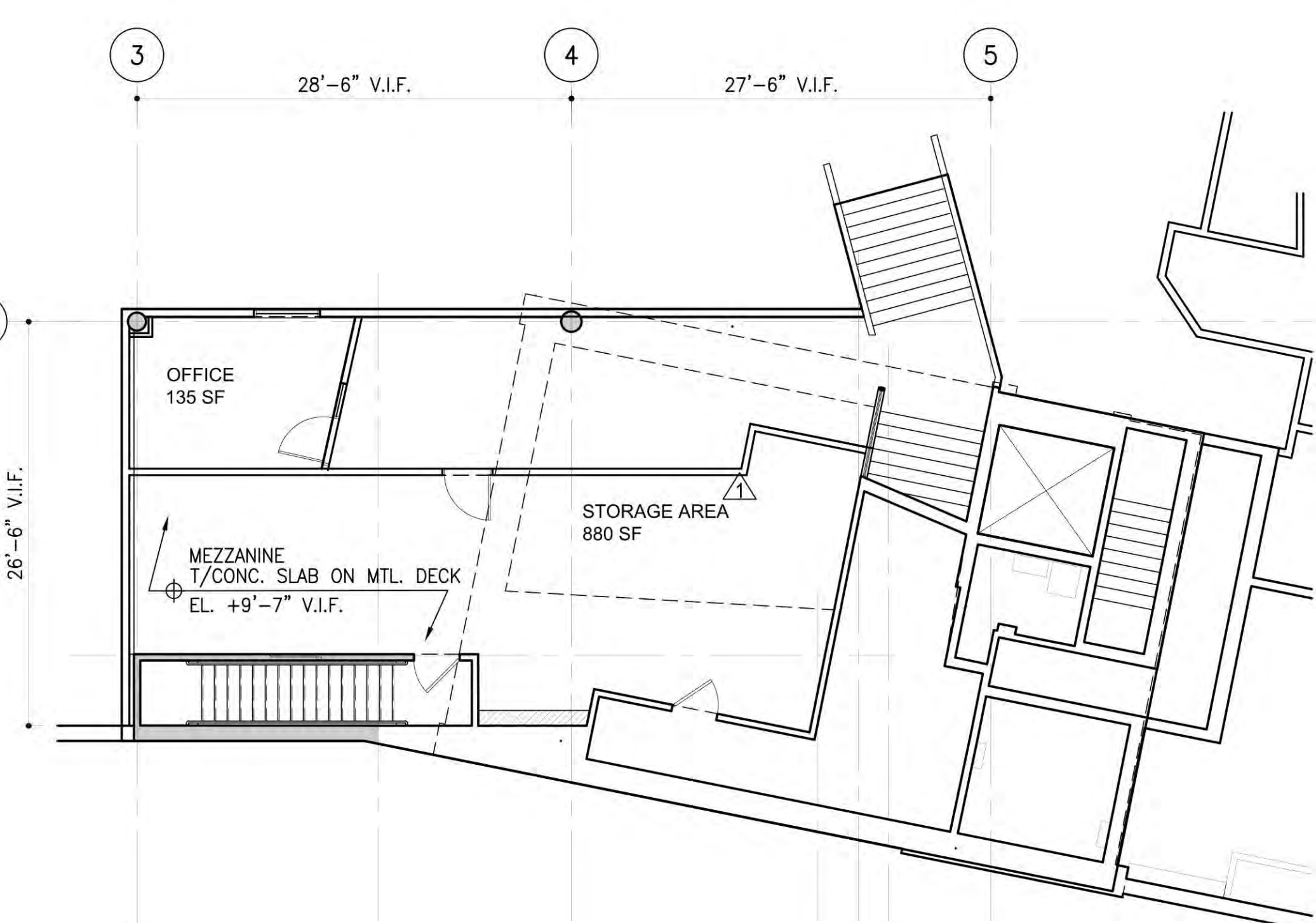
BASED ON 2020 BCNYS CODE SECTION 1004.5 AND THE EXCEPTION TO THAT CODE SECTION WHICH STATES: WHERE APPROVED BY THE BUILDING OFFICIAL, THE ACTUAL NUMBER OF OCCUPANTS FOR WHOM EACH OCCUPIED SPACE, FLOOR OR BUILDING IS DESIGNED, ALTHOUGH LESS THAN THOSE DETERMINED BY CALCULATION, SHALL BE PERMITTED TO BE USED IN THE DETERMINATION OF THE DESIGN OCCUPANT LOAD.

LEVEL	ROOM NAME	FUNCTION OF SPACE	OCC. LOAD FACTOR	AREA	OCCUPANT LOAD
LOWER LEVEL	PICKLEBALL COURTS NOS. 1 THROUGH 14	A-4	8 PEOPLE PER COURT	-	112
	LOUNGE	ASSEMBLY UNCONCENTRATED	15 NET	2710 NSF	181
	RECEPTION DESK (EMPLOYEES)	BUSINESS AREA	150 GROSS	210 NSF	2
	RECEPTION STANDING AREA	ASSEMBLY STANDING	5 NET	85 NSF	17
	GOLF SIMULATORS 1 THROUGH 3	ASSEMBLY UNCONCENTRATED	15 NET	1334 NSF	89
	STORAGE ROOMS	STORAGE	300 GROSS	880 NSF	3
	IDF ROOM	MECH. EQUIP. ROOM	300 GROSS	300 NSF	1
	MECHANICAL ROOMS	MECH. EQUIP. ROOM	200 GROSS	770 NSF	3
	LOCKER ROOMS	LOCKER ROOM	50 GROSS	272 NSF	6
	<b>TOTAL LOWER LEVEL OCCUPANCY</b>				
MEZZ	STORAGE	ACCESSORY STORAGE	300 GROSS	880 NSF	3
	OFFICE (EMPLOYEES)	BUSINESS AREA	150 GROSS	131 NSF	2
<b>TOTAL MEZZANINE OCCUPANCY</b>					<b>5 PEOPLE</b>
GROUND LEVEL	STORAGE	ACCESSORY STORAGE	300 GROSS	80 SF	1
<b>TOTAL GROUND LEVEL OCCUPANCY</b>					<b>1</b>
<b>TOTAL BUILDING OCCUPANT LOAD</b>					<b>424 PEOPLE</b>

NOTE: THE MAXIMUM ALLOWABLE OCCUPANT LOAD OF THE SPACE WILL BE POSTED 424 PEOPLE AS PER 2020 BCNYS SECTION 1004.9.



**3 GROUND LEVEL PLAN** 1/8"=1'-0"



**2 MEZZANINE PLAN** 1/8"=1'-0"

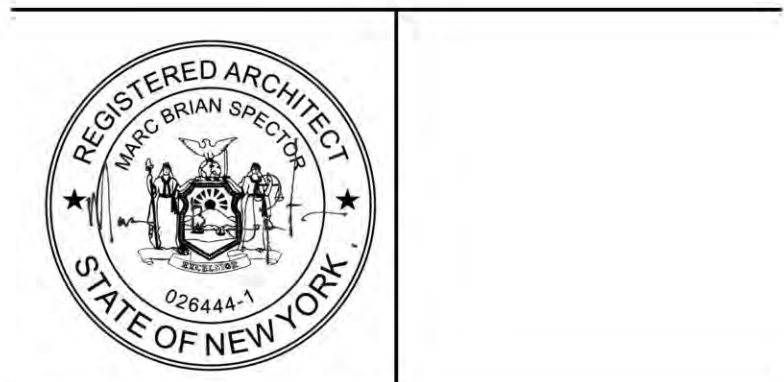
**GENERAL NOTE**

1. ALL DIMENSIONS AND THE LOCATION OF ALL EXISTING BUILDING ELEMENTS ON THIS DRAWING ARE NOT BASED ON AS-BUILT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD SURVEY AND MEASURE ALL EXISTING CONDITIONS AND BUILDING ELEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE FIELD FIT OF ALL NEW SYSTEMS.

No.	Revisions	Date
1	RESUBMISSION TO DOB FOR PERMIT	10-09-24

5	RESUBMISSION TO DOB FOR PERMIT	12-17-24
4	RESUBMISSION TO DOB FOR PERMIT	12-12-24
3	RESUBMISSION TO DOB FOR PERMIT	10-09-24
2	ISSUED FOR PERMIT	08-30-24
1	ISSUED FOR PERMIT	08-21-24
No.	Issued	Date

Consultant

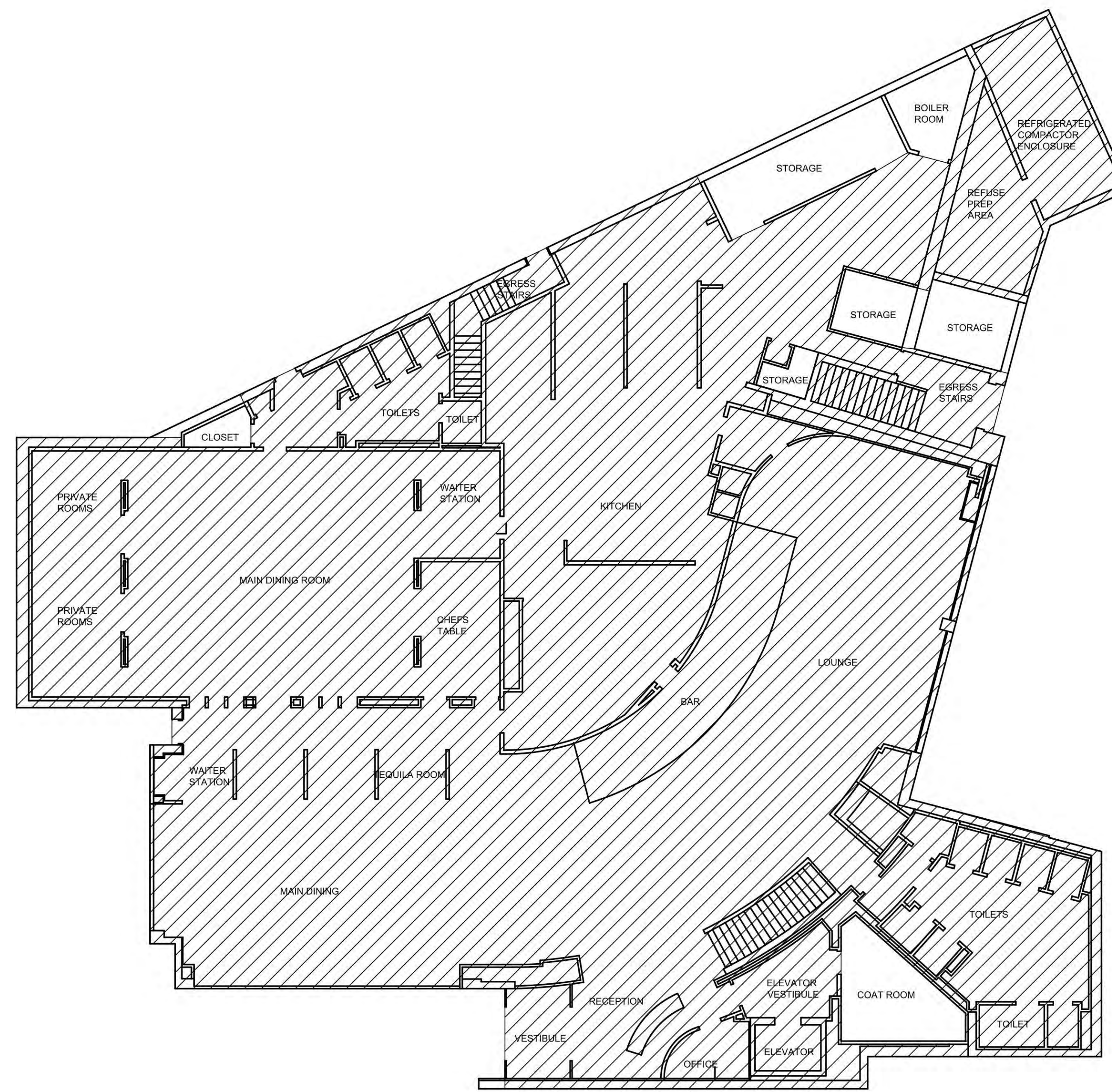


**SPECTOR COMPANIES**  
 A Spectrogroup 11, LLP Entity  
 Long Island  
 220 Crossways Park West  
 Woodbury, NY 11797  
 516 365 4240  
 516 365 3024 Fax  
 www.spectorcompanies.com

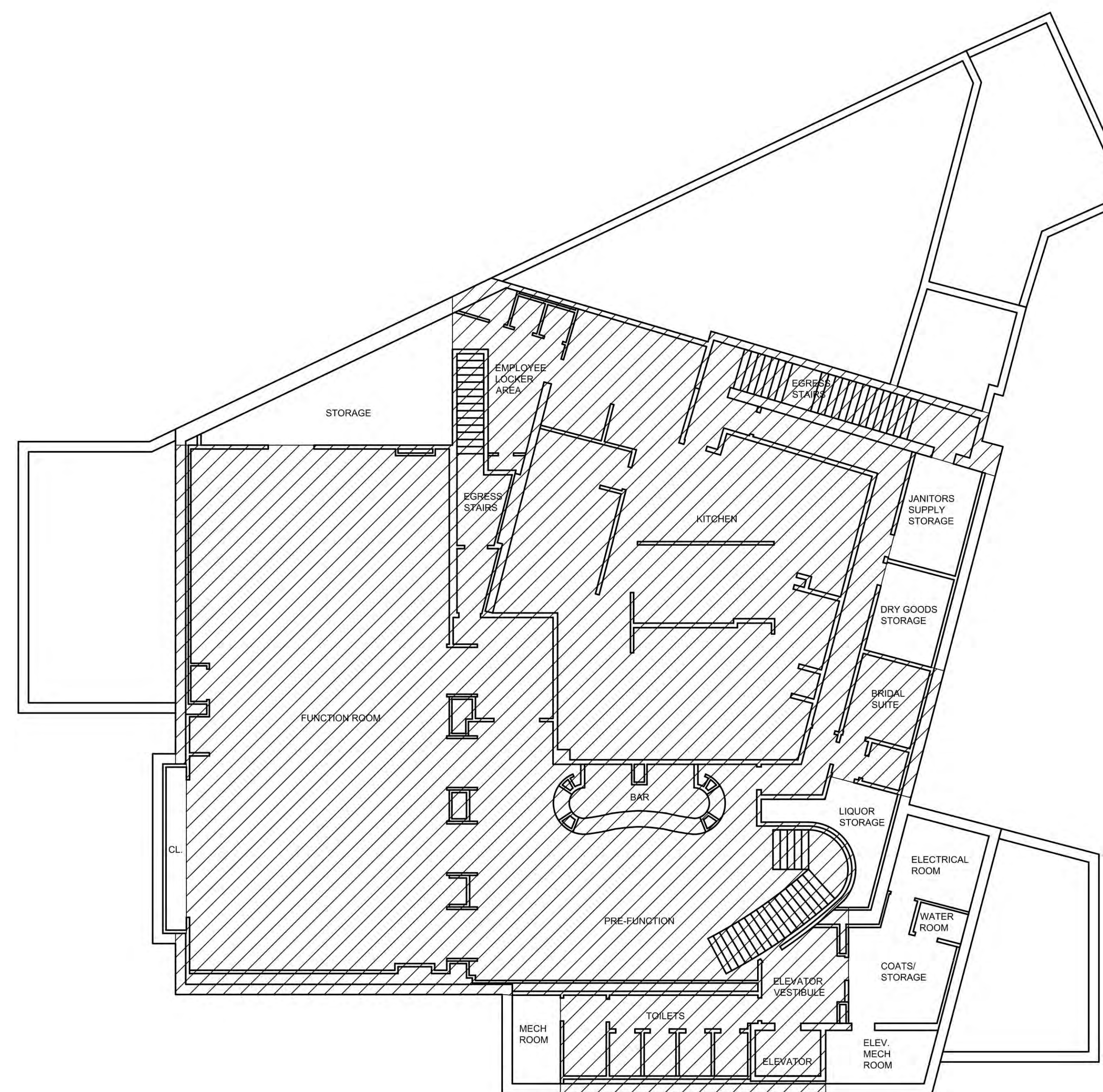


ALTERATIONS TO  
**1350 UNION TURNPIKE**  
 NEW HYDE PARK, NY 11040

Drawing Title  
**LOWER LEVEL AND MEZZANINE PLANS**  
 Drawn By: CLJ/JM  
 Date: 08-21-2024  
 Scale: 1/8"=1'-0"  
 Project No.: 24040A00  
 File name:  
 These plans are an instrument of service and are the property of the architect. Infringements will be prosecuted.  
 Sheet No.



**2 RESTAURANT STREET LEVEL PLAN** 3/32" = 1'-0"



**1 RESTAURANT LOWER LEVEL PLAN** 3/32" = 1'-0"

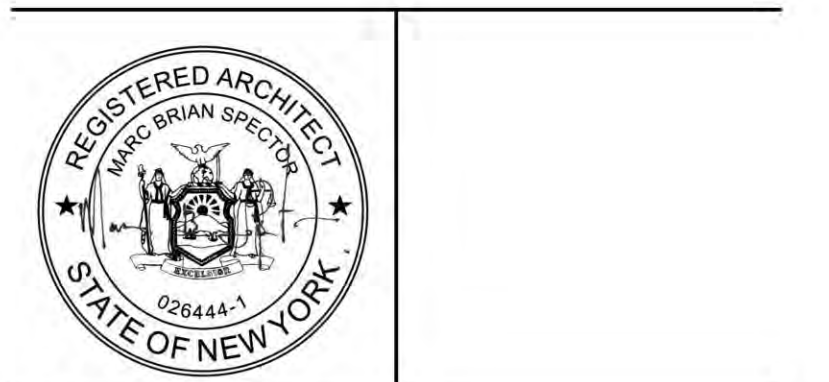
**DISAPPROVED**  
 Michael Maracic  
 12/20/2024

**GENERAL NOTE**

1. ALL DIMENSIONS AND THE LOCATION OF ALL EXISTING BUILDING ELEMENTS ON THIS DRAWING ARE NOT BASED ON AS-BUILT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD SURVEY AND MEASURE ALL EXISTING CONDITIONS AND BUILDING ELEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE FIELD FIT OF ALL NEW SYSTEMS.

No.	Revisions	Date
5	RESUBMISSION TO DOB FOR PERMIT	12-17-24
4	RESUBMISSION TO DOB FOR PERMIT	12-12-24
3	RESUBMISSION TO DOB FOR PERMIT	10-09-24
2	ISSUED FOR PERMIT	08-30-24
1	ISSUED FOR PERMIT	08-21-24
No.	Issued	Date

Consultant



Architect  
**SPECTOR COMPANIES** A Spectrogroup 11, LLP Entity  
 Long Island  
 220 Crossways Park West  
 Woodbury, NY 11797  
 516 365 4240  
 516 365 3824 Fax  
 www.spectorcompanies.com



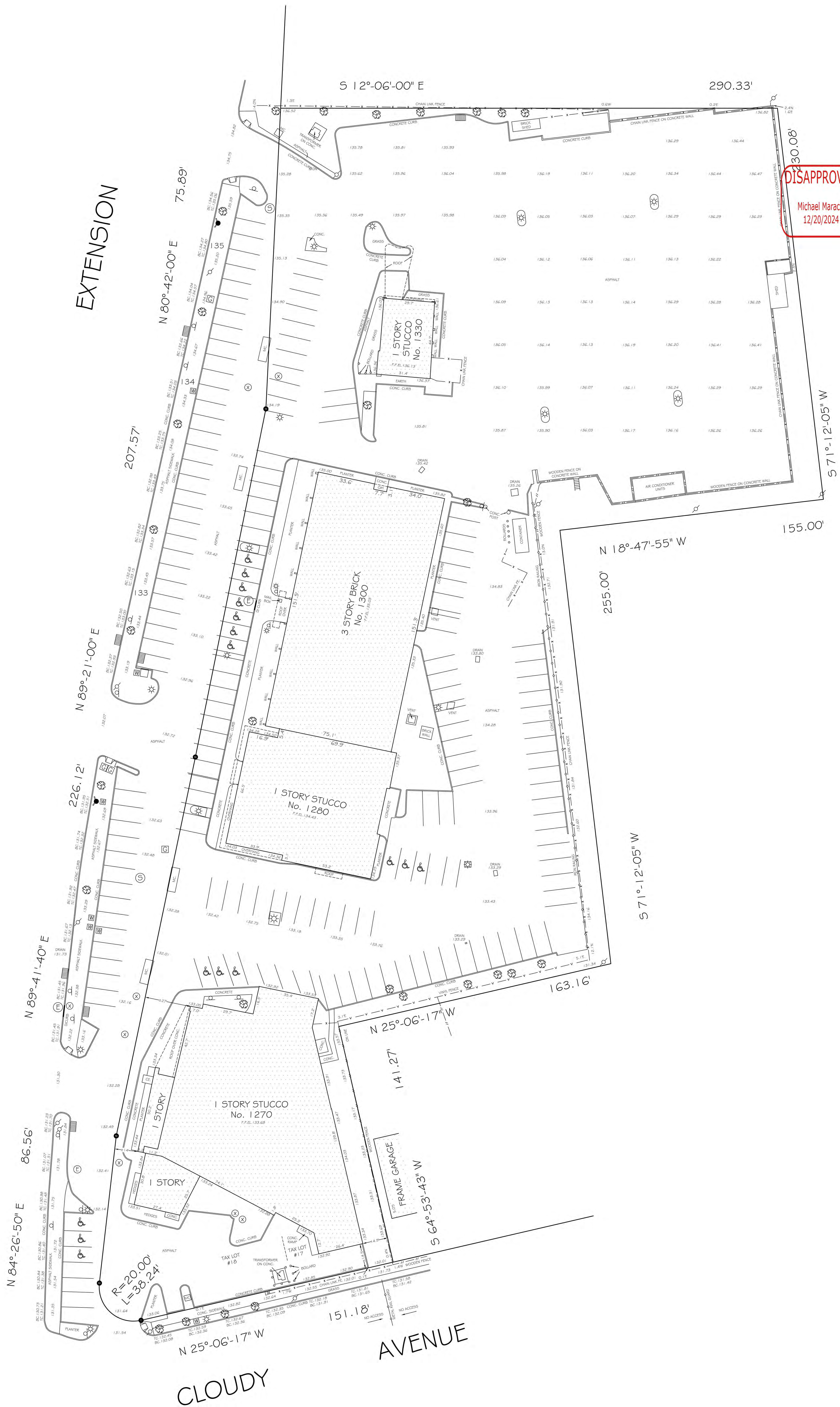
Drawing Title  
**EXISTING RESTAURANT  
 AREA CALCULATION PLANS**

Drawn By	CLJ/JM
Date	08-21-2024
Scale	1/8" = 1'-0"
Project No.	24040A00
Filename	
These plans are an instrument of service and are the property of the architect. Infringements will be prosecuted.	
Sheet No.	



UNION TURKPIKE

EXTENSION



CLOUDY AVENUE

PORT HOLE, POLY, GAS, WATER, WIRE, METER, TRAFFIC SIGN, HYDRANT, ELECTRIC BOX, TREE, FENCE, MANHOLE, ELEC. MANHOLE, TELEPHONE MANHOLE, UNKNOWN MANHOLE, NORTH, SOUTH, EAST, WEST, FIRE ESCAPE, WINDOW, WELL, CELLAR DOOR, PLATFORM, LOW AREA, AREAWAY, CURB, RIGHT, METAL COVER, NOT TO SCALE, HANDICAP PARKING, PEDESTRIAN RAMP, ELEVATION, TOP OF CURB CL., BOT. OF CURB CL., CENTER OF ROAD CL., LEGAL GRADE

TOWN OF NORTH HEMPSTEAD  
COUNTY NASSAU  
SECTION 8  
BLOCK 235  
LOT 17, 18 & 58  
DWG BY 5 BORO MAPPING R.M.



AREA = 163,371.05 sq. Ft.  
CERTIFIED TO:  
TOWN OF NORTH HEMPSTEAD

1. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON THEIR BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.  
2. PROPERTY CORNER MONUMENTS WERE NOT TRACED AS PART OF THIS SURVEY.  
3. NO GUARANTEE IS IMPLIED BY THIS MAP AS TO THE EXISTENCE OR NONEXISTENCE OF ANY ENCUMBRANCES OF RECORD THAT WOULD AFFECT SUBJECT PROPERTY, UNLESS SURVEYOR HAS BEEN FURNISHED WITH SUCH INFORMATION BY THE CLIENT.  
4. THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS NOR NATURAL WATER COURSES IN THE PROPERTY EXCEPT AS SHOWN ON THIS SURVEY.  
5. THIS SURVEY IS NOT TO BE UPDATED BY VISUAL INSPECTION.  
6. ALL ELEVATIONS REFER TO THE 1988 NAVD.

DATE	JOB No.	DESCRIPTION
06/20/23	5BNY-23-10888	TOPOGRAPHICAL SURVEY

**STATEWIDE LAND SURVEYING P.C.**

S.P. BY: 5 BORO MAPPING NY  
OFFICE (516)-509-4166  
CELL (516)-652-9984  
EMAIL: 5boromapping@gmail.com